



CITY OF CAMPBELL
Community Development Department

April 22, 2019

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

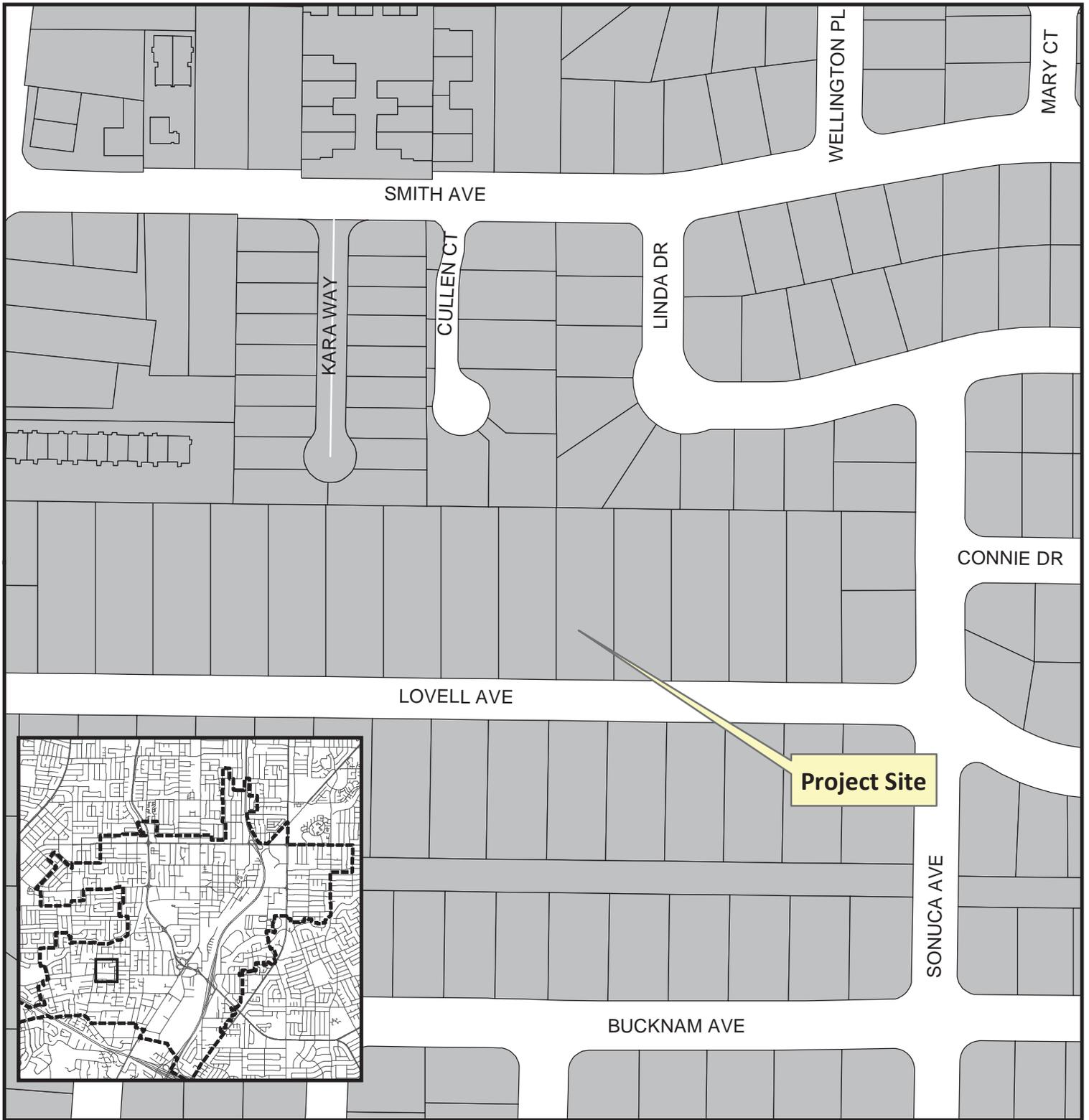
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2019-35
Applicant: Kyle Chan
Project Address: 1121 Lovell Ave
Property Owner: Jing Lee
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: Construction of new 5,116 square foot single family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on April 22, 2019 and ends on May 2, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 1, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Paula Ruffinelli, Planning Technician, in the Community Development Department, at (408) 866-2732 or by email paualr@cityofcampbell.com.

Project Location Map

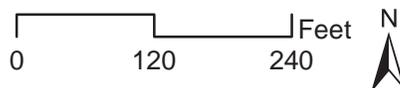


Project Location: 1121 Lovell Ave

Application Type: Admin. Site and Arch. Review Permit

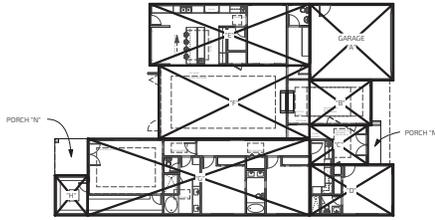
Planning File No.: PLN2019-35

Description: Construct new single family residence and modify existing garage.

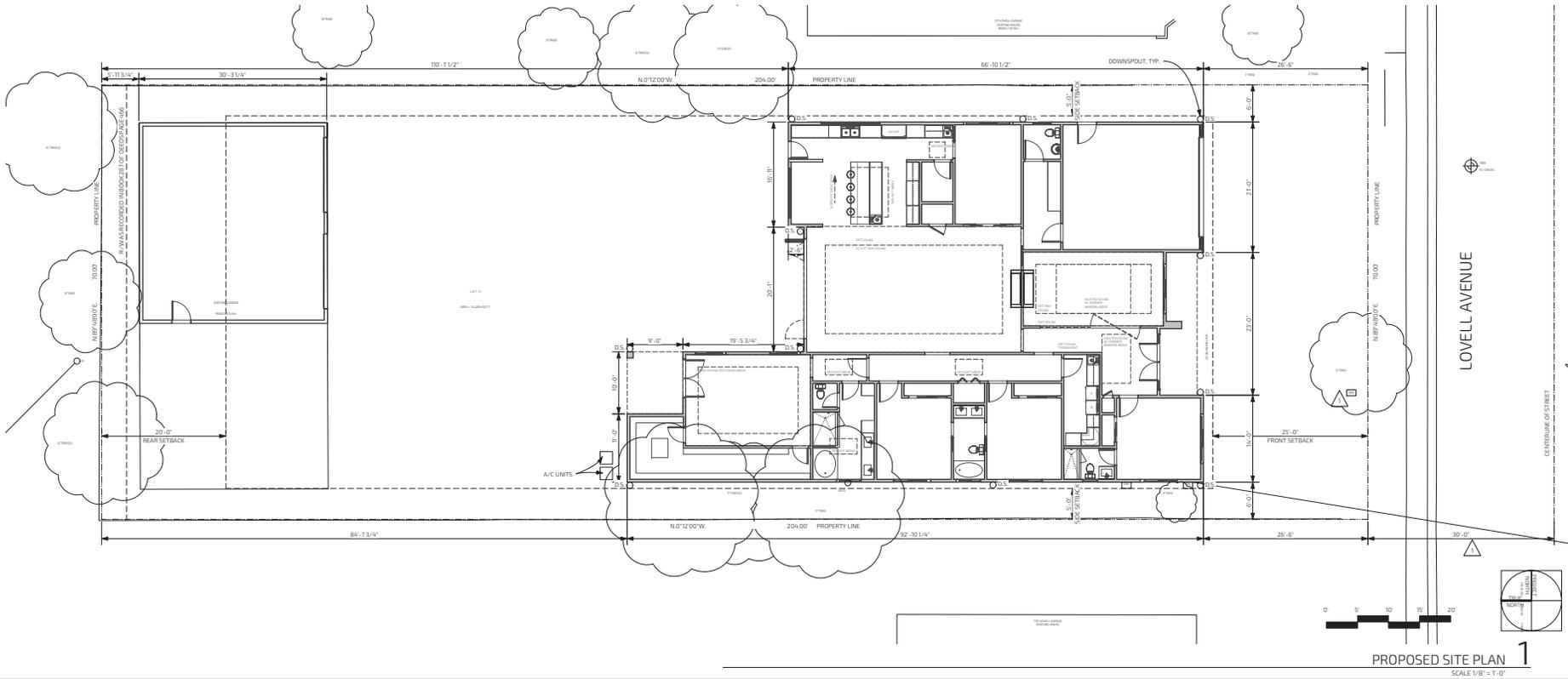


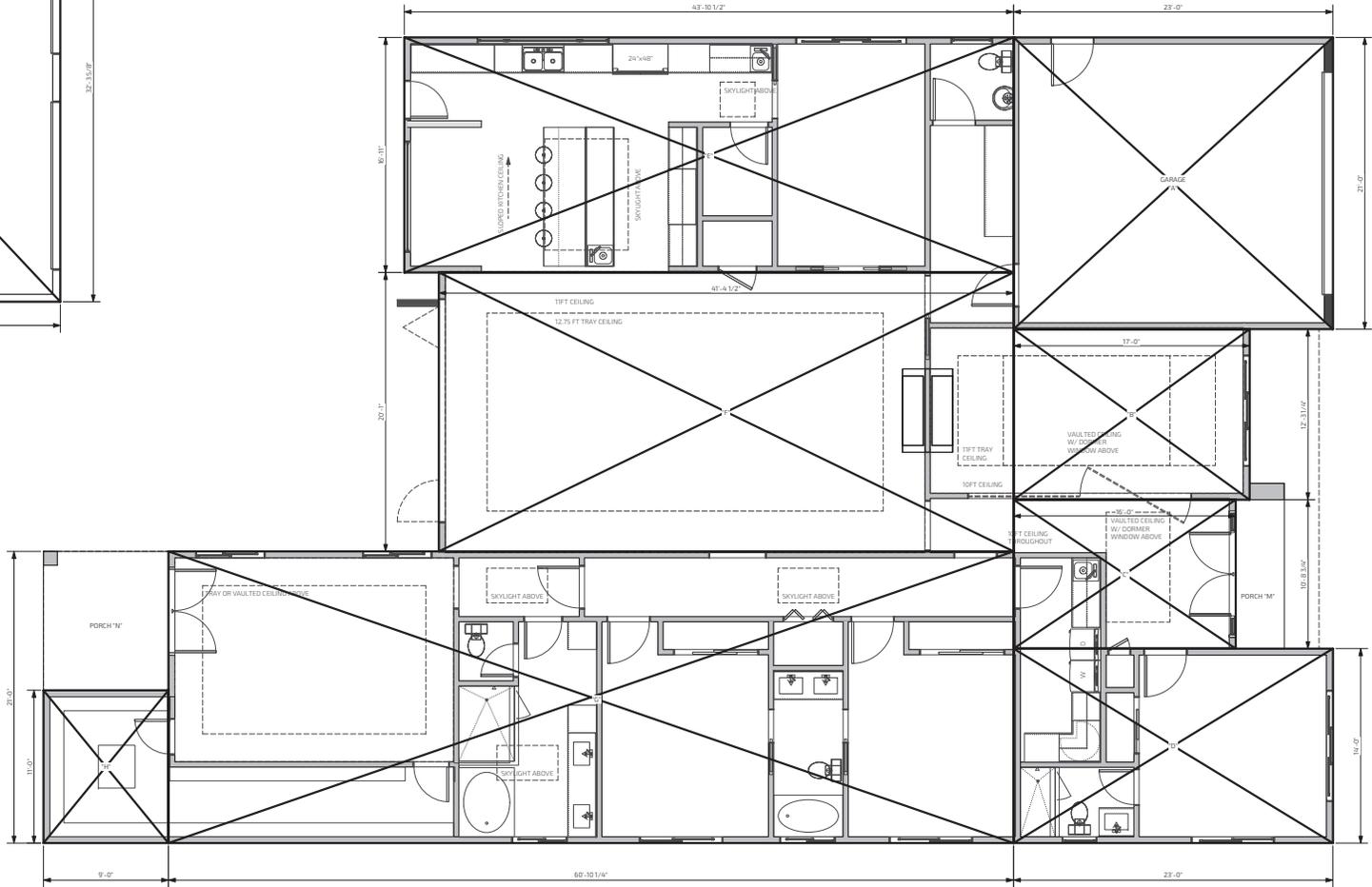
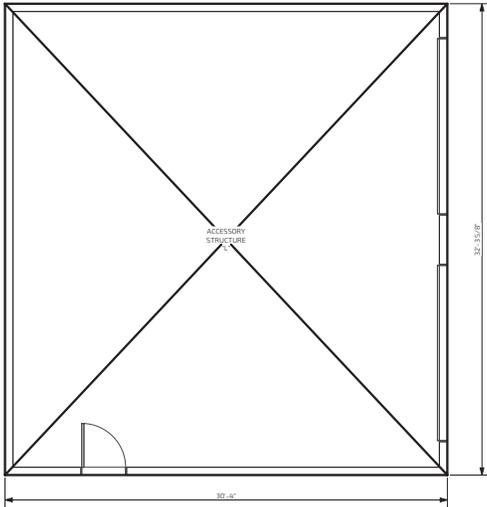
Community Development Department
Planning Division

FLOOR AREA CALCULATION LABEL	DIMENSIONS	AREA
GARAGE		
A	23'0" X 21'0"	483 SF
MAIN HOUSE		
B	17'0" X 12'3.25"	209 SF
C	16' X 10'8.75"	172 SF
D	22' X 16'	352 SF
E	4'7" X 5.5"	26 SF
F	45'4.5" X 20'1"	913 SF
G	60'10.25" X 2'7"	129 SF
H	8' X 11'	88 SF
ACCESSORY STRUCTURE		
I	30'4" X 12'3.625"	375 SF
COVERED PORCH		
M	3'6" X 11'10.75"	42 SF
N	9' X 10'	90 SF
CONDITIONED AREA		
J	1ST FLOOR (B-H)	3,653 SF
TOTAL FLOOR AREA (A-L)		
		5,116 SF
LOT SIZE		
		16,280 SF
		31.5%
COVERED PORCH (M-N)		
		132 SF
		0.8%
		32.3%



AREA CALCULATION 3
SCALE 1/16" = 1'-0"





FLOOR AREA CALCULATION LABEL	DIMENSIONS	AREA
A	23'0" X 21'0"	483 SF
B	17'0" X 12'3.25"	205 SF
C	16" X 10'8.75"	172 SF
D	23' X 16"	322 SF
E	43'10.5" X 16'11"	762 SF
F	47'4.5" X 20'1"	833 SF
G	60'10.25" X 2'1"	1278 SF
H	9' X 11'	99 SF
I	30'4" X 32'3.625"	980 SF
M	3'6" X 11'10.75"	42 SF
N	9' X 10'	90 SF
CONDITIONED AREA		
1ST FLOOR (B-H)		3,653 SF
TOTAL FLOOR AREA (A-L)		5765 SF
LOT SIZE		14,280 SF
FLOOR AREA RATIO		35.8%
COVERED PORCH (M-N)		132 SF
LOT COVERAGE (A-N)		5,248 SF
LOT COVERAGE %		36.7%



AREA CALCULATION 1
SCALE 1/8" = 1'-0"

kc
kylechan
ARCHITECT
5205 PROSPECT ROAD
SUITE 150-152
SAN JOSE, CA 95129
650-244-3771
www.kylechan.com
kyle@kylechan.com

ARCH PLANNING SET
2.19.2019

Sheet Revisions:
PLAN CHECK COMMENTS
3.28.2019

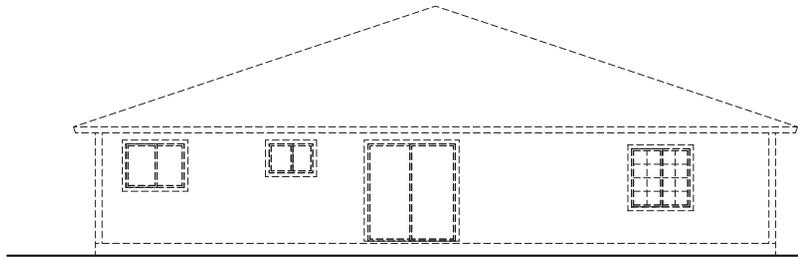
LEE RESIDENCE
NEW RESIDENCE
1121 LOVELL AVENUE
CAMPBELL, CA 95008

PROGRESS SET
NOT FOR CONSTRUCTION

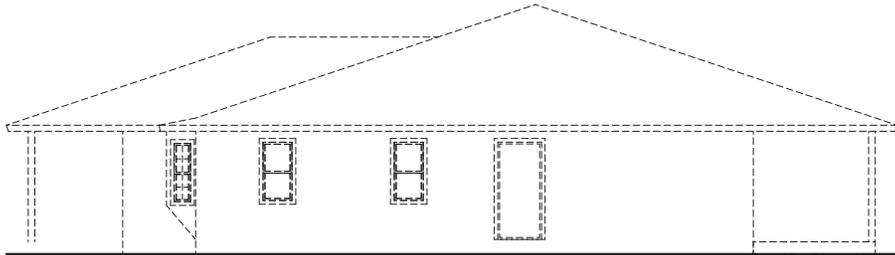
FLOOR AREA
CALCULATION

A0.5A

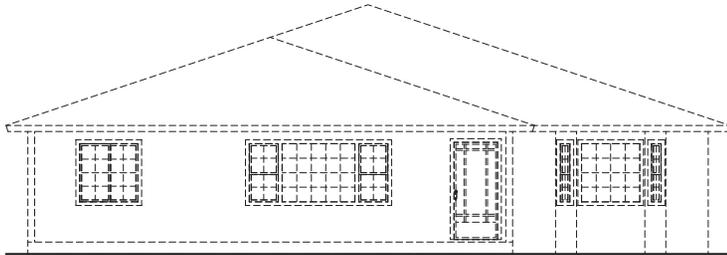
PROJECT NUMBER: 1822
1121 LOVELL AVE



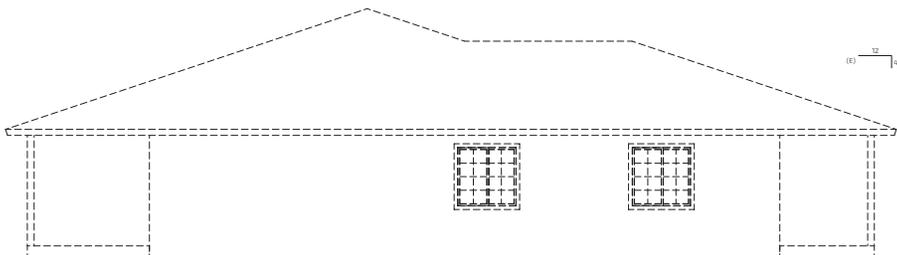
EXISTING NORTH - BACK ELEVATION 4
SCALE 1/4" = 1'-0"



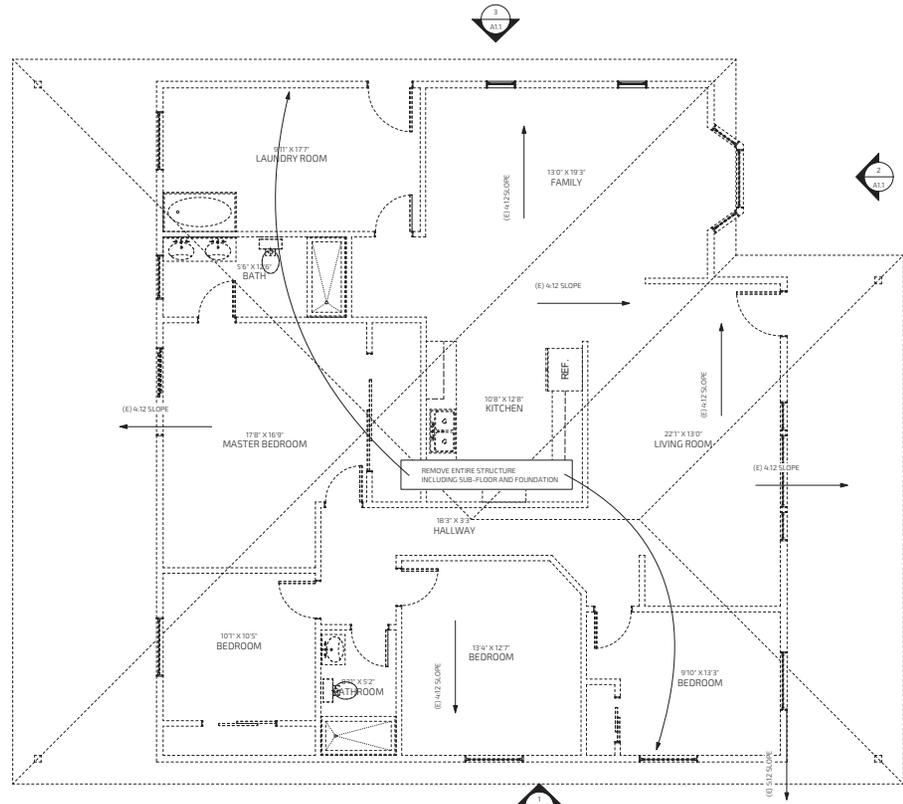
EXISTING EAST - RIGHT ELEVATION 3
SCALE 1/4" = 1'-0"



EXISTING SOUTH - FRONT ELEVATION 2
SCALE 1/4" = 1'-0"



EXISTING WEST - LEFT ELEVATION 1
SCALE 1/4" = 1'-0"



EXISTING FLOOR / ROOF PLAN 5
SCALE 1/4" = 1'-0"



kylechan
ARCHITECT
5205 PROSPECT ROAD
SUITE 105-100
SAN JOSE, CA 95129
408-244-3111
www.kylechan.com
kyle@kylechan.com

ARCH PLANNING SET
2.19.2019

Sheet Revisions:
PLAN CHECK COMMENTS
3.26.2019

LEE RESIDENCE
NEW RESIDENCE
1121 LOVELL AVENUE
CAMPBELL, CA 95008

PROGRESS SET
NOT FOR CONSTRUCTION

EXISTING
FLOOR PLAN/
ELEVATIONS

A1.1

PROJECT NUMBER: 1922
1121 LOVELL AVE



kylechan
 ARCHITECT
 5205 PROSPECT ROAD
 SUITE 105-100,
 SAN JOSE, CA 95129
 408-246-3111
 www.kylechan.com
 kyle@kylechan.com

ARCH PLANNING SET
 2.19.2019

Sheet Revisions:
 PLAN CHECK COMMENTS
 3.26.2019

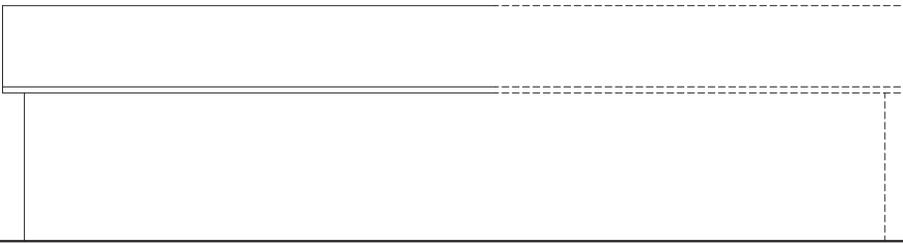
LEE RESIDENCE
 NEW RESIDENCE
 1121 LOVELL AVENUE
 CAMPBELL, CA 95008

PROGRESS SET
 NOT FOR CONSTRUCTION

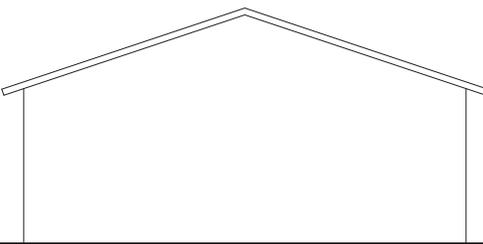
ACCESSORY
 STRUCTURE
 FLOOR PLAN/
 ELEVATIONS

A1.2

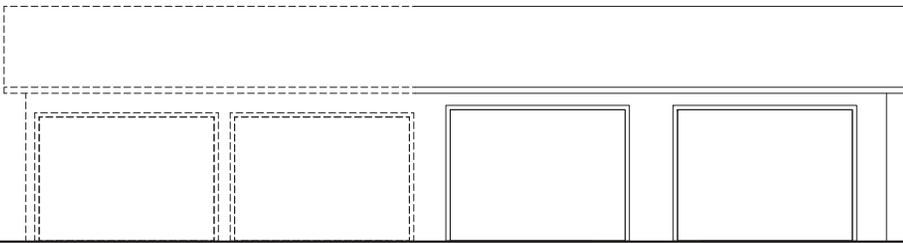
PROJECT NUMBER: 1922
 1121 LOVELL AVE



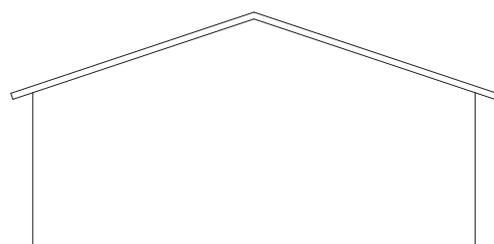
EXISTING NORTH - BACK ELEVATION 4
 SCALE 1/4" = 1'-0"



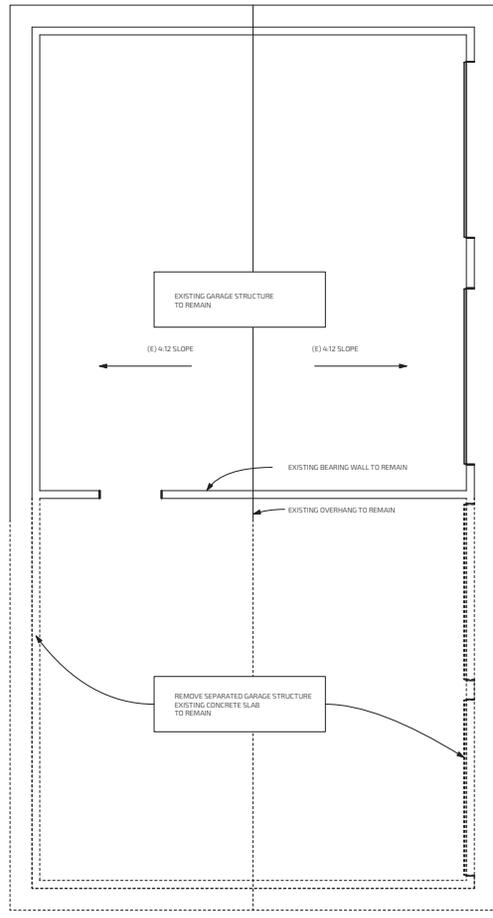
EXISTING EAST - RIGHT ELEVATION 3
 SCALE 1/4" = 1'-0"



EXISTING SOUTH - FRONT ELEVATION 2
 SCALE 1/4" = 1'-0"

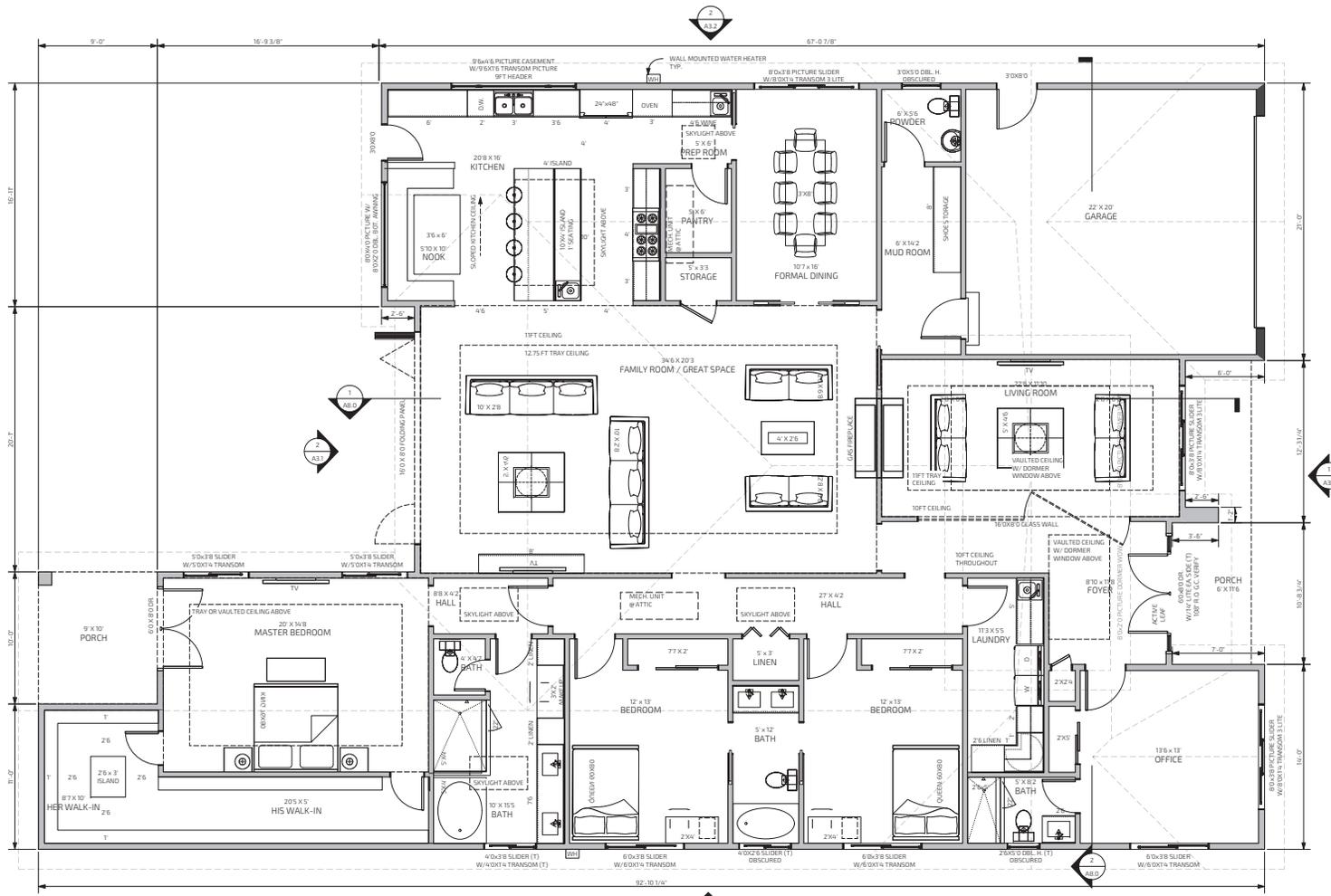


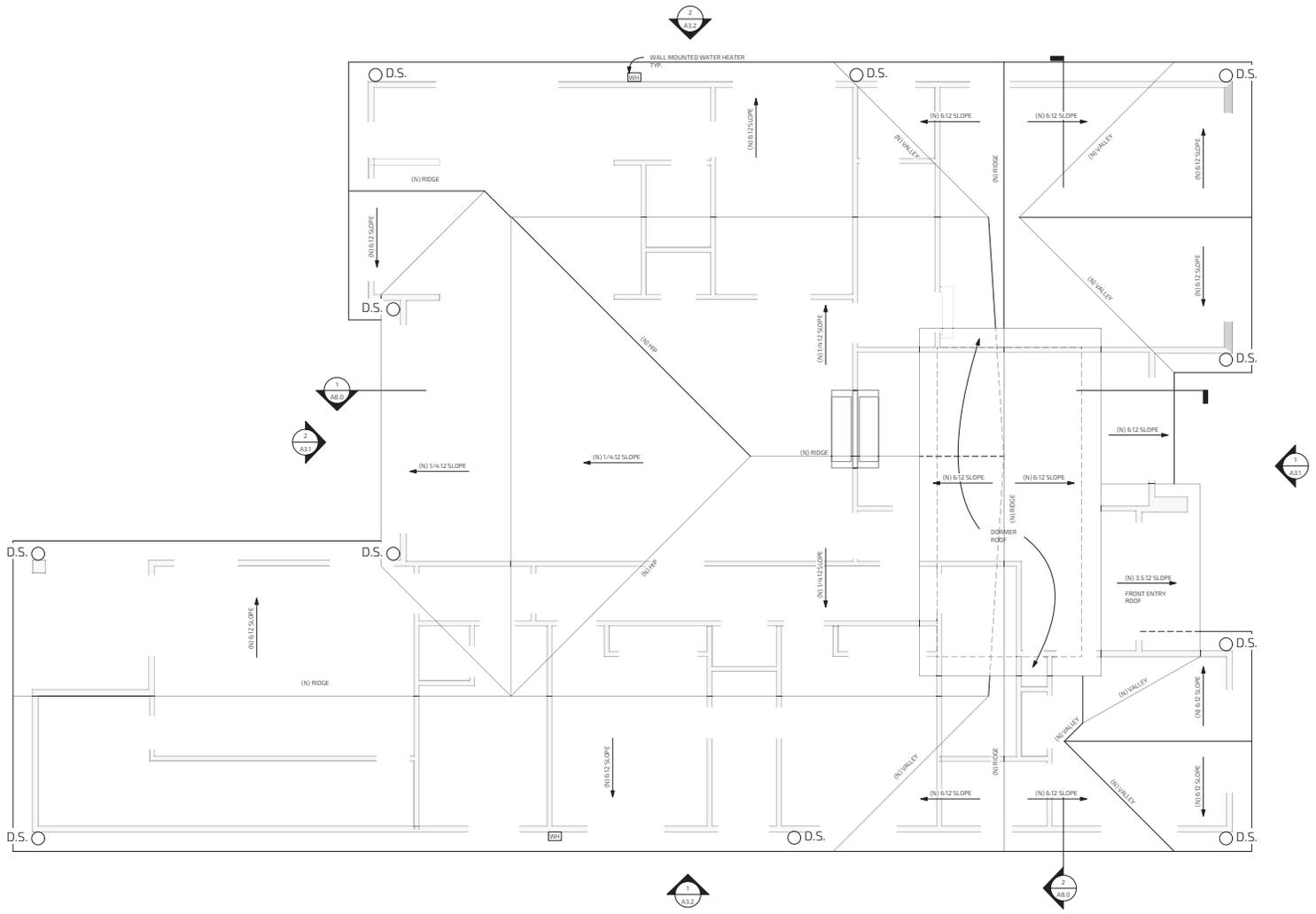
EXISTING WEST - LEFT ELEVATION 1
 SCALE 1/4" = 1'-0"



EXISTING FLOOR / ROOF PLAN 5
 SCALE 1/4" = 1'-0"







kc
 Kyle Chan
 ARCHITECT
 5205 PROSPECT ROAD
 SUITE 100-100
 SAN JOSE, CA 95129
 408-244-3111
 www.kylechan.com
 kyle@kylechan.com

ARCH PLANNING SET
 2.19.2019

Sheet Revisions:
 PLAN CHECK COMMENTS
 3.28.2019

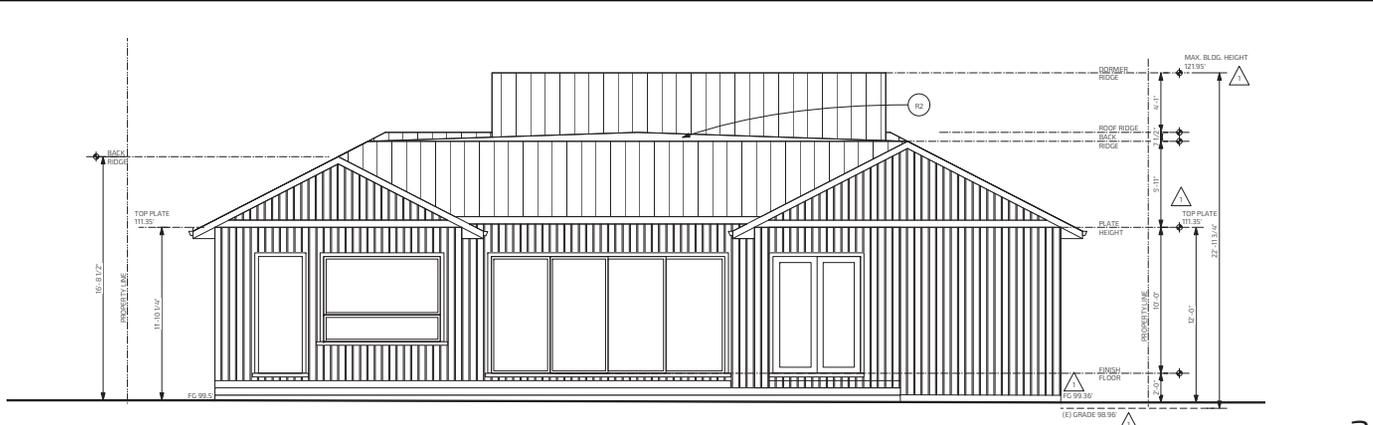
LEE RESIDENCE
 NEW RESIDENCE
 1121 LOVELL AVENUE
 CAMPBELL, CA 95008

PROGRESS SET
 NOT FOR CONSTRUCTION

PROPOSED
 ROOF PLAN

A2.2

PROJECT NUMBER: 1822
 1121 LOVELL AVE



PROPOSED BACK-NORTH ELEVATION 2
SCALE 1/4" = 1'-0"



PROPOSED FRONT-SOUTH ELEVATION 1
SCALE 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE				
SYMBOL	MATERIAL	MFR./DEALER	MODEL #/ DESCRIPTION/ LOCATION	COLOR
(S1)	STONE OVERLAY / OR STAMP CONCRETE	SEE LANDSCAPE	SEE LANDSCAPE DRAWINGS	-
(S2)	CLAD STONE VENEER PANEL	ELDORADO BRICK OR SIM.	TUNDRA BRICK, CHALK DUST COLOR FINISH. PROVIDE BRICK CAP AT TOP. TYPICAL BRICK TO WRAP WARM TO BOTH SIDES OF WALL. TYPICAL, ICC ESR-1215	WHITE
(R1)	STANDING SEAM METAL ROOF	-	NEW STANDING SEAM ROOF PER L&P SCHEDULE & ROOF TO BE CLASS IV OR BETTER, 12" MAX PROFILE & V-CROOVE. W/ PVDF COATING BY MORIN	METALLIC GRAY
(R2)	ROLL ROOFING OR BUILT-UP ROOF	-	CRICKET ROOFING PER CBC 8905.5 & 905.8, ROOF TO BE CLASS II OR BETTER	LIGHT GRAY
(G1)	GUTTER	-	PAINTED 6SM GUTTER TO MATCH WINDOW FRAME COLOR	GRAPHITE
(P1)	EXTERIOR PAINT	-	BENJAMIN MOORE CLOUD WHITE	WARM WHITE
(P2)	TRIM PAINT	-	BENJAMIN MOORE GRAPHITE 1853	GRAPHITE
(W1)	SIDING	-	PAINTED HARDIE-PANEL VERTICAL SIDING OVER GRADE 'D' BUILDING PAPER OVER PLYWOOD SHEATHING, ICC-ES REPORT ESR-2290	MATCH P1
	WINDOW	-	WINDOW SASH AND TRIM FINISH BY MARVIN INTEGRITY FIBERGLASS	GRAPHITE

1. PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MULLINS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRUSSES, RAFTER TAILS AND EAVE SHEATHING BOARDS. PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.
2. CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.
3. PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAGSTONE SURFACE.
4. FOR ALL WALL FINISHES, SEE WALL SCHEDULE ON A2 FOR UNDERLAYMENT REQUIREMENTS.



STREETSCAPE ELEVATION 3
SCALE 1/8" = 1'-0"



kylechan
ARCHITECT
5205 PROSPECT ROAD
SUITE 105-100
SAN JOSE, CA 95129
408-244-3111
www.kylechan.com
kyle@kylechan.com

ARCH PLANNING SET
2.19.2019

Sheet Revisions:
PLAN CHECK COMMENTS
3.28.2019

LEE RESIDENCE
NEW RESIDENCE
1121 LOVELL AVENUE
CAMPBELL, CA 95008

PROGRESS SET
NOT FOR CONSTRUCTION

PROPOSED ELEVATIONS

A3.1

PROJECT NUMBER: 1922
1121 LOVELL AVE



kylechan
 ARCHITECT
 5205 PROSPECT ROAD
 SUITE 105-102
 SAN JOSE, CA 95129
 408-244-3111
 www.kylechan.com
 kyle@kylechan.com

ARCH PLANNING SET
 2.19.2019

Sheet Revisions:
 △ PLAN CHECK COMMENTS
 3.26.2019

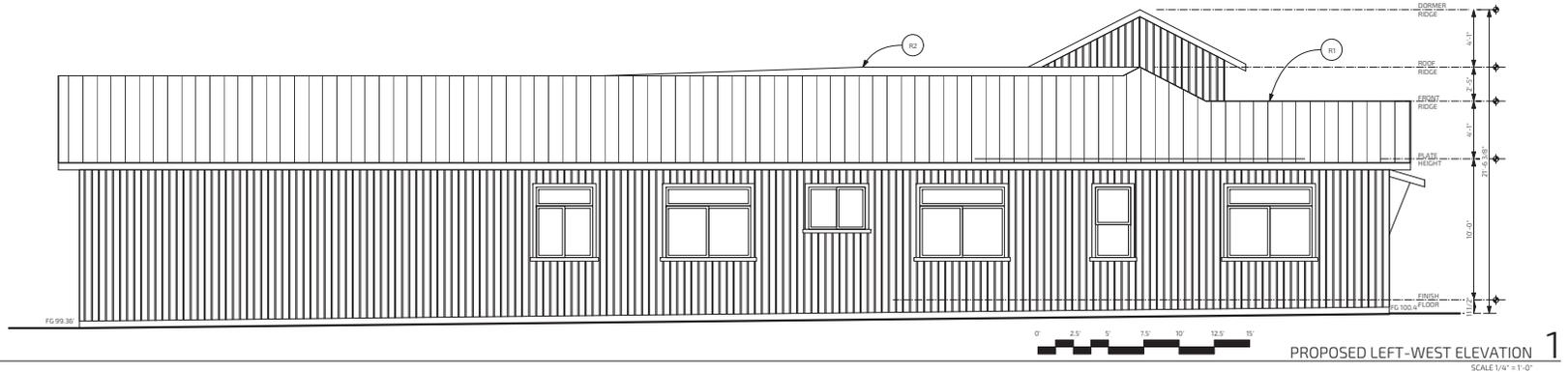
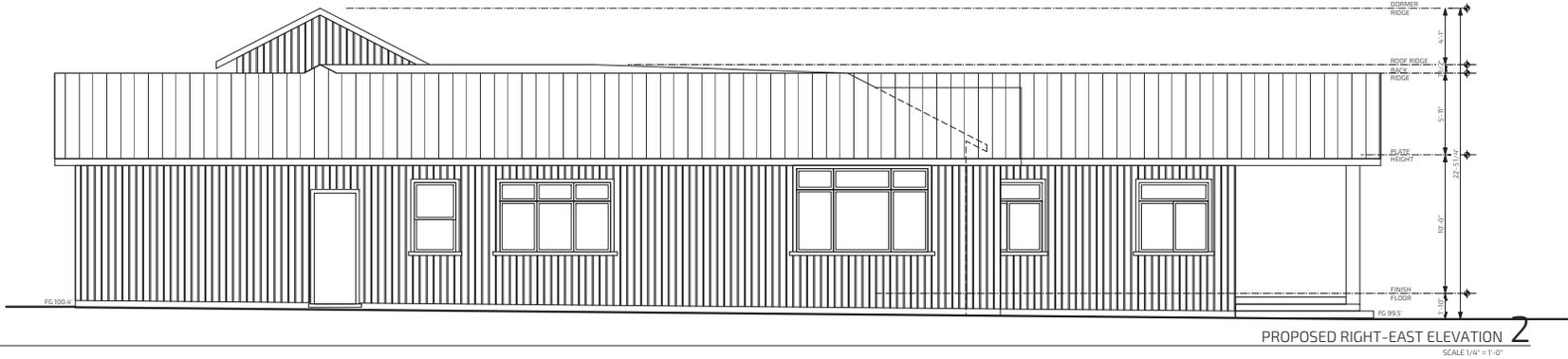
LEE RESIDENCE
 NEW RESIDENCE
 1121 LOVELL AVENUE
 CAMPBELL, CA 95008

PROGRESS SET
 NOT FOR CONSTRUCTION

PROPOSED
 ELEVATIONS

A3.2

PROJECT NUMBER: 1922
 1121 LOVELL AVE





kylechan
ARCHITECT
5205 PROSPECT ROAD
SUITE 100
SAN JOSE, CA 95128
408-244-3111
www.kylechan.com
kyle@kylechan.com

ARCH PLANNING SET
2.19.2019

Sheet Revisions:
△ PLAN CHECK COMMENTS
3.28.2019

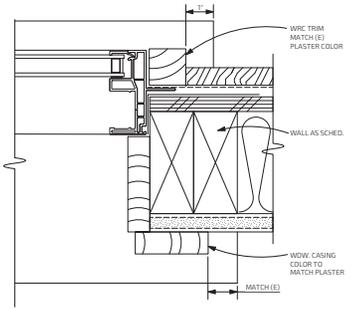
LEE RESIDENCE
NEW RESIDENCE
1121 LOVELL AVENUE
CAMPBELL, CA 95008

PROGRESS SET
NOT FOR CONSTRUCTION

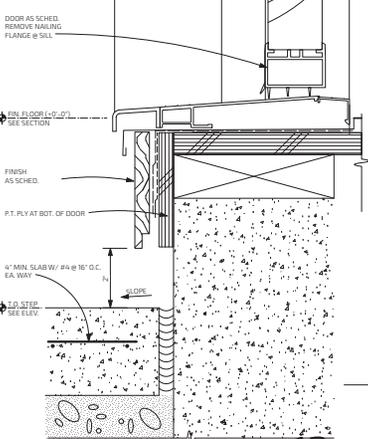
EXTERIOR
DETAILS /
SECTIONS

A8.0

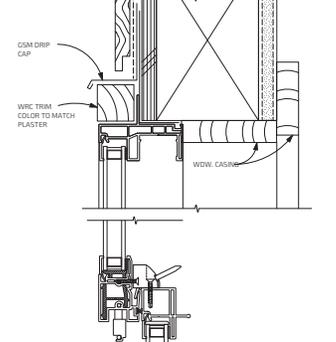
PROJECT NUMBER: 1822
1121 LOVELL AVE



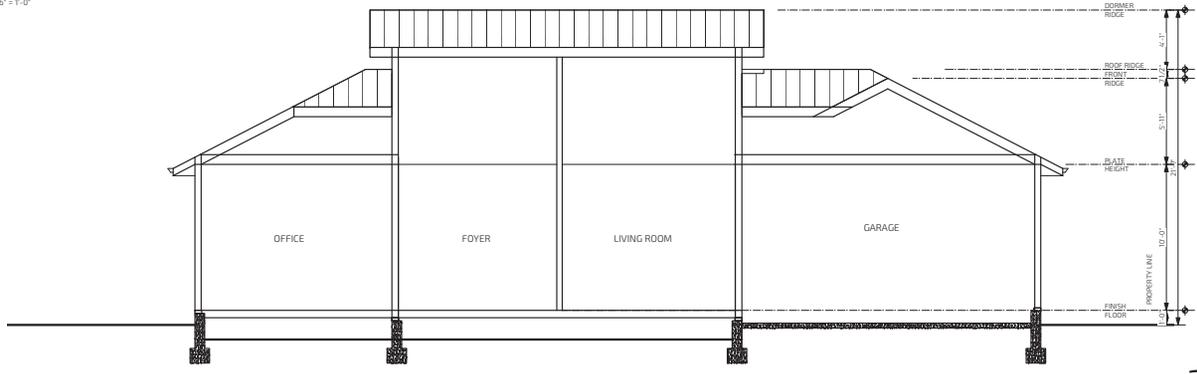
TYP. WDW. JAMB DETAIL
@ CEMENT PLASTER FINISH **9**
SCALE 6" = 1'-0"



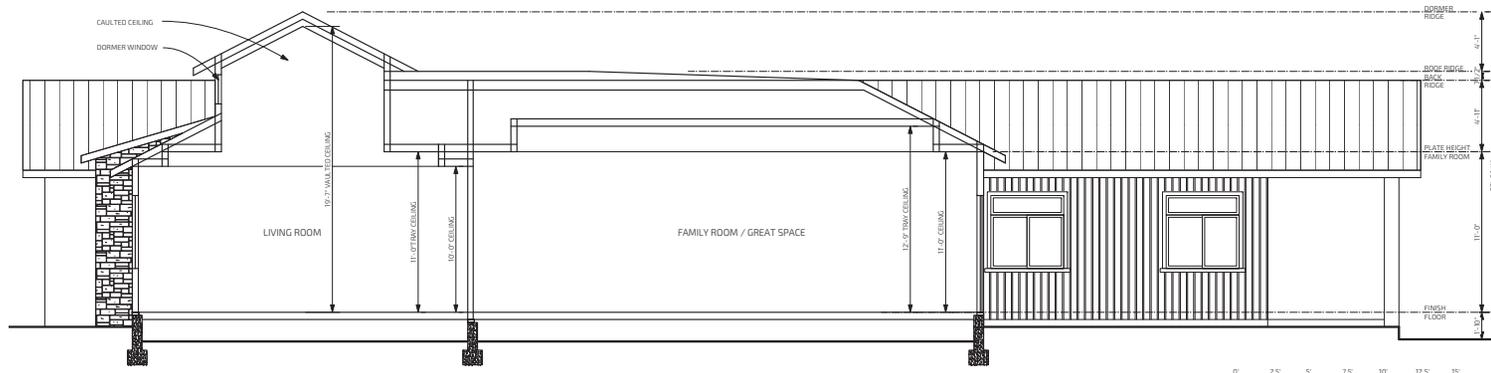
SLIDING DOOR SILL (SWING DR SIM.) **12**
SCALE 6" = 1'-0"



TYPICAL WDW. SILL,
MEETING RAIL & HEAD DETAILS @ CEM.
PLASTER FINISH (DR HEAD SIM.) **10**
SCALE 6" = 1'-0"

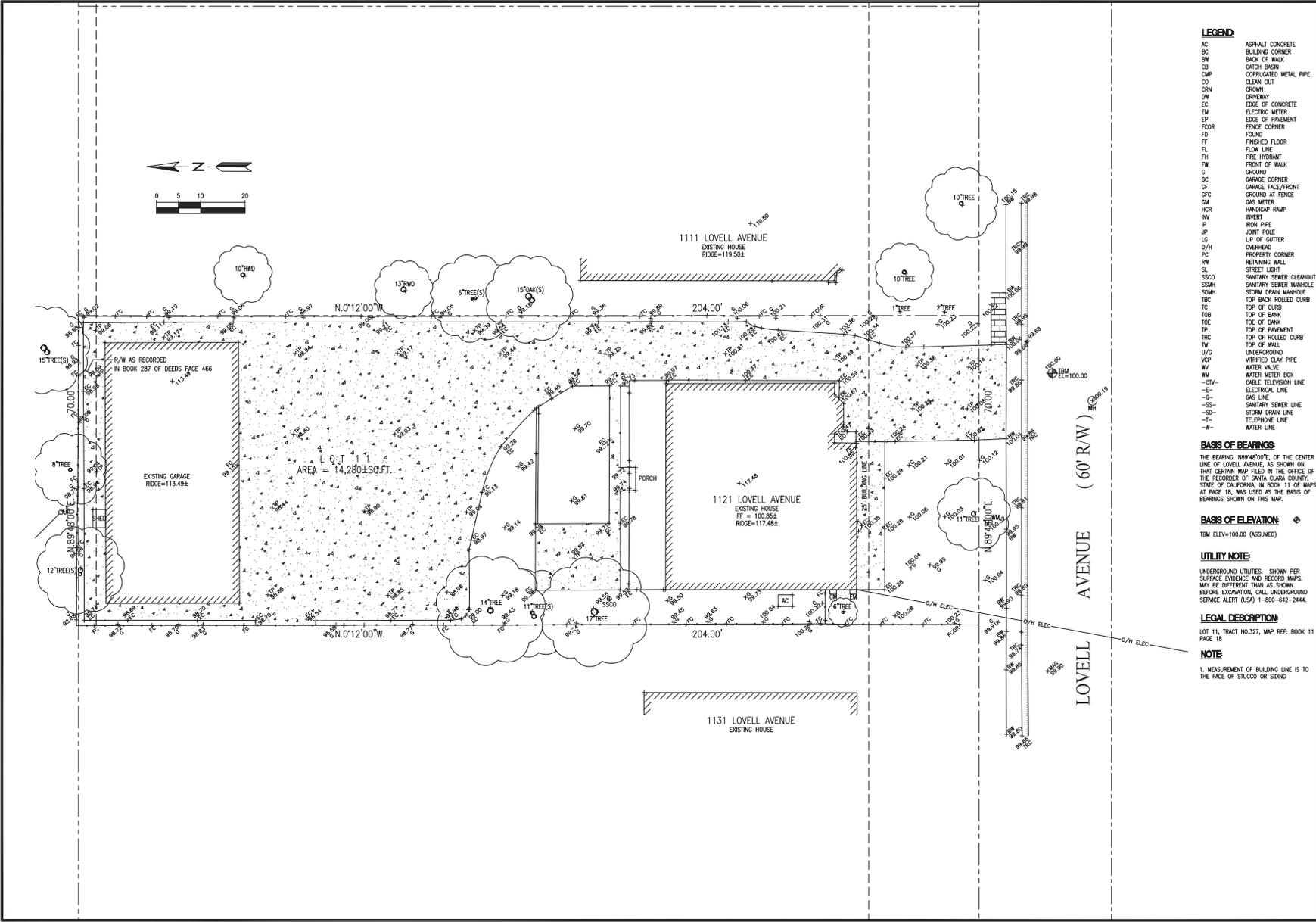


SECTION **2**
SCALE 1/4" = 1'-0"



SECTION **1**
SCALE 1/4" = 1'-0"





- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - OB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - DN DRAIN
 - DW DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FC FENCE CORNER
 - FO FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FI FIRE HYDRANT
 - FW FRONT OF WALK
 - G GRADING
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GI GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - INVERT
 - IP IRON PIPE
 - JR JOINT ROLE
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RW RETAINING WALL
 - SL SHELTER LIGHT
 - SS00 SANITARY SEWER CLEANOUT
 - SS01 SANITARY SEWER MANHOLE
 - SS02 STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOR TOP OF BANK
 - TOE TOE OF BANK
 - TP TOP OF FINISHPUT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CIV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASES OF BEARINGS
 THE BEARING, N89°48'00\"/>

BASES OF ELEVATION
 TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE
 UNDERGROUND UTILITIES: SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION
 LOT 11, TRACT NO.327, MAP REF: BOOK 11 PAGE 18

NOTE
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUDO OR SIDING

LEE RESIDENCE

1121 LOVELL AVENUE
 CAMPBELL, CA
 APN: 406-06-034



2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: DEC 7, 2018
 SCALE: 1"=10'
 DRAWN: BG
 JOB: 10078

TOPOGRAPHIC SURVEY

SHEET TITLE:

SHEET NO.

C.0

GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH PERMIT PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEViating WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINISHED GRADED TO PROVIDE A MINIMUM OF SIX (6) PERCENT (2%) OF THE SURFACE ADJACENT TO HOUSE IS HARDSCAPE) FROM THE BUILDING PERIMETER AND ADJACENT PROPERTY LINES. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN OTHERWISE ON THE PLAN, THE HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND CUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY/COUNTY HOLDS AN INTEREST.
- ANY SIDEWALK AND CURB & GUTTER ARE REMOVED OR DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED PER THE CURRENT PUBLIC WORKS ENGINEERING STANDARDS.
- ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION ON THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE CONSTRUCTION OF THE EXCAVATION MUST BE REVISED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD.
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES - FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SHEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO THE RAINY SEASON OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 1/4" FRACTIONED STONE AGGREGATE (BLANK WITH GRID/TILE LINES) FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROWED AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.

GENERAL NOTES

EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	5 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	85 C.Y.
FILL	10 C.Y.
BALANCE	80 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

AB	AGGREGATE BASE	FS	FINISH SURFACE ELEV
AC	ASPHALT CONCRETE	FW	FIRE WATER LINE
AD	AREA DRAIN	GB	GRADE BREAK
BW	BOTTOM OF WALL	GM	GAS METER
CB	CATCH BASIN	GR	GRATE ELEVATION
CIP	CAST IRON PIPE	HP	HIGH POINT
CL	CENTER LINE	INV	INVERT ELEVATION
CONC	CONCRETE	JT	JOINT TRENCH
CONC	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	TV	TV/CABLE TV
(E)	EXISTING	FS	FIRE SERVICE
EX	EXISTING GRADING	RM	RETAINING WALL
EM	ELECTRICAL METER	S	SLOPE
EP	EDGE OF PAVEMENT	SD	STORM DRAIN LINE
FC	FACE OF CURB ELEV.	SODO	STORM DRAIN CLEANOUT
FD	FRENCH DRAIN	SODM	STORM DRAIN FORCED MAIN
FF	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FG	FINISHED GROUND ELEV.	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE ELEVATION	T	TELEPHONE
FM	FORCE MAIN LINE	C	NATURAL GAS
FP	FINISHED PAVEMENT	FM	FORCE MAIN
		W	DOMESTIC WATER LINE
		WM	WATER METER

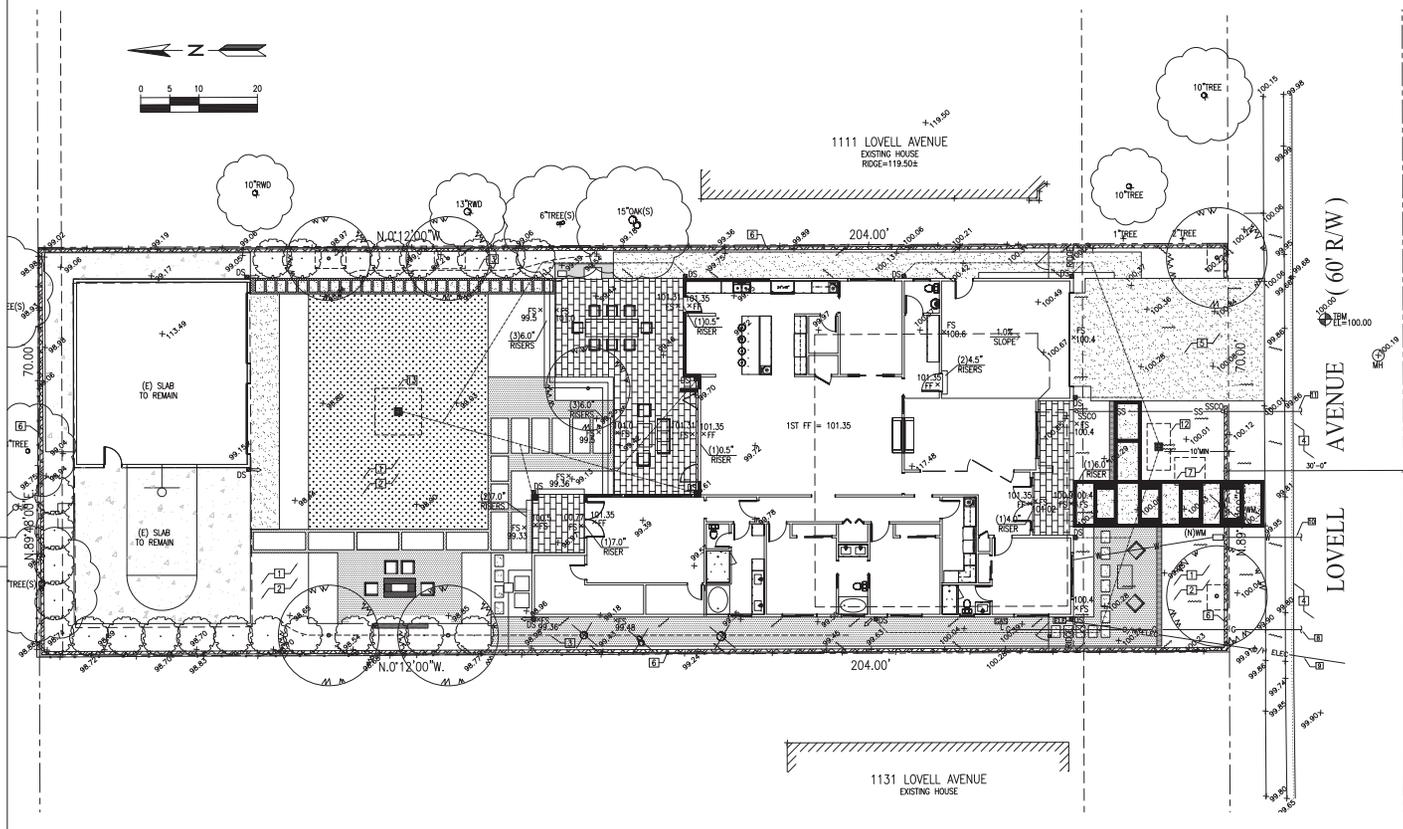
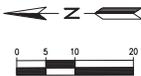
SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRB	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/M	OVERHEAD WIRES
T	TELEPHONE	+101.52	(E) SPOT ELEVATION
C	NATURAL GAS	+102.1	(N) SPOT ELEVATION
FM	FORCE MAIN		
DS	SPLASH BLOCK, MIN 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH DIPS		

ABBREVIATION

4

LEGEND

5



- DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- SHALLOW SWALE, SEE 1/C/2
- CONTRACTOR SHALL NOT STACK, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATE TO KEEP MATERIALS AND EQUIPMENT ON-SITE.
- MAINTAIN STABILIZED CONSTRUCTION AREA, OR, EXISTING DRIVEWAY IS TO BE MAINTAINED UNTIL REPLACEMENT, COORDINATE WITH NEIGHBORS. SEE 1/C/2
- MAINTAIN FIBER ROLL AT AROUND THE ENTIRE SITE FOR EROSION CONTROL. SEE 3/C/2
- CONCRETE WASHOUT AREA. SEE 2/C/2
- NEW GAS LINE, COORDINATE WITH POSE
- OVERHEAD ELEC. LINE, COORDINATE WITH POSE
- WATER LATERAL TO BE CONNECTED TO WATER MAIN. LINE SIZE TO BE DETERMINED BY FIRE PROTECTION CONTRACTOR. UPGRADE WATER METER IF REQUIRED
- SEWER LATERAL TO BE CONNECTED TO SEWER MAIN. INSTALL SSSCO AT WITHIN 5' FROM PROPERTY LINE AND AT THE FRONT OF HOUSE. MIN 2% SLOPE
- DISSIPATION FIELD, 4'x8', SEE 4/C/2
- DISSIPATION FIELD, 8'x8', SEE 4/C/2
- USE (DOIT OVERUSE) WATER FOR DUST CONTROL
- SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOST BEFORE GRADING ACTIVITIES.
- DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER
- CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

PROPERTY LINE
SOLID PKG SD LINE
GRADE BREAK

LEE RESIDENCE

1121 LOVELL AVENUE
CAMPBELL, CA
APN: 406-06-034

WEC ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: FEB 08, 2019
SCALE: AS SHOWN
DRAWN: BG
JOB: 10078

SHEET TITLE:
GRADING AND DRAINAGE & EROSION CONTROL PLAN

SHEET NO.

C.1

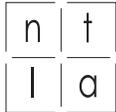
CUT AND FILL ESTIMATE

3

GRADING AND DRAINAGE PLAN / EROSION CONTROL PLAN / UTILITY COORDINATION PLAN

SCALE: 1"=10'

1



NATALIE TAN
LANDSCAPE ARCHITECTURE
P.O. Box 972
Ben Lomond, CA 95005
(408) 605-7228
www.ntladesign.com

PROJECT APPLICANT:
JING LEE

APN: 406-06-034

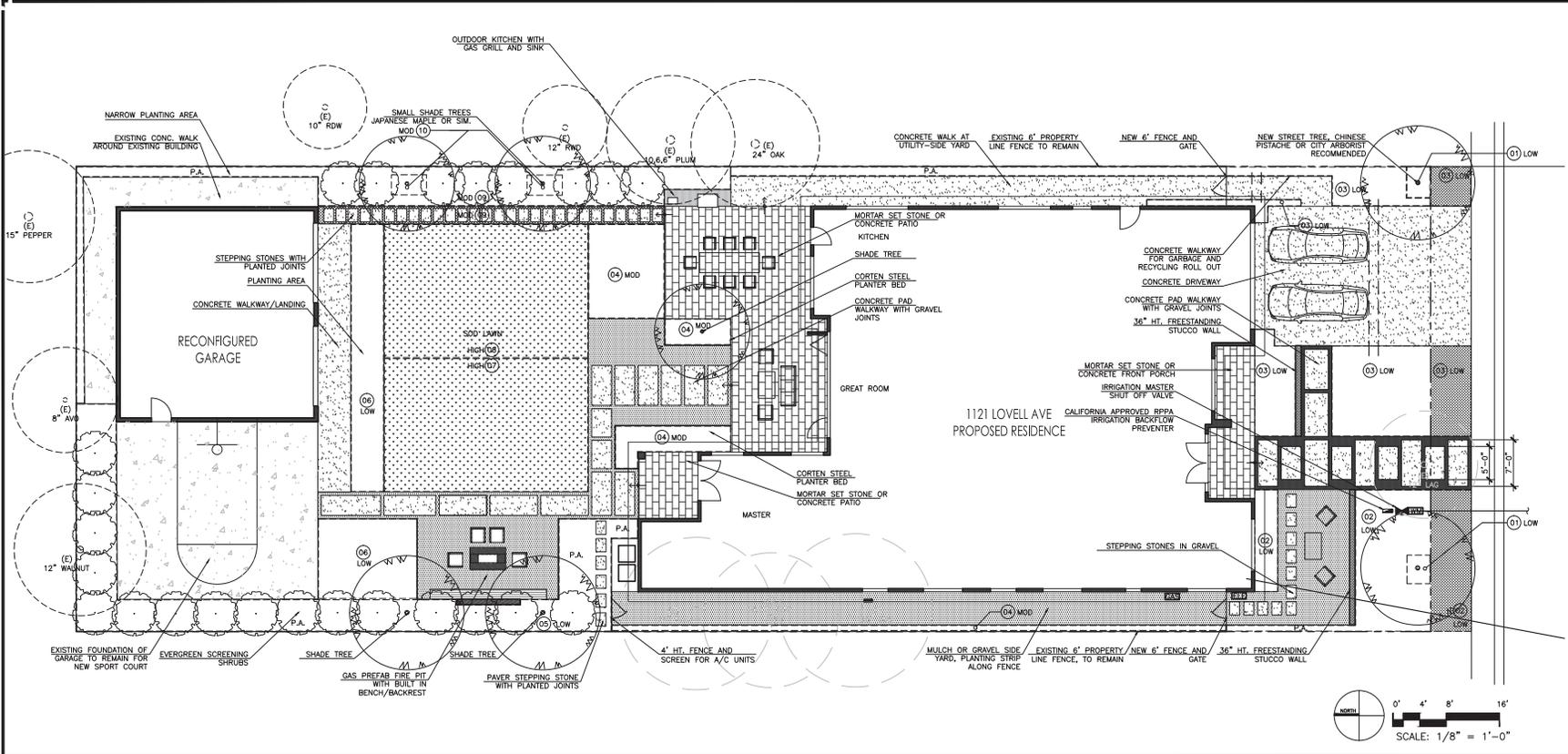
PROJECT DESCRIPTION: REMOVE EXISTING
SINGLE FAMILY HOUSE, CONSTRUCT NEW
SINGLE FAMILY HOUSE, MODIFY EXISTING
ACCESSORY STRUCTURE

LEE RESIDENCE
1121 Lovell Avenue
Campbell, CA
95008

LANDSCAPE PLAN

Issue	date	description
00	02/08/19	PLANNING REVIEW
01	03/28/19	PLANNING COMMENTS

drawn by: NT
reviewed by: GT
approved by: _____
project number: _____



LAYOUT NOTES:

- SOME ADJUSTMENTS/MODIFICATIONS MAY BE REQUIRED DUE TO CONSIDERATION OF ACTUAL FIELD CONDITIONS. SUCH ADJUSTMENTS SHALL BE MADE PRIOR TO THE FORMING AND POURING OF CONCRETE. DO NOT PROCEED WITHOUT DIRECTION FROM LANDSCAPE ARCHITECT.
- MAJOR DISCREPANCIES/CONFLICTS IN FLATWORK LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO PROCEEDING OR CONTINUING WITH CONCRETE WORK.
- LANDSCAPE CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMWORK PRIOR TO POURING OF CONCRETE.
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS AND DISTANCES FROM PLANS.
- DIMENSIONS ARE FROM FACE OF BUILDING UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND NOTING ANY UNDERGROUND UTILITIES PRIOR TO GRADING, TRENCHING, PLANTING OR OTHER RELATED SITE WORK. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND PROPER DRAINAGE OF SURFACES IN ALL LANDSCAPE AREAS.
- LEVEL CHANGE AT PAVED SURFACES SHOULD BE A MINIMUM OF 1/2 INCH WITH BEVELED OR SLOPED ANGLE.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.
- CROSS SLOPES SHALL NOT EXCEED 2% GRADE AT PAVED PATH OF TRAVEL.

LAYOUT LEGEND:

- CONC. CONCRETE
- (E) OR EXIST. EXISTING
- EJ EXPANSION JOINT:
1) SHOWN PER PLAN
- PA PLANTING AREA
- CL CENTER LINE
- D.G. DECOMPOSED GRANITE
- MATCH/ALIGN/FLUSH
- STAIR RISER
1) 6" MAX.
2) SEE DETAIL
- T.P. TOP OF PAVING
- T.W. TOP OF WALL

HYDROZONE TABLE:

HYDROZONE	SOFT.	WATER NEEDS	DESCRIPTION	EXPOSURE	METHOD
01	35	LOW	FRONT TREES	SUN	DRIP
02	456	LOW	FRONT SHRUBS & PARKSTRIP	SUN	DRIP
03	553	LOW	FRONT SHRUBS & PARKSTRIP	SUN	DRIP
04	345	MODERATE	SIDE AND BACK SHRUBS	SUN/SHADE	DRIP
05	630	LOW	BACK SHRUBS	SUN	DRIP
06	435	LOW	BACK SHRUBS	SUN	DRIP
07	613	HIGH	BACK LAWN	SUN	SPRAY
08	613	HIGH	BACK LAWN	SUN	SPRAY
09	431	MODERATE	BACK SHRUBS	SUN	DRIP
10	30	MODERATE	BACK TREES	SUN	DRIP

STATEMENT OF DESIGN INTENT:

- TO MATCH THE ARCHITECTURE OF THE HOME, THE PLANTING DESIGN IS TO BE MODERN WITH A CALIFORNIA FEEL. NATIVE PLANTS AND CLIMATE APPROPRIATE PLANT MATERIAL HAS BEEN SELECTED BASED ON THE SOLAR POSITIONING OF THE NEW RESIDENCE. MOST PLANTS ARE LOW WATER USE BUT MODERATE PLANTS HAVE BEEN CHOSEN IN THE MORE DECORATIVE PLANTING AREAS.
- IRRIGATION DESIGN IS DRIP AT ALL SHRUBS, TREES AND GROUNDCOVERS. ONLY SPRAY IRRIGATION IS USED AT THE LAWN AREAS. WHERE APPLICABLE, LOW WATER USE PLANTS HAVE BEEN SELECTED. THE LAWN AREA WILL USE A LOW-WATER USE TURF BLEND.
- THE LANDSCAPE WILL BE MAINTAINED BY A GARDENING SERVICE TO ENSURE THE IRRIGATION SYSTEM REMAINS EFFICIENT AS DESIGNED.

MATERIALS LEGEND:

- MORTAR SET STONE OR CONCRETE PATIOS
COLOR: MEDIUM GRAY
FINISH: T&D
- LOW STUCCO OR CONCRETE FREE STANDING WALL
36" HT. ABOVE GRADE
- INTEGRAL COLORED CONCRETE
COLOR TO MATCH STONE PAVING
COLOR TO BE DETERMINED
SCORE PATTERN AS SHOWN
LIGHT BROOM FINISH
- STEPPING STONES SET ON SAND LEVELING BASE
18" X 24"
- DECORATIVE COBBLE
1-2" LA PAZ
WITH BLACK STEEL EDGING
- PEA GRAVEL OR DECOMPOSED GRANITE
WITH BLACK STEEL EDGING

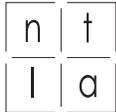
LANDSCAPE DESIGN PLAN WATER EFFICIENCY STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LOT COVERAGE:

LANDSCAPING COVERAGE: 3,891 SF
PAVING COVERAGE: 5,273 SF
IMPERVIOUS PAVING: 3,816 SF
(CONCRETE OR STONE)
PERVIOUS PAVING: 1,455 SF
(GRAVEL)

REFER TO L2 FOR PLANTING PLAN
REFER TO L3 FOR IRRIGATION PLAN



NATALIE TAN
LANDSCAPE ARCHITECTURE
P.O. Box 972
Ben Lomond, CA 95005
(408) 605-7228
www.nflandscape.com

PROJECT APPLICANT:
JING LEE

APN: 406-06-034

PROJECT DESCRIPTION: REMOVE EXISTING
SINGLE FAMILY HOUSE, CONSTRUCT NEW
SINGLE FAMILY HOUSE, MODIFY EXISTING
ACCESSORY STRUCTURE

LEE RESIDENCE
1121 Lovell Avenue
Campbell, CA
95008

IRRIGATION PLAN

Issue	date	description
00	02/08/19	PLANNING REVIEW
01	03/28/19	PLANNING COMMENTS

drawn by: NT

reviewed by: CY

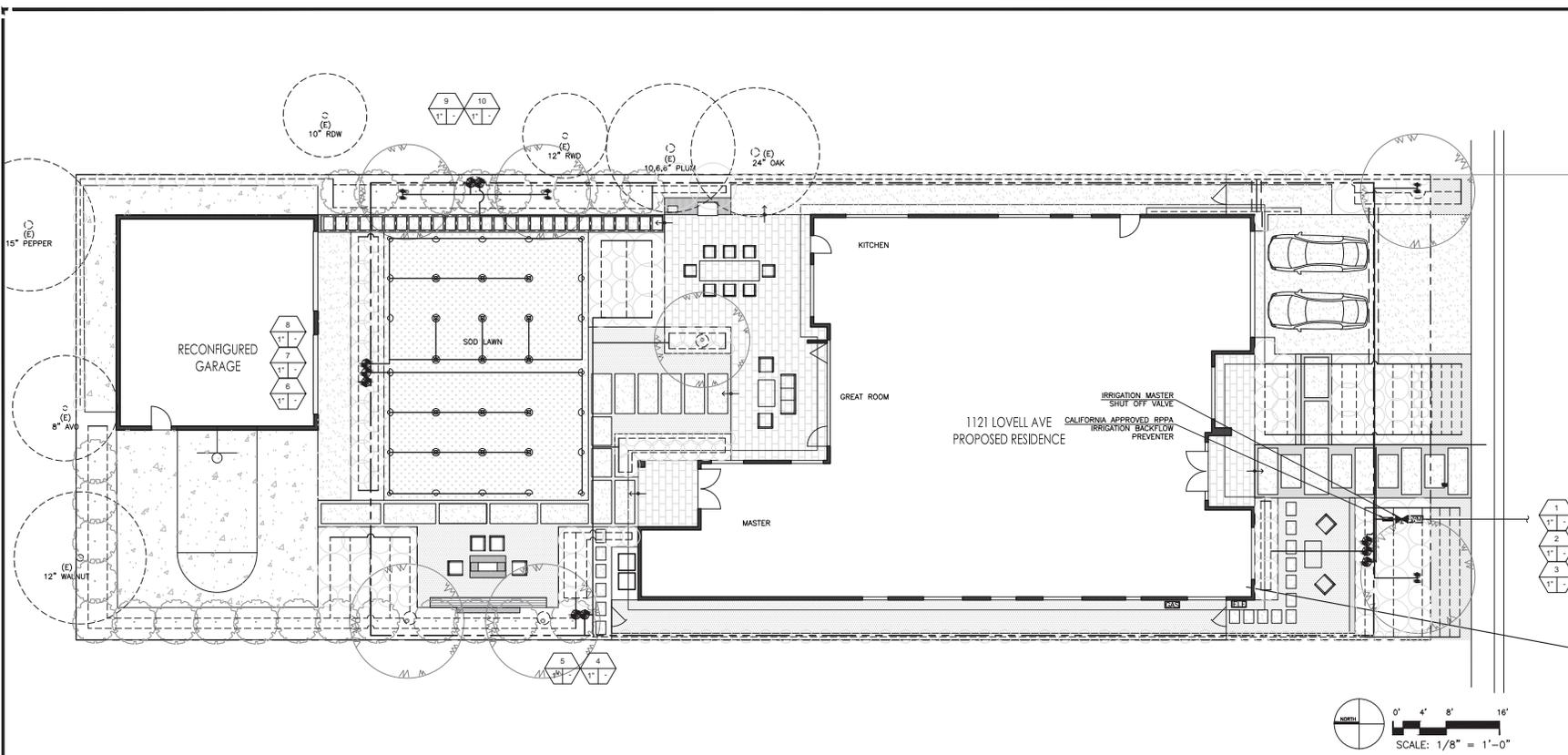
approved by:

project number:



L3

sheet number



- IRRIGATION NOTES:**
- REFER TO CIVIL PLANS FOR DEDICATED WATER METER LOCATION AND SIZE.
 - AUTOMATIC IRRIGATION SYSTEM IS REQUIRED TO HAVE THE FOLLOWING:
 - (A) AUTOMATIC SMART CONTROLLER
 - (B) RAIN SENSOR
 - (C) PRESSURE REGULATING DEVICE
 - (D) MANUAL SHUT-OFF VALVE
 - (E) BACKFLOW PREVENTION DEVICE
 - (F) FLOW SENSOR
 - (G) MASTER SHUT-OFF VALVE
 - STATIC WATER PRESSURE, DYNAMIC OR OPERATING PRESSURE, AND FLOW READING OF THE WATER SUPPLY SHALL BE MEASURED AT THE POINT OF CONNECTION. THESE PRESSURE AND FLOW MEASUREMENTS SHALL BE CONDUCTED AT THE DESIGN STAGE. IF THE MEASUREMENTS ARE NOT AVAILABLE AT THE DESIGN STAGE, THE MEASUREMENTS SHALL BE CONDUCTED AT INSTALLATION.
 - THE IRRIGATION SYSTEM IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGETED AREAS, SUCH AS ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS, OR STRUCTURES.
 - THE DESIGN OF THE IRRIGATION SYSTEM CONFORMS TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN.
 - WATER FEATURE WILL BE SUPPLIED BY THE IRRIGATION SUPPLY LINE.
 - THE IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED TO MEET THE IRRIGATION EFFICIENCY CRITERIA AS DESCRIBED IN SECTION 492.4 REGARDING THE MAXIMUM APPLIED WATER ALLOWANCE.
 - SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES, UNLESS OTHERWISE DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
 - HEAD TO HEAD COVERAGE IS RECOMMENDED TO ACHIEVE DISTRIBUTION UNIFORMITY USING THE MANUFACTURER'S RECOMMENDATIONS.
 - SWING JOINTS OR OTHER RISER-PROTECTION COMPONENTS ARE REQUIRED ON ALL RISERS SUBJECT TO DAMAGE THAT ARE ADJACENT TO HARDSCAPES OR IN HIGH TRAFFIC AREAS OF TURFGRASS.
 - CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
 - IRRIGATION SYSTEM MUST ADHERE TO UNIFIED PLUMBING CODE AND CITY OF PALO ALTO STANDARDS. SPECIFICATIONS FOR IRRIGATION SYSTEMS SHALL ENSURE THAT ALL REQUIREMENTS OF THE ADOPTED UNIFIED PLUMBING CODE ARE MET. PLAN DETAILS SHALL BE ACCORDING TO THE UTILITIES STANDARDS AND THE DEPARTMENT OF PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.

SPRINKLER LINE PIPE SIZE SCHEDULE:

G.P.M.	SIZE
0-10	3/4"
11-15	1"
16-25	1 1/4"
26-35	1 1/2"
36-50	2"
51-70	2 1/2"

- IRRIGATION SYSTEM LEGEND:**
- DEDICATED IRRIGATION WATER METER
 - IRRIGATION BACKFLOW PREVENTION DEVICE
 - PRESSURE REGULATING VALVE
 - AUTOMATIC IRRIGATION CONTROLLER
 - REMOTE CONTROL VALVE
 - DRIP REMOTE CONTROL VALVE
 - QUICK COUPLER VALVE
 - FLOW METER
 - MASTER SHUT OFF VALVE
 - AIR RELIEF VALVE
 - MOISTURE SENSOR
 - 1" POP UP SPRAY HEADS
 - BUBBLERS
 - IRRIGATION MANLINE
 - IRRIGATION LATERAL LINE
 - SLEEVING - SIZE 2X PIPE ENCASED
 - INLINE DRIP
 - CONTROLLER STATION NUMBER
 - GALLONS PER MINUTE THROUGH VALVE
 - CONTROL VALVE SIZE

IRRIGATION SYSTEM MAINTENANCE:
THE IRRIGATION SYSTEM SHOULD BE KEPT CLEAN AND PROPERLY ADJUSTED. DAMAGED EQUIPMENT SHOULD BE REPAIRED PROMPTLY WITH IDENTICAL EQUIPMENT TO MAINTAIN THE ORIGINAL DESIGN INTEGRITY.

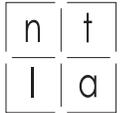
IRRIGATION DESIGN PLAN WATER EFFICIENCY STATEMENT:
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

Table 23, Appendix B
WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (E_{ref}) = 42.0

Plant Species	Frequency (F)	Frequency Multiplier (FM)	Plantation Efficiency (PE)	ETAF (ETAF ₁)	Adjusted Area (Adj. A)	Total Area	ETAF ₁ x Total Area (ETAF ₁ Tot)
Regular Landscape Areas							
1. Turf (Turf)	0.20	Drig	0.81	0.25	25	19	230
2. Front shrubs & parking (Lawn)	0.20	Drig	0.81	0.25	456	253	2,995
3. Front shrubs & parking (Lawn)	0.20	Drig	0.81	0.25	553	304	3,632
4. Side and Back shrubs (Moderate)	0.40	Drig	0.81	0.49	345	190	4,512
5. Back shrubs (Lawn)	0.20	Drig	0.81	0.25	520	287	4,117
6. Back shrubs (Lawn)	0.20	Drig	0.81	0.25	445	239	2,807
7. Back Lawn (High)	0.80	Spray	0.75	1.07	413	137	17,562
8. Back Lawn (High)	0.80	Spray	0.75	1.07	413	137	17,562
9. Back Shrubs (Moderate)	0.40	Drig	0.81	0.49	411	217	5,061
10. Back Trees (Moderate)	0.40	Drig	0.81	0.49	90	17	339
Totals					4141	2278	59,220
Special Landscape Areas							
1. Turf	1	0	0	0	0	0	0
Totals					0	0	0
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	(B)	2,278					
Total Area	(A)	4,141					
Average ETAF	(B/A)	0.55					
All Landscape Areas							
Total ETAF x Area	(B+D)	2,278					
Total Area	(A+C)	4,141					
Average ETAF	(B+C)/(A+C)	0.55					

REFER TO L1 FOR LANDSCAPE PLAN
REFER TO L2 FOR PLANTING PLAN



NATALIE TAN
LANDSCAPE ARCHITECTURE
P.O. Box 972
Ben Lomond, CA 95005
(408) 605-7228
www.nfladesign.com

PROJECT APPLICANT:
JING LEE

APN: 406-06-034

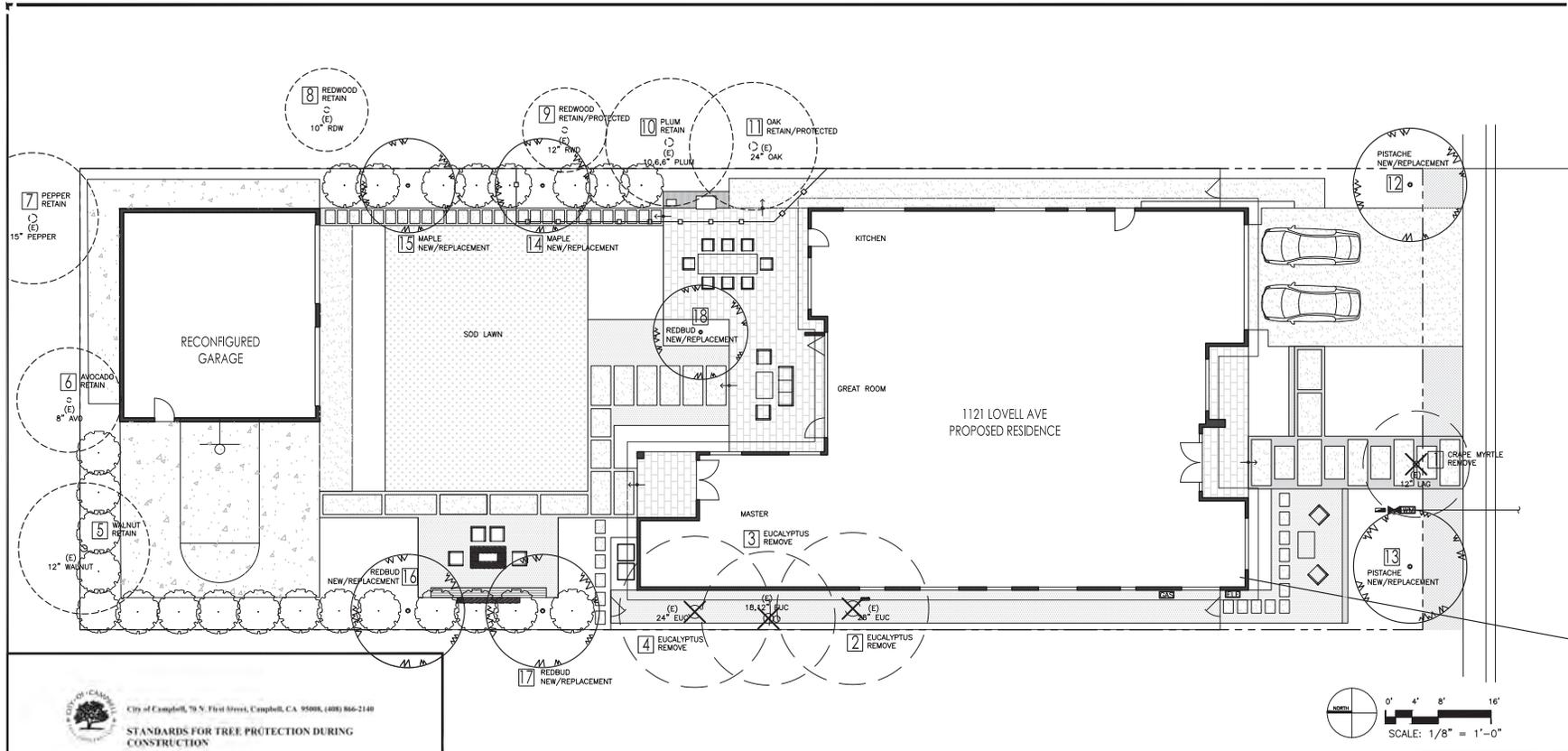
PROJECT DESCRIPTION: REMOVE EXISTING
SINGLE FAMILY HOUSE, CONSTRUCT NEW
SINGLE FAMILY HOUSE, MODIFY EXISTING
ACCESSORY STRUCTURE

LEE RESIDENCE
1121 Lovell Avenue
Campbell, CA
95008

EXISTING TREE AND
TREE PROTECTION PLAN

Issue	date	description
00	02/08/19	PLANNING REVIEW
01	03/28/19	PLANNING COMMENTS

drawn by: NT
reviewed by: GT
approved by:
project number:



City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140
STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

- Commencement of private property where protective trees are designated for preservation shall be protected during development of a property by compliance with the following:
- Protective fencing shall be installed no closer to the trunk than the drip-line, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - The fence shall be a minimum of six feet in height and shall be set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
 - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the drip-line provided any excavation is done in accordance with instructions directed by a qualified arborist.
 - The existing grade level around a tree shall normally be maintained out to the drip-line of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
 - Drain walls shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
 - Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
 - Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
 - Soil compaction of the area under the drip-line of the tree shall be avoided during all phases of site clearing and construction.
 - No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
 - No signs, wires or any other object shall be attached to the tree.
 - Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
 - The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.

EXISTING TREE LIST:

#	COMMON NAME	BOTANICAL NAME	TRUNK DIA. (IN.)	HEIGHT (FT.)	CANOPY DIA. (FT)	PROTECTED (Y/N)	CONDITION	PRESERVE/REMOVE
01	GRAPE MYRTLE	LAGERSTROEMIA INDICA	12	25	22	NO (SPECIES)	EXCELLENT	REMOVE
02	SILVER DOLLAR GUM	EUCALYPTUS POLYANTHEMOS	28	50	25	NO (SPECIES)	FAIR	REMOVE
03	SILVER DOLLAR GUM	EUCALYPTUS POLYANTHEMOS	18, 12	45	20	NO (SPECIES)	FAIR	REMOVE
04	SILVER DOLLAR GUM	EUCALYPTUS POLYANTHEMOS	24	45	20	NO (SPECIES)	GOOD	REMOVE
05	WALNUT	JUGLANS SP.	12, 8	40	30	NO (SPECIES)	FAIR	PRESERVE
06	AVOCADO	PERSEA AMERICANA	10	30	15	NO (SPECIES)	FAIR	PRESERVE*
07	CALIFORNIA PEPPER	SCHINUS MOLLE	18, 18	40	40	NO (SPECIES)	GOOD	PRESERVE*
08	COAST REDWOOD	SEQUOIA SEMPERVIRENS	10	50	20	NO (SUB-SIZE)	EXCELLENT	PRESERVE*
09	COAST REDWOOD	SEQUOIA SEMPERVIRENS	10	50	25	YES	EXCELLENT	PRESERVE*
10	PLUM	PRUNUS SP.	10, 6, 6	35	20	NO (SPECIES)	GOOD	PRESERVE*
11	COAST LIVE OAK	QUERCUS AGRIFOLIA	24	45	30	YES	GOOD	PRESERVE*

* INDICATES TREE ON ADJACENT PROPERTY

REPLACEMENT TREE LIST:

#	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
12	PISTACHIA C. 'KEITH DAVEY'	CHINESE PISTACHIE	24" BOX	STANDARD
13	PISTACHIA C. 'KEITH DAVEY'	CHINESE PISTACHIE	24" BOX	STANDARD
14	ACER PALMATUM 'FIREGLOW'	JAPANESE MAPLE	24" BOX	LOW BRANCHING
15	ACER PALMATUM 'FIREGLOW'	JAPANESE MAPLE	24" BOX	LOW BRANCHING
16	CERCIS CAN. 'FORSET PANSY'	REDBUD	24" BOX	STANDARD
17	CERCIS CAN. 'FORSET PANSY'	REDBUD	24" BOX	STANDARD
18	CERCIS CAN. 'FORSET PANSY'	REDBUD	24" BOX	STANDARD

TREE PROTECTION LEGEND:



TPZ - TREE PROTECTION FENCING
Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-foot deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished, posts may be supported by concrete base

TREE PROTECTION ZONE:

The tree protection zone (TPZ) means the area of a temporary fenced tree enclosure at or beyond the tree's drip-line or as specified in a report prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is permitted unless approved and supervised by the certified or consulting arborist.

TREE PROTECTION NOTES:

REFER TO ARBORIST REPORT DATED 2/6/2019 AS PREPARED BY B0 FIRESTONE