



CITY OF CAMPBELL
Community Development Department

April 17, 2019

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

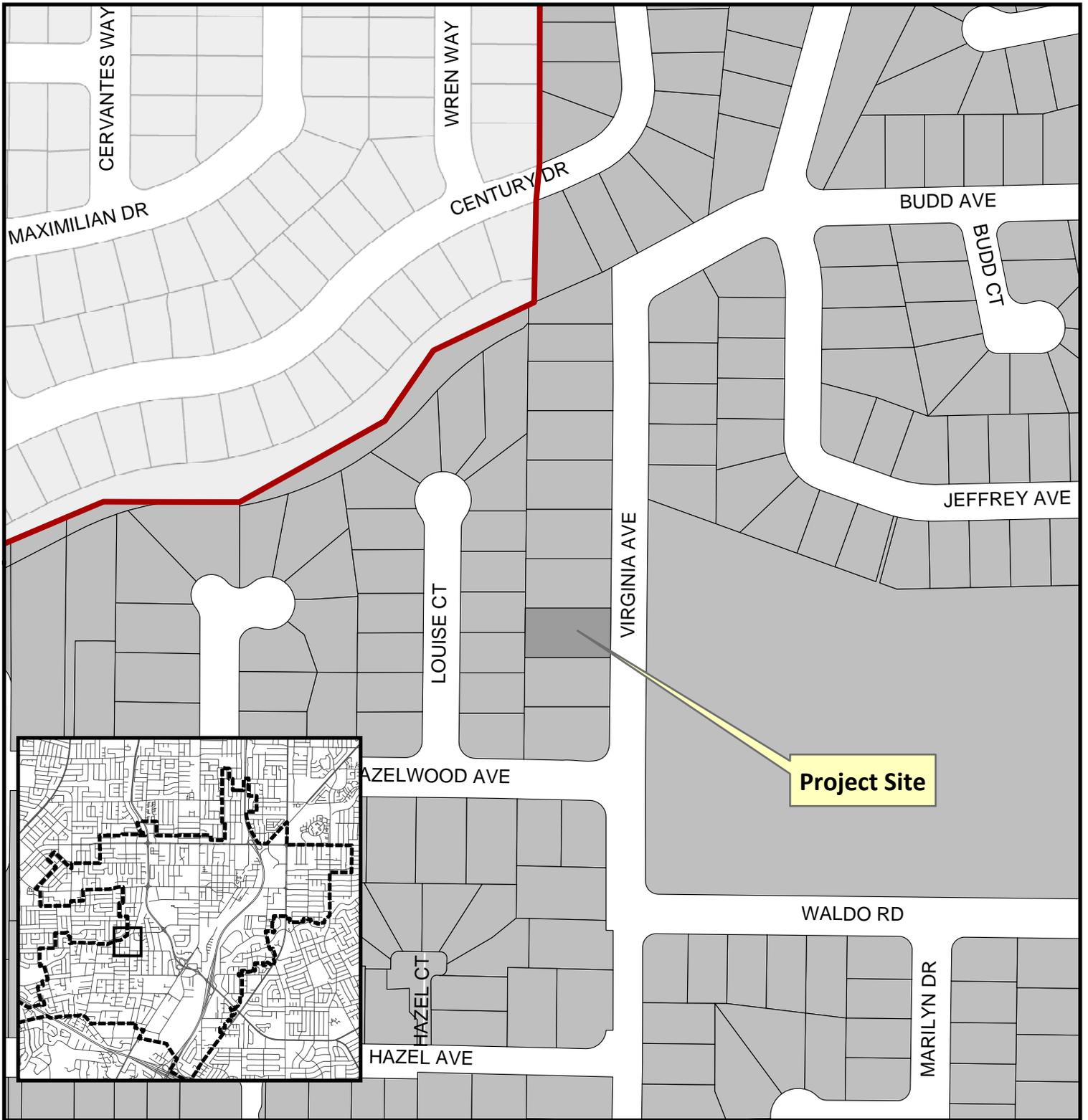
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2018-391
Applicant: Grant Vaggione
Project Address: 635 Virginia Ave
Property Owner: Marko and Merryl Buric
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: Approx. 426 sf addition to existing single-story home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on April 17, 2019 and ends on April 29, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 29, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazp@cityofcampbell.com.

Project Location Map

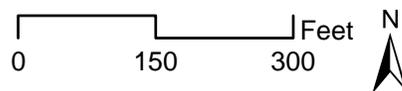


Project Location: 635 Virginia Ave

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2018-391

Description: Approx. 426 sq.ft. single-story addition to existing single-family residence



Community Development Department
Planning Division

Buric Addition

635 Virginia Ave

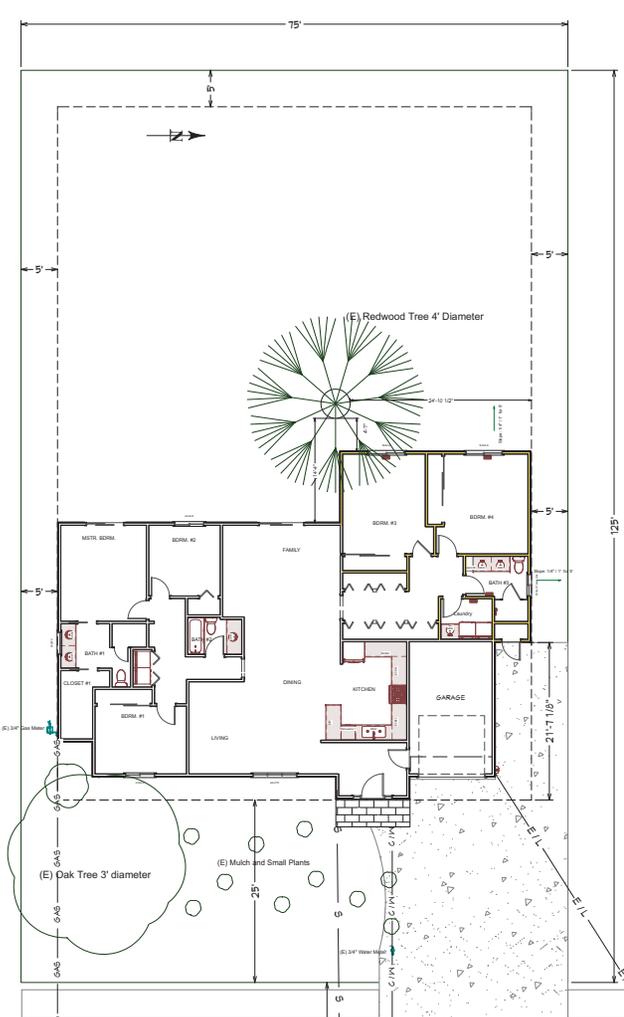
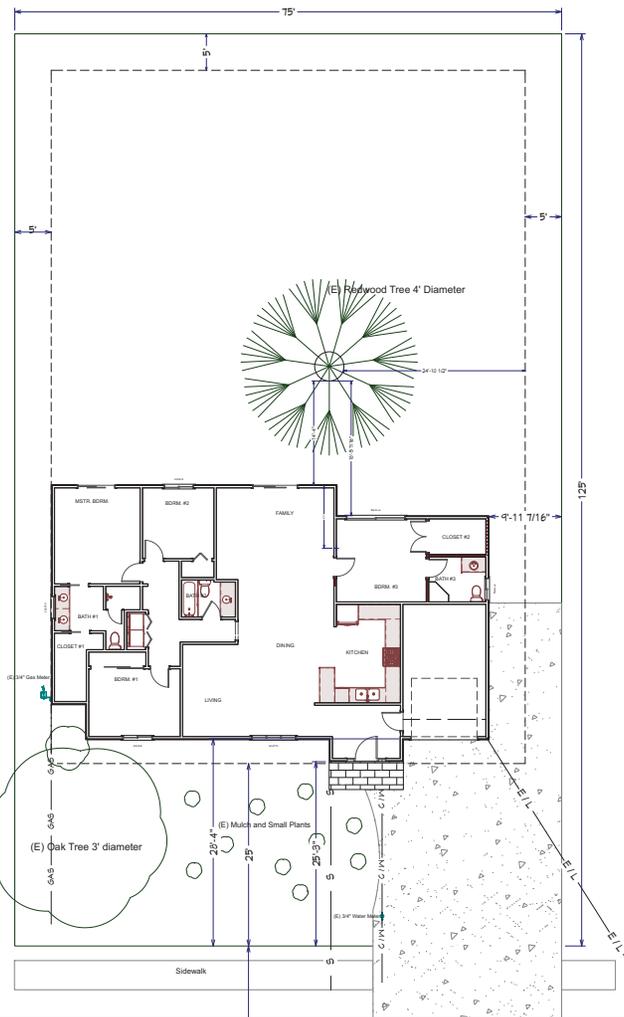
Campbell CA, 95008

Existing Plot Plan

Scale: 1/8" = 1'

Proposed Plot Plan

Scale: 1/8" = 1'



- Index:**
- A-1 Project Information
 - A-2 Existing Floor Plan / Demolition Plans
 - A-3 Proposed Floor / Electrical Plans
 - A-4 Existing Elevations
 - A-5 Proposed Elevations

Owners: Marko & Meryll Buric
635 Virginia Ave
Campbell CA, 95008
(408) 480-0230

Draftsmen: Michael Vaggione, Grant Vaggione
12747 Saratoga Glen Ct.
Saratoga, CA 95070
(408) 393-1785

Project Information
Project Address: 635 Virginia Ave
Campbell CA, 95008

APN: 406-01-010
Lot size: 9,375 SF
Zoning: R-1-6

Current Floor Area: 1,794 SF
Proposed Floor Area: 2,445 SF
Proposed Lot Coverage: 35.1%
Max. Height: 16'4"
Occupancy: R-3
Type of Construction: VB Non-fire Sprinklered
Code References:
2016 California Code of Regulations
2016 CBC
2016 CPC
2016 CMC
2016 CFC
2016 CEC
2016 CRC

Project Description: Addition of 422 SF and remodel of 244 SF of floor area. Reconfigure 1 bedroom and 1 bathroom into 2 bedroom, 1 bathroom, 1 laundry, and 5 closets using additional living space.

Lot Coverage	Existing Area	Proposed Area
House/Garage	2,010 SF	2,445 SF
Driveway/walkway	847 SF	847 SF
Total	2,857 SF	3,292 SF

Floor Area	Existing Area	Proposed Area
Main Dwelling	1,794 SF	2,229 SF
Garage	216 SF	216 SF
Total	2,010 SF	2,445 SF

Subject Property



Buric Addition
Marko & Meryll Buric
635 Virginia Ave
Campbell CA, 95008

Project Information

DRAWINGS PROVIDED BY:
Vaggione Properties
12747 Saratoga Glen Ct.
Saratoga, CA 95070
(408) 393-1785

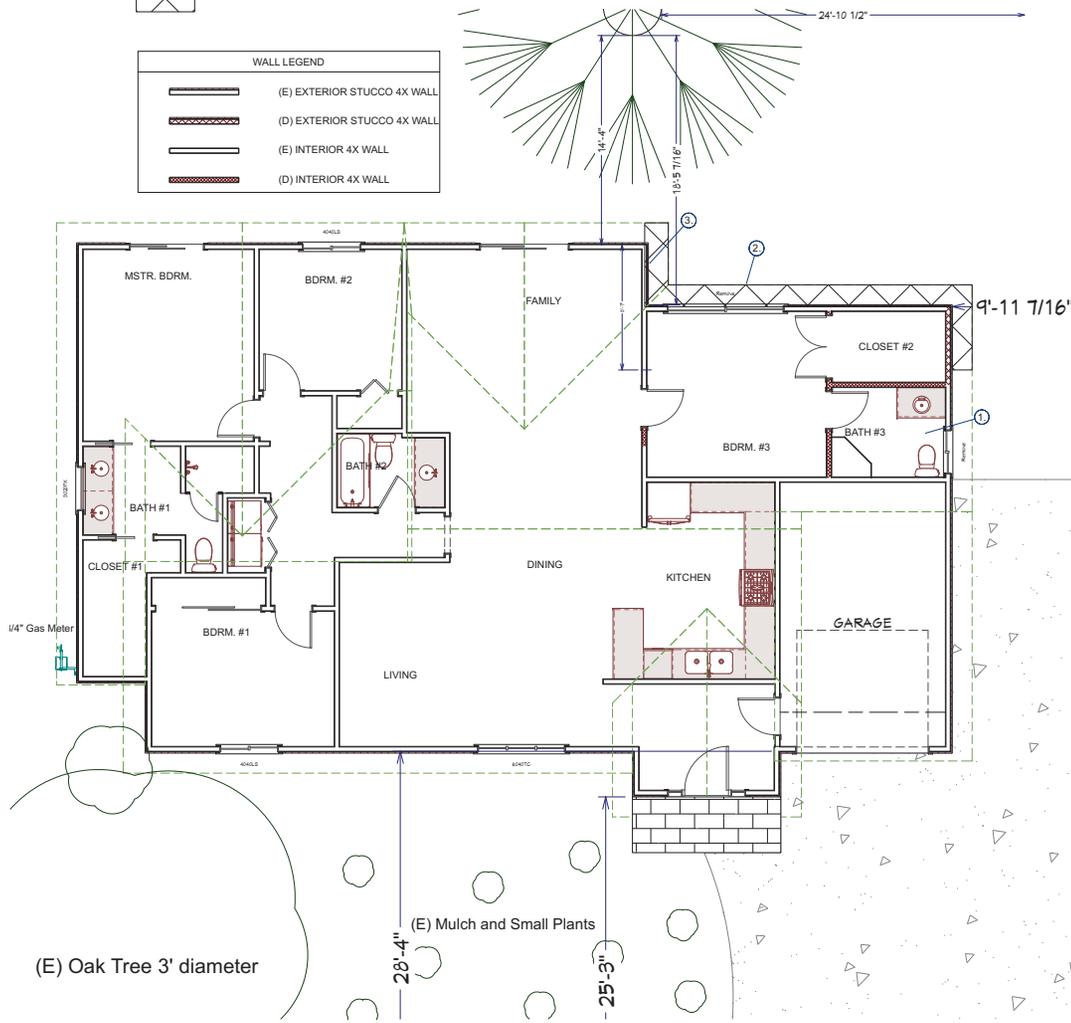
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 - ROOF FRAMING TO BE REMOVED

WALL LEGEND

	(E) EXTERIOR STUCCO 4X WALL
	(D) EXTERIOR STUCCO 4X WALL
	(E) INTERIOR 4X WALL
	(D) INTERIOR 4X WALL



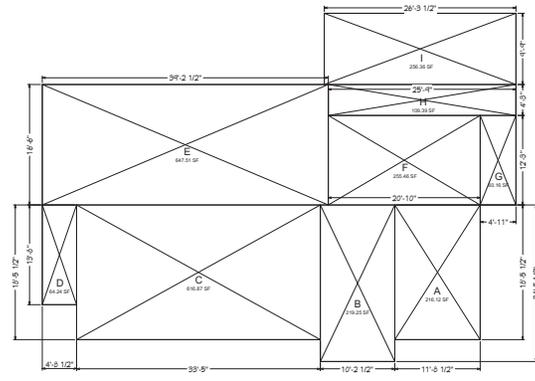
Existing / Demo Floor Plan

Scale: 1/4" = 1'

DEMOLITION NOTES:
 1. REMOVE ALL BATHROOM FIXTURES, SHOWER, AND TILE.
 2. REMOVE ROOF FRAMING IN HATCHED AREA.
 3. REMOVE STUCCO.

CONSTRUCTION WASTE MANAGEMENT PLAN:
 • CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASHOUT SHALL NOT ENTER THE STORM WATER SYSTEM. STRAW WADDLES SHALL BE USED TO PREVENT CONTAMINATED STORM WATER RUNOFF FROM ENTERING THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAUL OFF SITE. RETAIN THE RECEIPT AND KEEP THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

FIRE SAFETY NOTES:
 • WASTE DISPOSAL. COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN BUILDINGS. COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORK SHIFT. COMBUSTIBLE DEBRIS SHALL NOT BE DISPOSED OF BY BURNING ON SITE. ELECTRICAL, TEMPORARY WIRING FOR ELECTRICAL POWER AND LIGHTING USED IN CONNECTION WITH CONSTRUCTION, ALTERATION, OR DEMOLITION OF BUILDINGS, STRUCTURES, EQUIPMENT OR SIMILAR ACTIVITIES SHALL COMPLY WITH THE CALIFORNIA ELECTRICAL CODE.



Floor Area Diagram

A	18' 5 1/2" x 11' 8 1/2"	216.12 SF
B	10' 2 1/2" x 21' 5 1/2"	219.26 SF
C	33' 5" x 18' 5 1/2"	616.87 SF
D	4' 8 1/2" x 13' 0"	62.24 SF
E	18' 6" x 39' 2 1/2"	647.51 SF
F	20' 10" x 12' 3"	255.48 SF
G	4' 11" x 12' 3"	60.15 SF
H	25' 0" x 4' 3"	109.39 SF
I	26' 3 1/2" x 4' 3"	112.86 SF
Total:		2,445.36 SF

Buric-Addison
 Mariko & Meryl / Buric
 Architects
 Campbell, CA, 95008

Existing / Demo Floor Plan

DRAWINGS PROVIDED BY:
 Vignone Properties
 12717 Saratoga Glen Ct.
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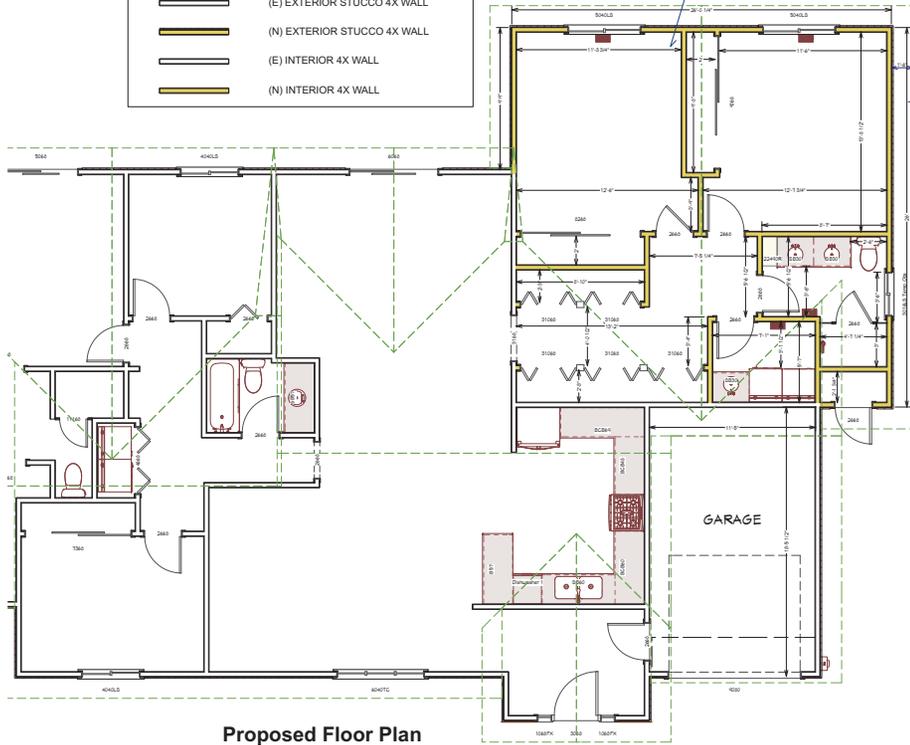
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WALL LEGEND	
	(E) EXTERIOR STUCCO 4X WALL
	(N) EXTERIOR STUCCO 4X WALL
	(E) INTERIOR 4X WALL
	(N) INTERIOR 4X WALL

4' cantilever and foundation designed to minimize root damage



Proposed Floor Plan
Scale: 1/4" = 1'

BATHTUB AND SHOWERED TILED WALLS:
SHOWER AND TUB/SHOWER WALLS TO BE MADE OF CERAMIC TILE OR OTHER SMOOTH, HARD, NON-ABSORBENT MATERIAL SET ON MORTAR OR DRY-SET ON 1/2" TILE BACKER BOARD OVER #15 FELT OR EQUAL MOISTURE RESISTANT UNDERLAY AT 72" ABOVE DRAIN INLET.

NOTE:
ALL SINK FAUCETS, SHOWERHEADS, TOILETS, AND URINALS SHALL COMPLY WITH CALIFORNIA CODE SECTION 1101.1 THROUGH 1101.8. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS/MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALS/MIN. SHOWER HEADS SHALL NOT EXCEED 2.0 GALS/MIN. TOILETS SHALL NOT EXCEED 1.28 GALS/FLUSH AND URINALS SHALL NOT EXCEED .5 GALS/FLUSH.)

A MINIMUM 0.021-INCH (NO. 26 GAUGE) CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/8 INCHES SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE GRADE AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER AND EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.

EGRESS REQUIREMENTS:
ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEARANCE OPENABLE AREA OF 7.5 SF (ONLY 5.0 IS REQUIRED AT 1ST FLOOR). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSIONS SHALL BE 24". THE NET CLEAR OPENABLE WIDTH SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

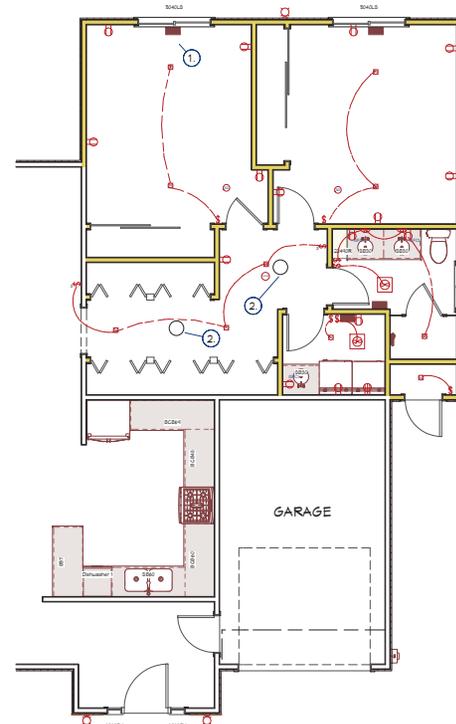
GARAGE FIREWALL:
• GARAGE WALL ADJOINING THE HOME SHALL BE A MODIFIED FIREWALL INCLUDING 1/2" TAPED SHEETROCK ON THE WALL AND 5/8" TYPE X TAPED SHEETROCK ON THE CEILING UNDER THE BEDROOM. WALL SHEETROCK SHALL EXTEND FROM THE CONCRETE TO THE UNDERSIDE OF THE ROOF. METAL ELECTRICAL BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON THE OPPOSITE WALLS SHALL HAVE 24" SEPARATION.

GENERAL PLUMBING & HVAC NOTES:

- METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
- DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
- TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
- EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
- HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
- INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
- ALL BATHROOM EXHAUST FANS SHALL BE HUMIDISTAT CONTROLLED.

GRADING NOTES:

- FINISHED GROUND SURFACES SHALL BE GRADED 5% SLOPE AWAY FROM BUILDING - HARD SURFACES SHALL BE SLOPED 1% AWAY FROM BUILDING.



Proposed Electrical Plan
Scale: 1/4" = 1'

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed; Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE OR 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE IF NO MORE THAN 50% AND NOT LESS THAN 40% OF VENTILATION IS IN THE UPPER HALF OF THE VENTILATED SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

ELECTRICAL NOTES:

1. (N) 4X8 CEILING REGISTERS.
2. (N) 12" SUN TUNNEL.

Electrical Notes:

- ALL PLUGS REQUIRED TO BE ARC FAULT.
- COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS AND LAUNDRY AREAS.
- PROVIDE DEDICATED 20A CIRCUIT FOR BATHROOM OUTLET LOCATIONS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- ALL BATHROOM FANS MUST BE HUMIDISTAT CONTROLLED.
- FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- FIXTURES TO BE SELECTED BY HOME OWNER.
- ALL OUTLETS TO BE TAMPERPROOF.
- ALL NEW LIGHTING TO BE HIGH EFFICACY COMPLIANT TO TABLE 150.0A CEC. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES IN CEILING RECESSED DOWNLIGHTS AND LEDS ARE TO BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING.
- EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCCELL AND MOTION PER ENERGY 110.9.

Buric Addition
Marko & Meryl Buric
12747 Saratoga Glen Ct.
San Jose, CA 95128
(408) 393-1788

Proposed Floor / Electrical
Plan

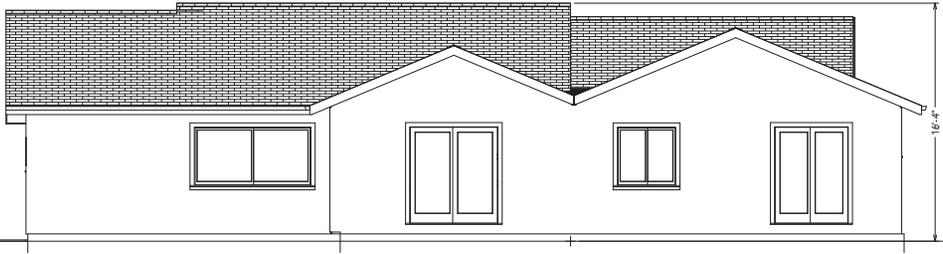
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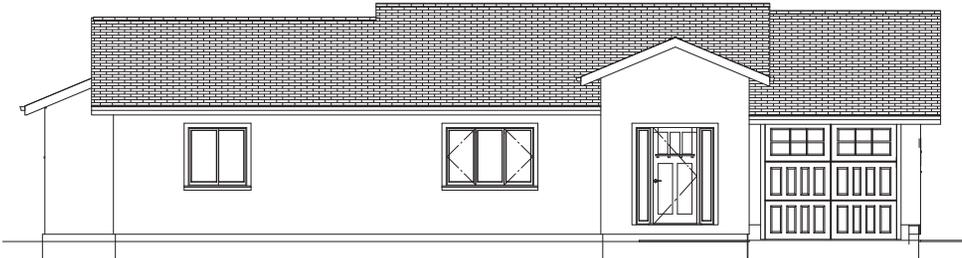
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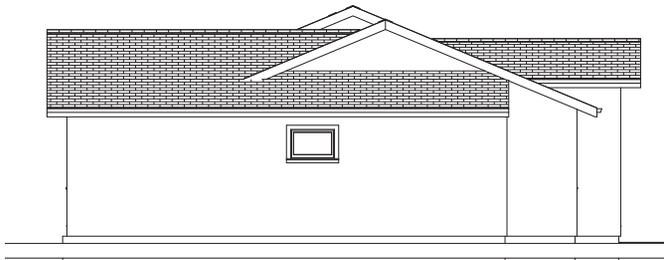
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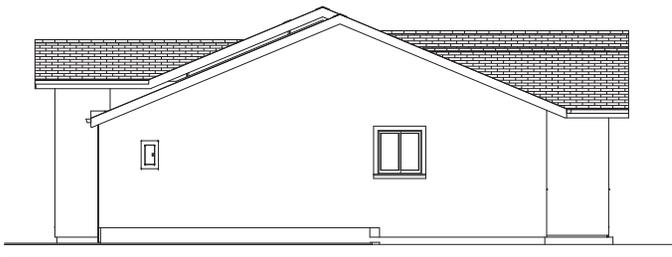
West Elevation



East Elevation



South Elevation



North Elevation

Existing Elevations
Scale: 1/4" = 1'

Buric-Adillon
Marko & Meryl Buric
Architects
Campbell, CA, 95008

Existing Elevations

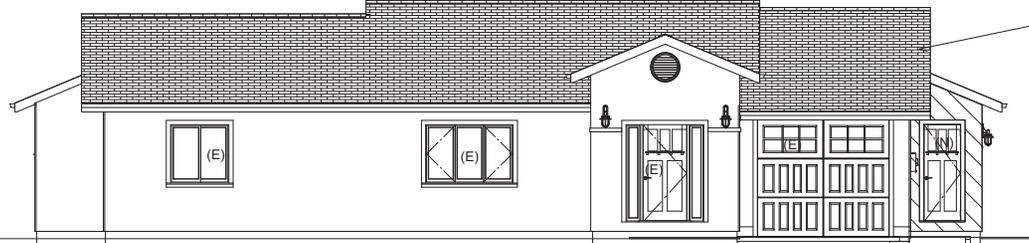
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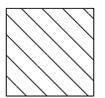
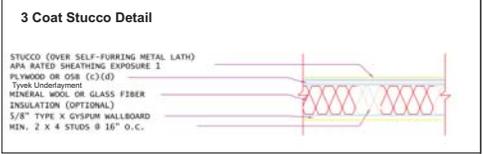
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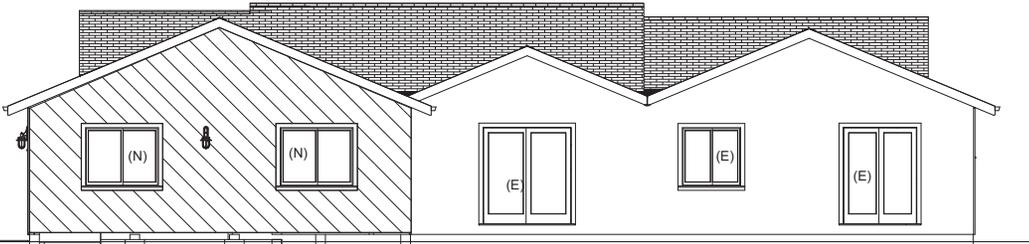
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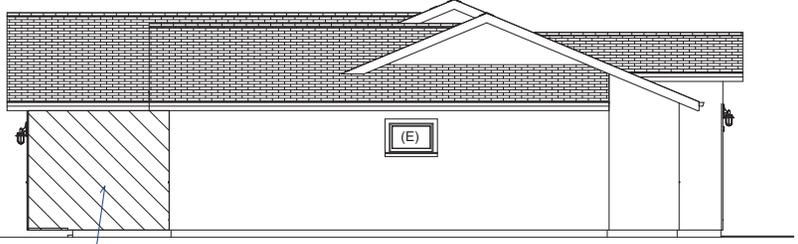
East (Front) Elevation



- AREA OF NEW STUCCO



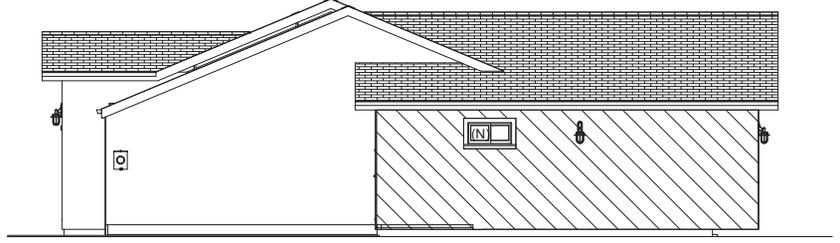
West (Rear) Elevation



Hatched area indicates new stucco

South Elevation

Insulation:
 Walls: R-15
 Ceiling: R-19
 Attic: R-38



North Elevation

Proposed Elevations & Cross Sections
 Scale: 1/4" = 1'

Buric-Addison
 Mariko & Meryll Buric
 Architects
 Campbell, CA, 95008

Proposed Elevations

DRAWINGS PROVIDED BY:
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