



CITY OF CAMPBELL
Community Development Department

March 29, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **April 9, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Continued Public Hearing to consider the application of Canyon Heights Academy for a Conditional Use Permit Modification with Site and Architectural Review and a Parking Modification Permit (PLN2017-45), and a Tree Removal Permit (PLN2018-328) to allow construction and use of an approximately 8,400 square-foot gymnasium building and associated site and parking improvements for an existing private school on Campbell Union School District property (former Hazelwood campus), located at **775 Waldo Road**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

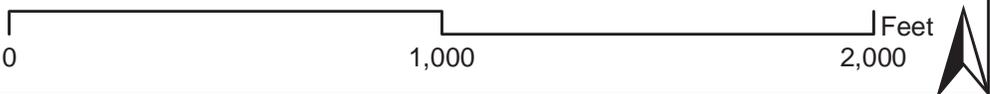
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **775 Waldo Road**

Project Location Map



Project Location: 775 Waldo Rd.
Application Type: Conditional Use Permit with Site and Architectural Review
Planning File No.: PLN2017-45



REVISIONS	
05.11.18	Planning Comments
07.24.18	Planning Comments
11.03.18	Planning Comments

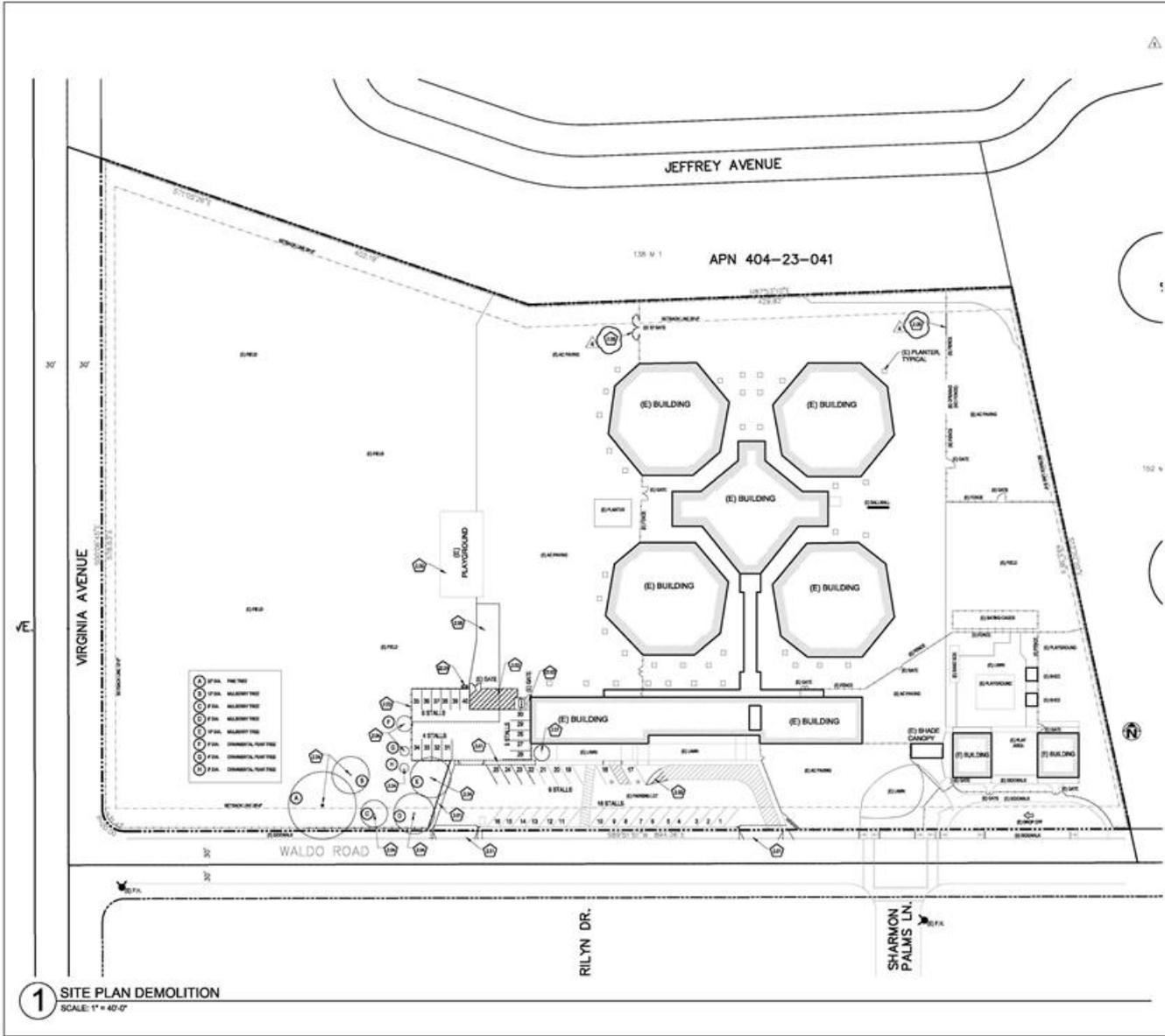
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SITE PLAN
DEMOLITION

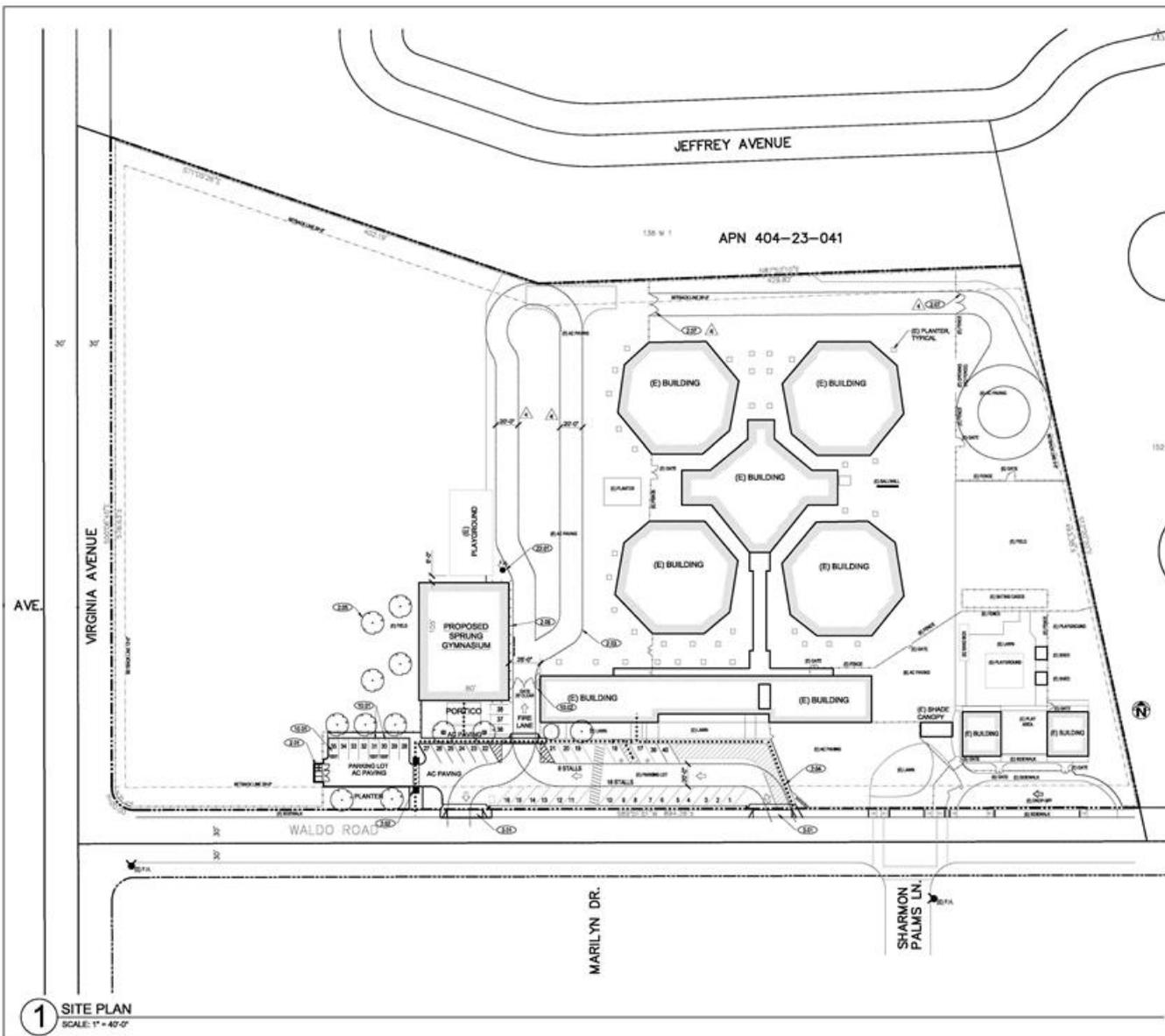
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SHEET

SITE PLAN DEMOLITION KEYNOTES

- 2.01 (B) DRIVEWAY TO BE MODIFIED TO ACCOMMODATE AN ACCESSIBLE PATH.
- 2.02 (B) STRIPPING TO BE REMOVED.
- 2.03 (B) FINISH TO BE REMOVED.
- 2.04 (B) TREE TO BE REMOVED.
- 2.05 DEMOLISH (B) AC PAVING AS REQUIRED TO ACCOMMODATE NEW WORK.
- 2.06 (B) PLAY GROUND TO REMAIN.
- 2.07 (B) TREE TO REMAIN.
- 2.08 DEMOLISH (B) CHAIN LINK FENCE AS REQUIRED FOR NEW 20' FENCE DATE.
- 3.01 (B) SIDEWALK TO BE DEMOLISHED.
- 22.01 (B) BACKFLOW PREVENTOR TO BE RELOCATED.
- 22.02 (B) GAS MARK.



1 SITE PLAN DEMOLITION
SCALE: 1" = 40'-0"



- SITE PLAN KEY NOTES**
- 2.01 TRAMP ENCLASURE
 - 2.02 CURB FOR ACCESSIBLE PEDESTRIAN WALKWAY
 - 2.03 FIRE TRUCK ACCESS LANE
 - 2.04 ACCESSIBLE PATH OF TRAVEL
 - 2.05 PICKUP/DROP TREE, TYPICAL
 - 2.06 CONCRETE FILLED STEEL ROLLARD 8" P.O.C., ROUND EAST SIDE OF BUILDING
 - 2.07 20'-0" WIDE GATE
 - 2.08 CONCRETE DRIVEWAY
 - 2.09 CLEAN AIR VEHICLE PARKING SPOT
 - 2.10 PROVIDE FIRE DEPARTMENT ROCK BOCKY GATE
 - 2.21 PRIVATE FIRE HYDRANT

Brad Cox
Architect
Inc

FORMAL

Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 638-3067
100 WILLOW AVE., SUITE 200
SAN JOSE, CALIF. 95128



CANYON HEIGHTS ACADEMY GYMNASIUM
775 WALDO RD. CAMPBELL, CA 95008

IF THIS GYMNASIUM IS BUILT AS A NET ZERO ENERGY BUILDING, THE DESIGNER SHALL PROVIDE THE FOLLOWING INFORMATION TO THE OWNER AND THE LOCAL GOVERNMENT:

REVISIONS	
1	05.11.18 Planning Comments
2	07.24.18 Planning Comments
3	10.24.18 Planning Comments
4	11.15.18 Planning Comments
5	01.02.19 Planning Comments

03.12.18
DATE

SITE PLAN

A-1.1
SHEET

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1 SITE PLAN
SCALE: 1" = 40'-0"



VIEW OF CAFETERIA BUILDING



VIEW OF SCHOOL PARKING AND MAIN ENTRY



VIEW OF SCHOOL MAIN ENTRY AND DROP-OFF AREA



VIEW OF SPRINGBRIDGE SCHOOL CLASSROOMS



840 WALDO RD



740 SHARMOM PALMS LN



751 SHARMOM PALMS LN



735 MARILYN



738 MARILYN



816 WALDO RD



828 WALDO RD



840 WALDO RD

CANYON HEIGHTS ACADEMY - NEIGHBORHOOD PHOTOGRAPHS



CANYON HEIGHTS ACADEMY GYMNASIUM

GYMNASIUM

775 WALDO ROAD CAMPBELL, CA 95008

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NO.	DATE	DESCRIPTION

03.12.18

DATE

PHOTOS

A-1.2

SHEET



VIEW TOWARDS WEST PLAYGROUND



VIEW TOWARDS WEST PLAYGROUND



VIEW TOWARDS WEST PARKING LOT



VIEW TOWARDS SOUTH PARKING LOT



REAR CORRIDOR AT OFFICE BUILDING



VIEW TOWARDS CHAPEL BUILDING



WALKWAY TOWARDS CHAPEL BUILDING



EXISTING TRASH ENCLOSURE



VIEW TOWARDS REAR OF SCHOOL



VIEW TOWARDS BATTING CAGES



VIEW TOWARDS OFFICE BUILDING FROM REAR



VIEW OF SPRINGBRIDGE CLASSROOMS



VIEW TOWARDS BASKETBALL COURTS



VIEW TOWARDS WEST PLAYGROUND



VIEW TOWARDS WEST PLAYGROUND



VIEW OF EAST BENCH AREA

CANYON HEIGHTS ACADEMY - CAMPUS PHOTOGRAPHS



CANYON HEIGHTS ACADEMY GYMNASIUM
GYMNASIUM
775 WALDO ROAD CAMPBELL, CA 95008

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REVISIONS	
NO.	DESCRIPTION

03.12.18
DATE

PHOTOS

A-1.3
SHEET

CANYON HEIGHTS ACADEMY GYMNASIUM

775 WALDO RD, CAMPBELL, CA 95008

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REVISIONS	
05.11.18	Planning Comments
07.24.18	Planning Comments
10.24.18	Planning Comments
11.15.18	Planning Comments
01.16.19	Planning Comments

03.12.18

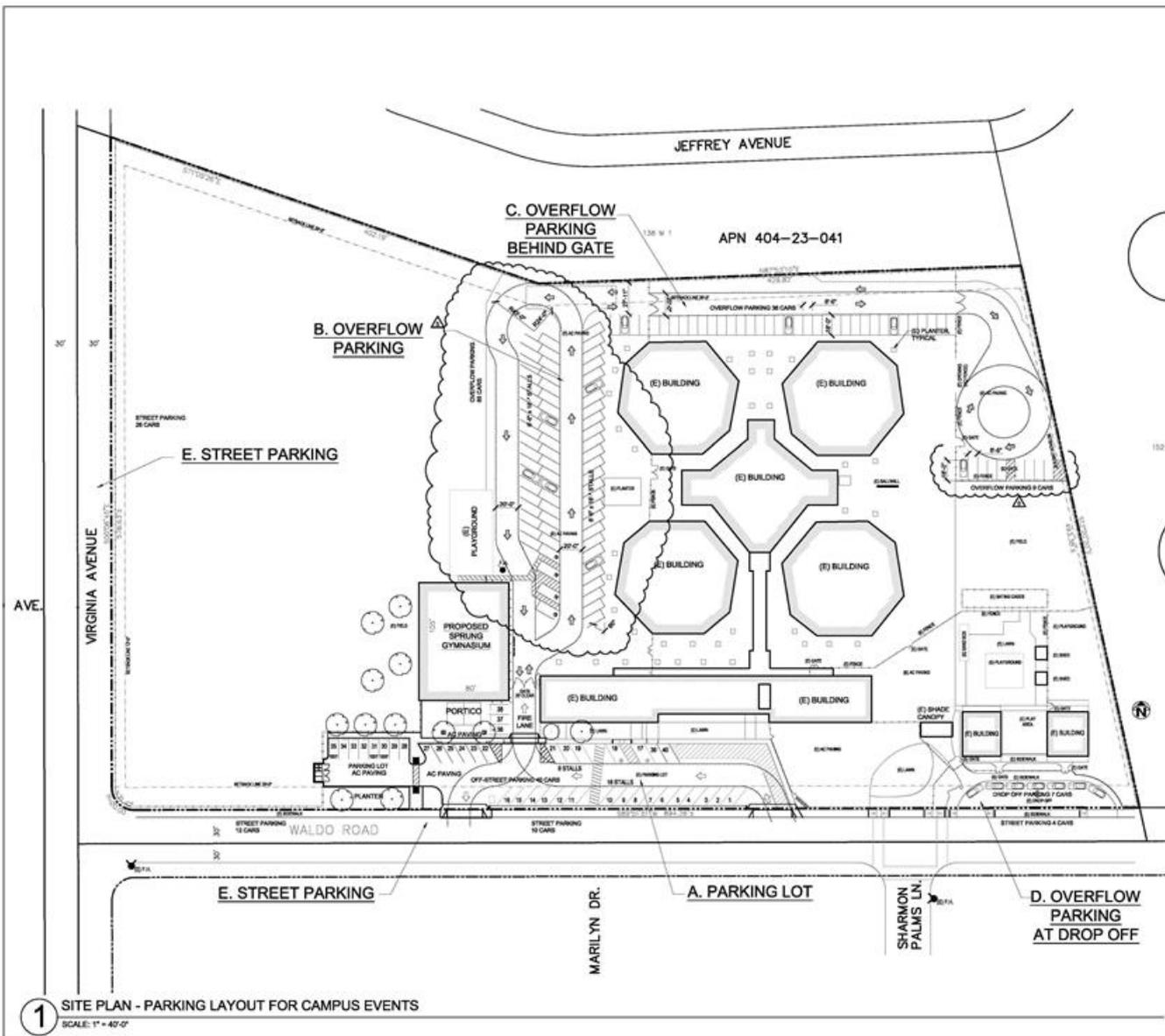
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SITE PLAN
EVENT PARKING

A-1.4

SHEET

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ON-SITE PARKING

A. PARKING LOT	40
B. OVERFLOW PARKING	69
C. OVERFLOW PARKING BEHIND GATE	45
D. OVERFLOW PARKING AT DROP-OFF (REQUIRED 152)	7
SUBTOTAL	161

STREET PARKING (DOES NOT OFFICIALLY COUNT)

E. STREET PARKING	50
SUBTOTAL	52
TOTAL CARS	211

NOTE: LINE STRIPING IN THE BLACKTOP PLAY AREA IS FOR LAYOUT PURPOSES ONLY. ACTUAL METHOD OF DEMARCATING DRIVE AISLES AND STALLS FOR THE INFREQUENT USE OF OVERFLOW PARKING SHALL BE DEVELOPED ADMINISTRATIVELY WITH SCHOOL AND STAFF DURING THE BUILDING PERMIT PROCESS.

1 SITE PLAN - PARKING LAYOUT FOR CAMPUS EVENTS
SCALE: 1" = 40'-0"



IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

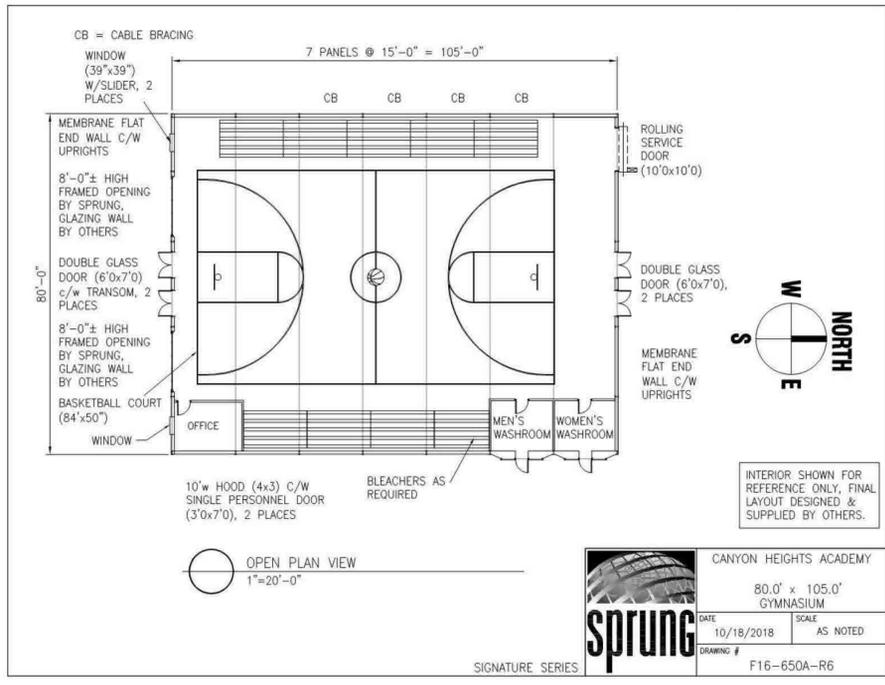
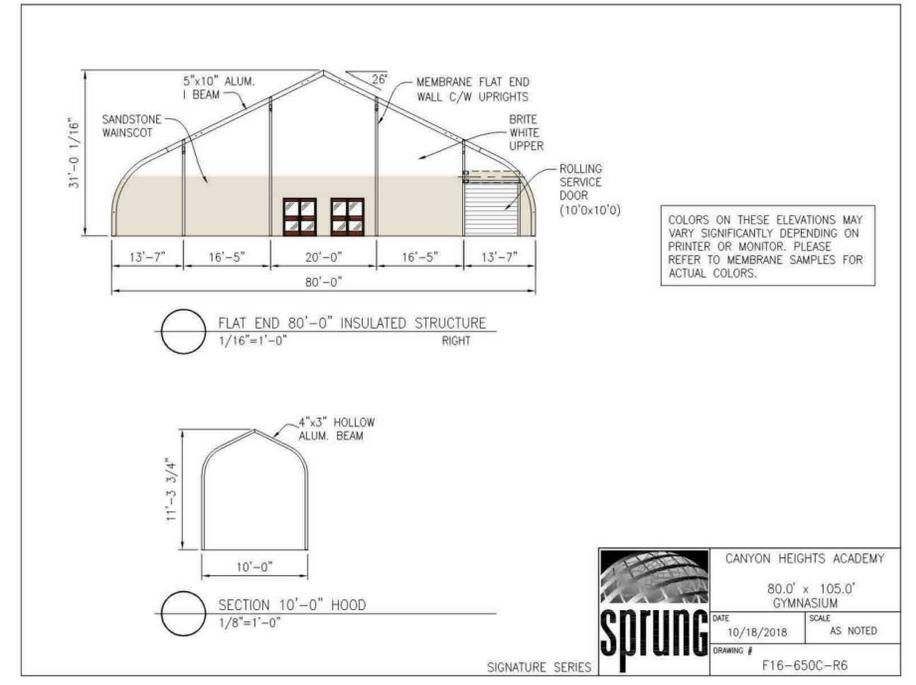
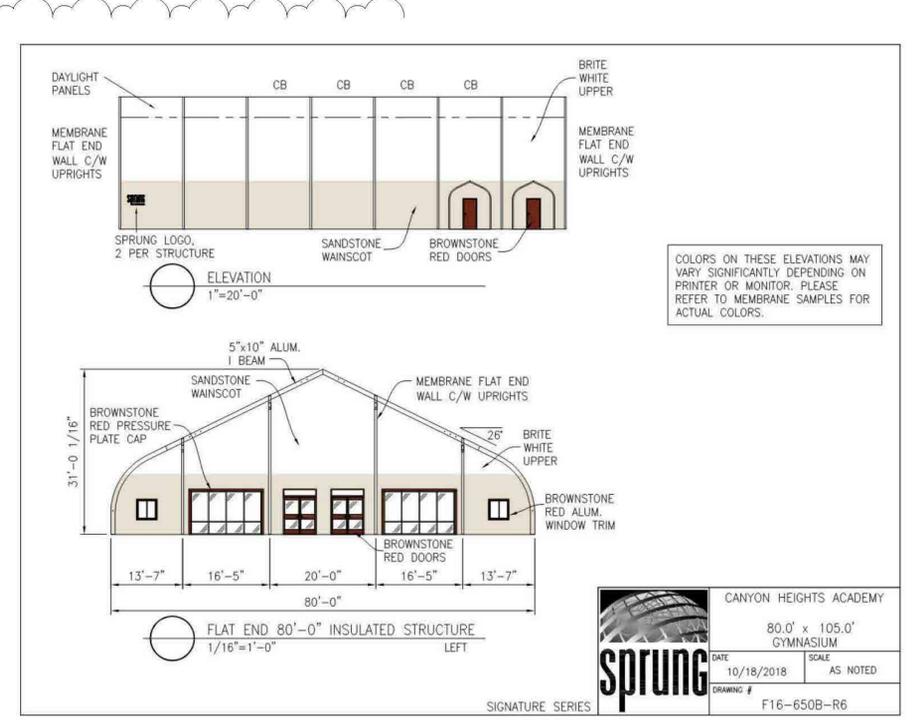
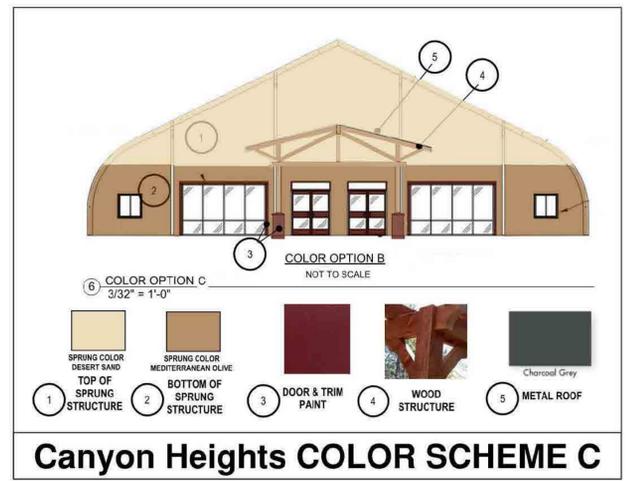
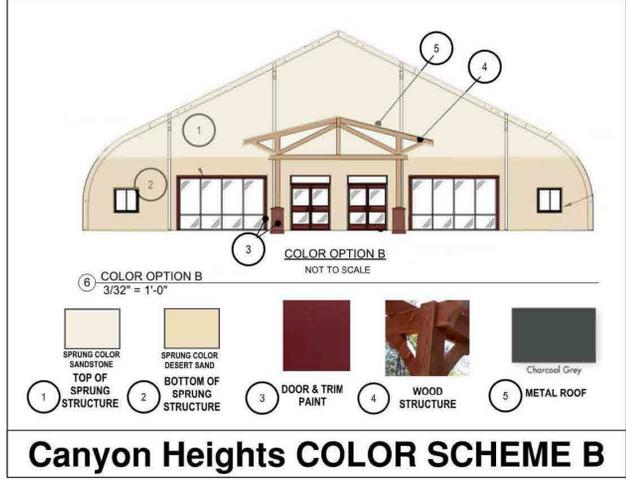
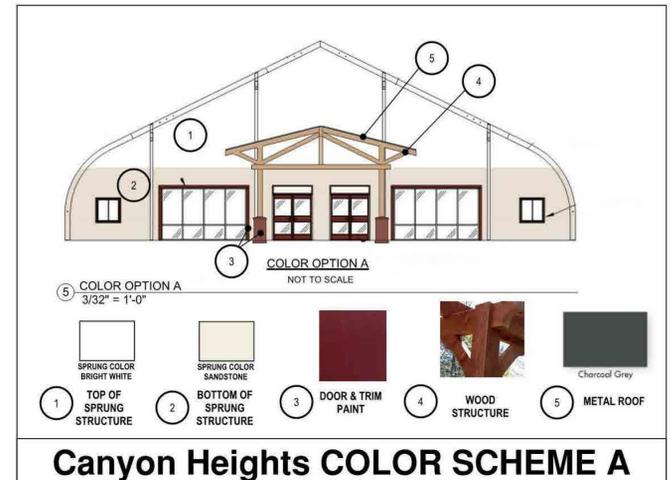
REVISIONS		
NO.	DATE	DESCRIPTION
3	10.24.18	Planning Comment

03.12.18
DATE

FLOOR PLANS & ELEVATIONS

A-3.0
SHEET

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FIRE DEPARTMENT NOTES

Plan Review Comments:

1. Review of this Developmental proposal is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

2. **Fire Sprinklers Required:** In other than residential buildings which require the installation of fire sprinklers for all new buildings according to the California Residential Code, an automatic sprinkler system shall be provided throughout all new buildings and structures.
Exceptions: Buildings and structures that do not exceed 1,000 square feet of building area.
NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CMC.

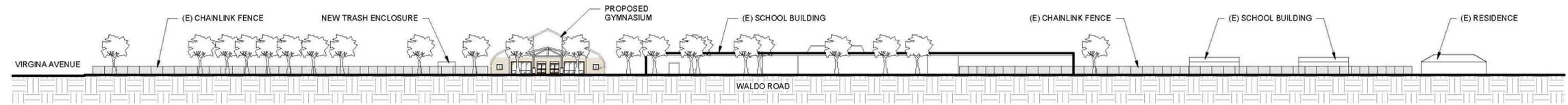
3. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

4. **Required Emergency Access:** (As noted on Sheet A-1.1) Minimum clear width: The minimum clear width of fire department access roads shall be 20 feet. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road (including bridges and culverts) with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34050 kg) or as otherwise determined by the fire code official. The proposed location of the new structure and revised locations of parking spaces impedes the minimum required access to portions of both the new and existing structures. CFC Sec. 503 and SCCFD SD&S A-1

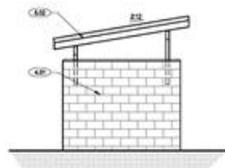
5. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33

6. **Fire Alarm System Required:** A fire alarm system as required in CFC Section 907 for Assembly Occupancies shall be installed as per the currently adopted edition of NFPA 72 as amended by the State of California. Plans shall be submitted directly to this office as a deferred submittal by a properly licensed contractor.

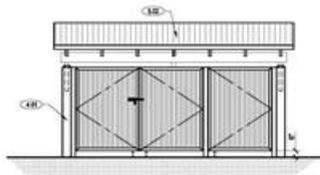
7. **Public/Private Fire Hydrant(s) Required:** Provide one on-site private fire hydrant. Maximum hydrant spacing shall be 500 feet, with a minimum single hydrant flow of 500 GPM at 20 psi residual. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets. CFC Sec. 507, and Appendix B and associated Tables, and Appendix C. The two off-site, public fire hydrants are noted on Sheet A-1.1.



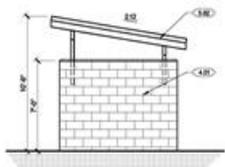
1 Street View Elevation
1" = 40'-0"



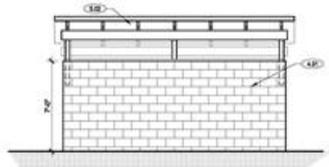
6 EXTERIOR ELEVATION - NORTH
SCALE 1/2" = 1'-0"



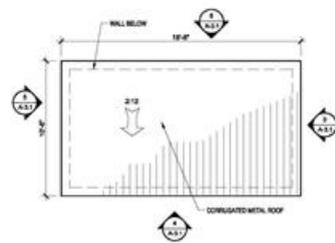
4 EXTERIOR ELEVATION - EAST
SCALE 1/2" = 1'-0"



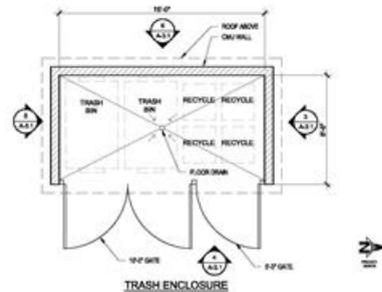
5 EXTERIOR ELEVATION - SOUTH
SCALE 1/2" = 1'-0"



3 EXTERIOR ELEVATION - WEST
SCALE 1/2" = 1'-0"



2 ROOF PLAN - TRASH ENCLOSURE
SCALE 1/2" = 1'-0"



1 FLOOR PLAN - TRASH ENCLOSURE
SCALE 1/2" = 1'-0"

EXTERIOR ELEVATION KEY NOTES

- A.31 7'-0" HIGH CMU WALL, PAINT.
- S.21 GATE.
- S.32 CORRUGATED METAL ROOF, TO MATCH ENTRY STRUCTURE ROOF AT GYMNASIUM.

Brad Cox
Architect
Inc.

FORM 411111

Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 836-3657
1180 WILSON AVENUE, SUITE 200
SAN JOSE, CALIF. 95128



CANYON HEIGHTS ACADEMY GYMNASIUM
775 WALDO RD. CAMPBELL, CA 95008

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REVISIONS	
05.11.18	Planning Comments
07.24.18	Planning Comments
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11.03.18	Planning Comments

03.12.18

DATE

TRASH ENCLOSURE
EXTERIOR ELEVATIONS

A-3.1

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10.24.18	Planning Comments
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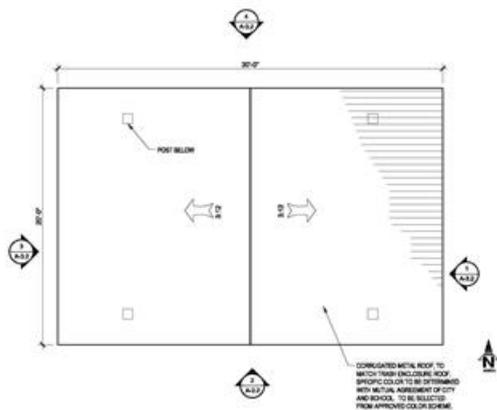
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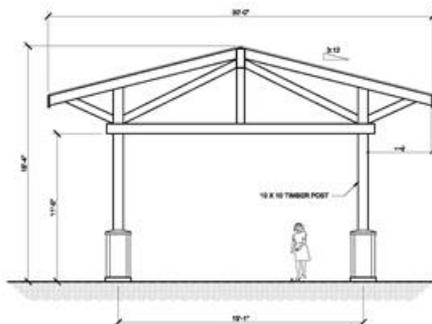
PORTICO
EXTERIOR
ELEVATIONS

A-3.2

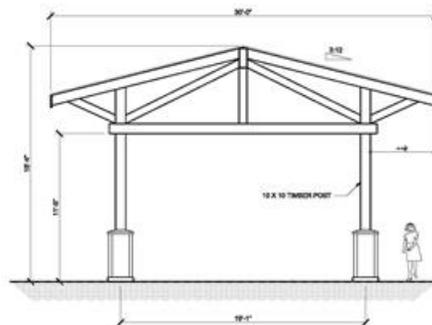
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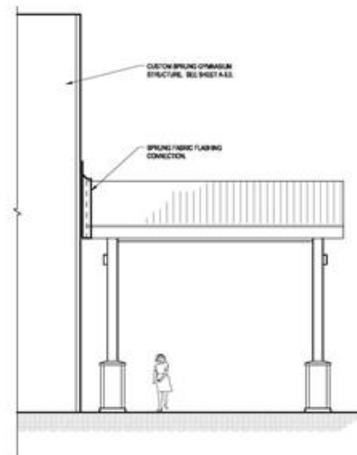
5 ENTRY CANOPY FLOOR PLAN
SCALE 1/2" = 1'-0"



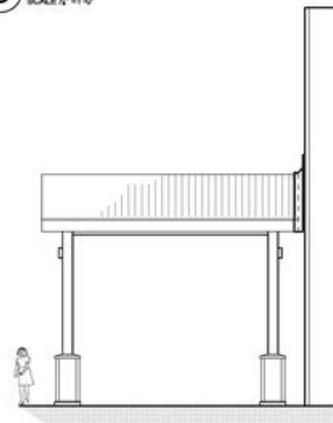
4 EXTERIOR ELEVATION - NORTH
SCALE 1/2" = 1'-0"



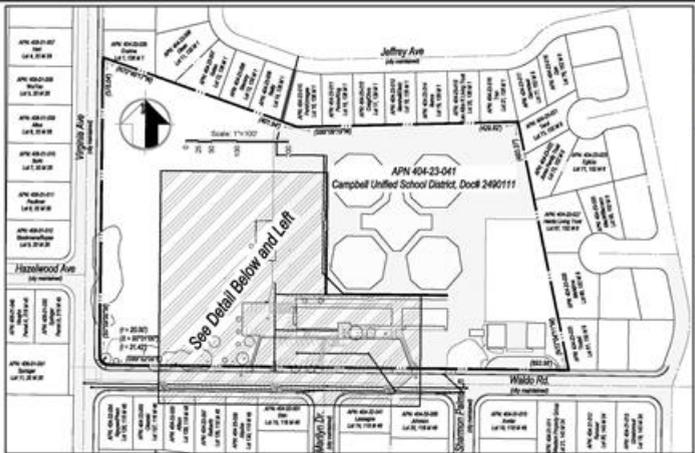
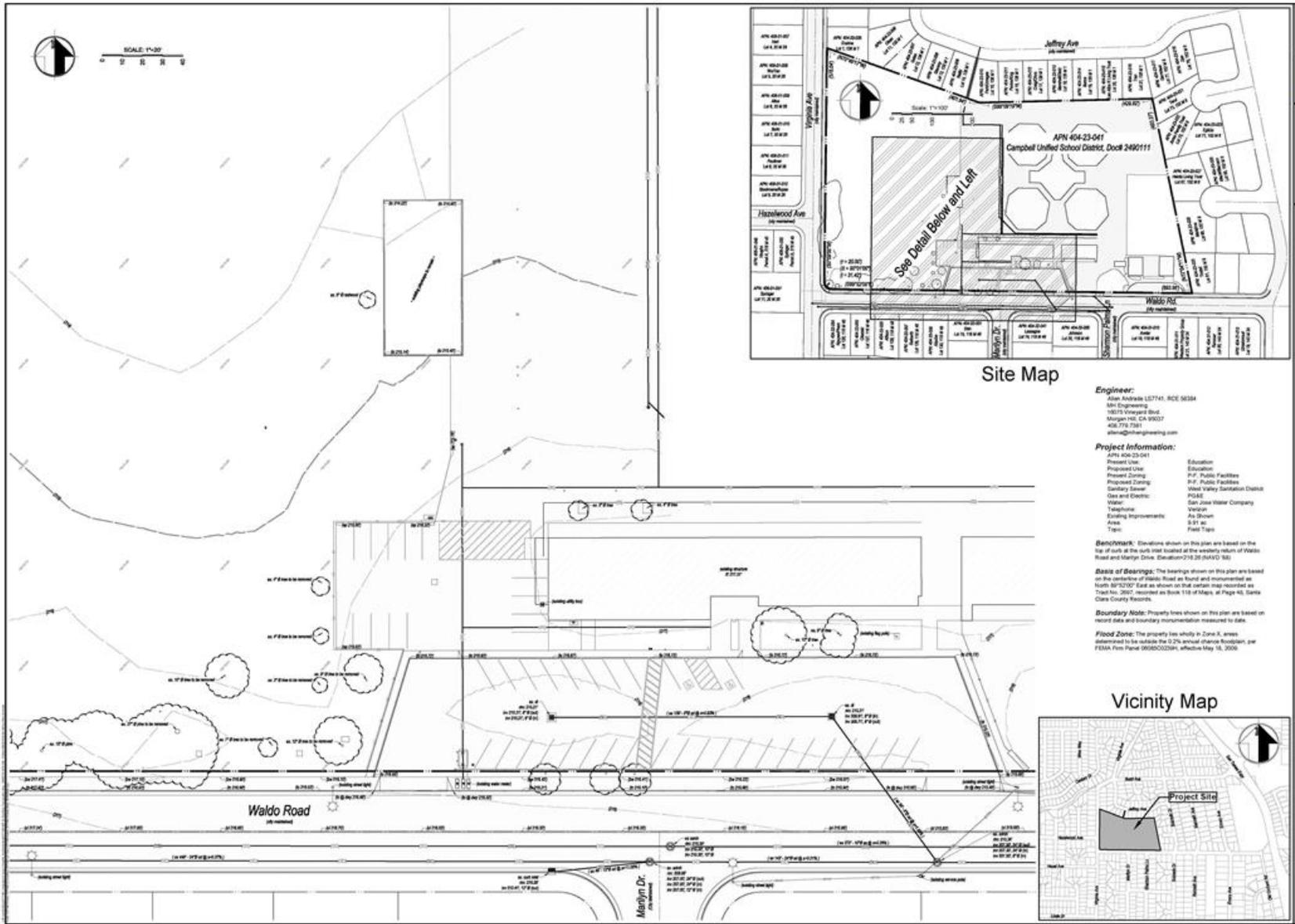
2 EXTERIOR ELEVATION - SOUTH
SCALE 1/2" = 1'-0"



3 EXTERIOR ELEVATION - WEST
SCALE 1/2" = 1'-0"



1 EXTERIOR ELEVATION - EAST
SCALE 1/2" = 1'-0"



Site Map

Engineer:
 Alan Andrade LC1741, RCE 56384
 MH Engineering
 18075 Vineland Blvd
 Murger Hill, CA 95037
 408.778.7351
 alan@mh-engineering.com

Project Information:
 APNs 404-23-041
 Proposed Use: Education
 Proposed Use: P.U.F. Public Facilities
 Proposed Zoning: P.U.F. Public Facilities
 Sanitary Sewer: West Valley Sanitation District
 PG&E: PG&E
 Gas and Electric: San Jose Water Company
 Water: San Jose Water Company
 Telephone: Verizon
 Existing Improvements: As Shown
 Area: 0.51 ac
 Taps: Field Taps

Benchmark: Elevations shown on this plan are based on the top of curb at the curb line located at the westerly return of Waldo Road and Marilyn Drive. Elevation 218.28 (NAVD 88)

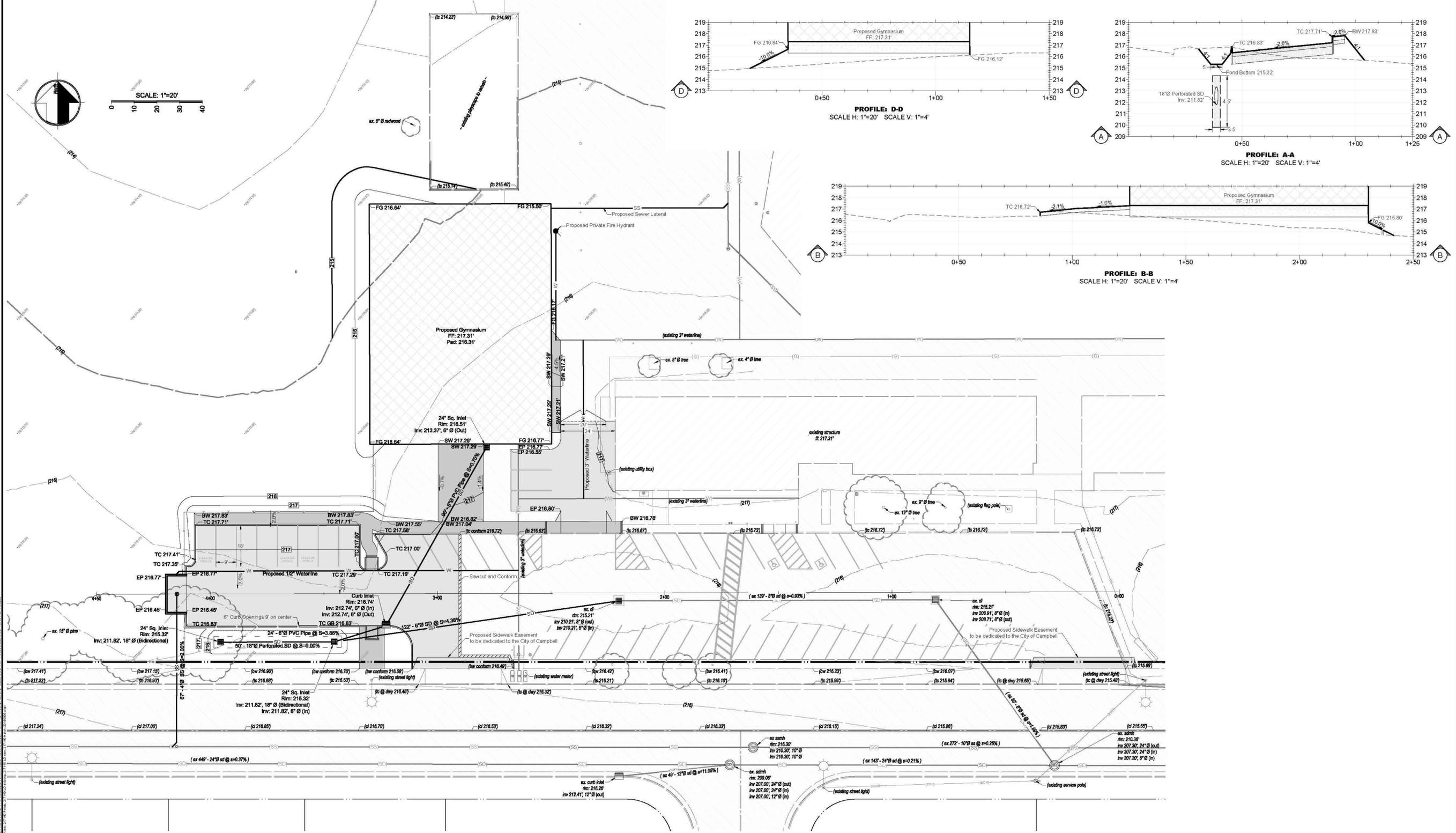
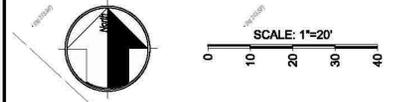
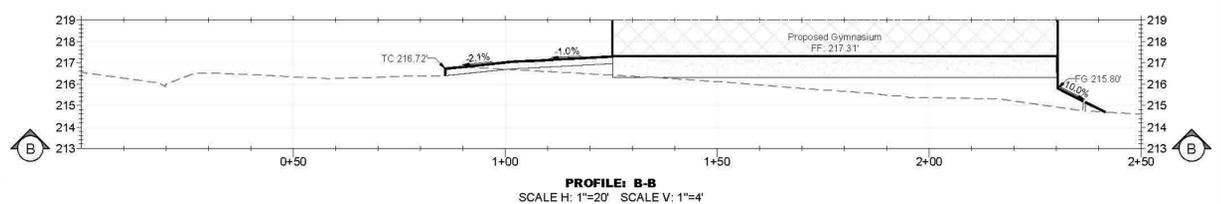
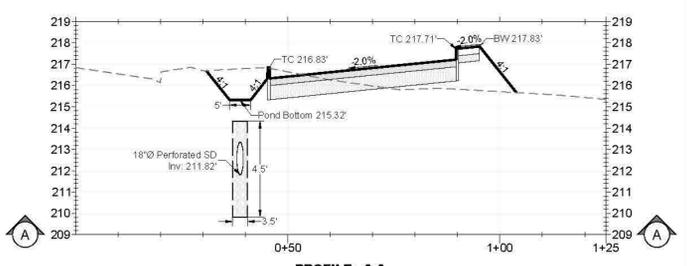
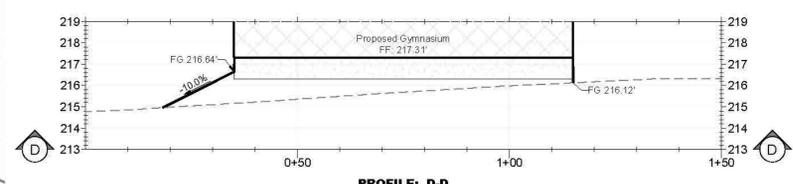
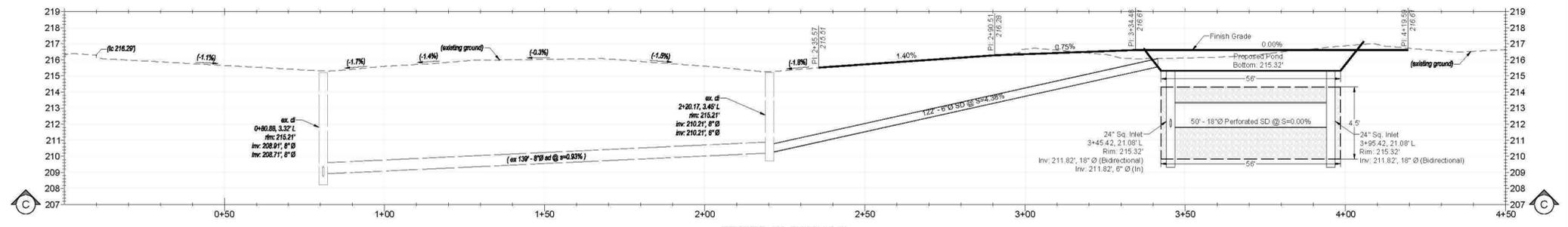
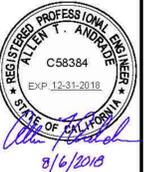
Basis of Bearings: The bearings shown on this plan are based on the combination of Waldo Road as found and monumented as North 89°32'07" East as shown on the detail map recorded as Trust No. 2007, recorded as Book 118 of Maps of Page 46, Santa Clara County Records.

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date.

Flood Zone: The property lies wholly in Zone X, areas determined to be suitable for 0.2% annual chance flooding, per FEMA Flood Panel 9904000204N, effective May 18, 2006.

Vicinity Map







Gregory Lewis
Landscape
Architect
#2178
736 Park Way
Santa Cruz, CA 95065
(831) 359-0960
www.gregorylewislandscape.com



Canyon Heights Academy Gymnasium
775 WALDO ROAD, CAMPBELL, CA

Date: 3/11/18
Project Number: 3/8/2018
Drawn by: GL
Verified by: GL
PLANTING PLAN
Sheet Title:

Planting Notes

- 1) Final landscape contractor drawing to include planting and irrigation details and notes.
 - 2) Final location of plants on site to be adjusted as to final conditions with ambient local conditions, light, drainage, soil, and water.
 - 3) Don't put plants in bottom of swale.
 - 4) Don't install top soil that will float to the top of the soil retention area first bank.
 - 5) Use 1/2 inch deep mulch in all planting areas. Monitor areas with different mulch samples and adjust holding a specified pH level and nitrogen test before mulch is laid down.
 - 6) Avoid plants for all plant circles shown on this plan even if they aren't labeled. Call for confirmation for existing conditions. If a plant is installed in a concrete planter, ensure that any plant circle scaled less than 1/2" wide is 1/2" wide and any side is no longer a 1/2" wide.
 - 7) The plant is a shrub. Don't install plants from trees to edges of parking or building. Keep stems and quick cleanup away from trees.
 - 8) Use plants containing all groundwork and better. In existing situations with the site built back to street, use a wider area of mulch/retention material and a depth of 12-18" before back into the top of 1/2" of all other planting to 12" deep water containing tree, low-maintenance areas or in trees steps.
 - 9) Make sure you are looking and doing installation using the most recent set of landscape plans. Contact the landscape architect for work file.
- "Shrubber concept" - all groundwork and trees will be irrigated with drip or bubbler with low application rates.

Plant Legend

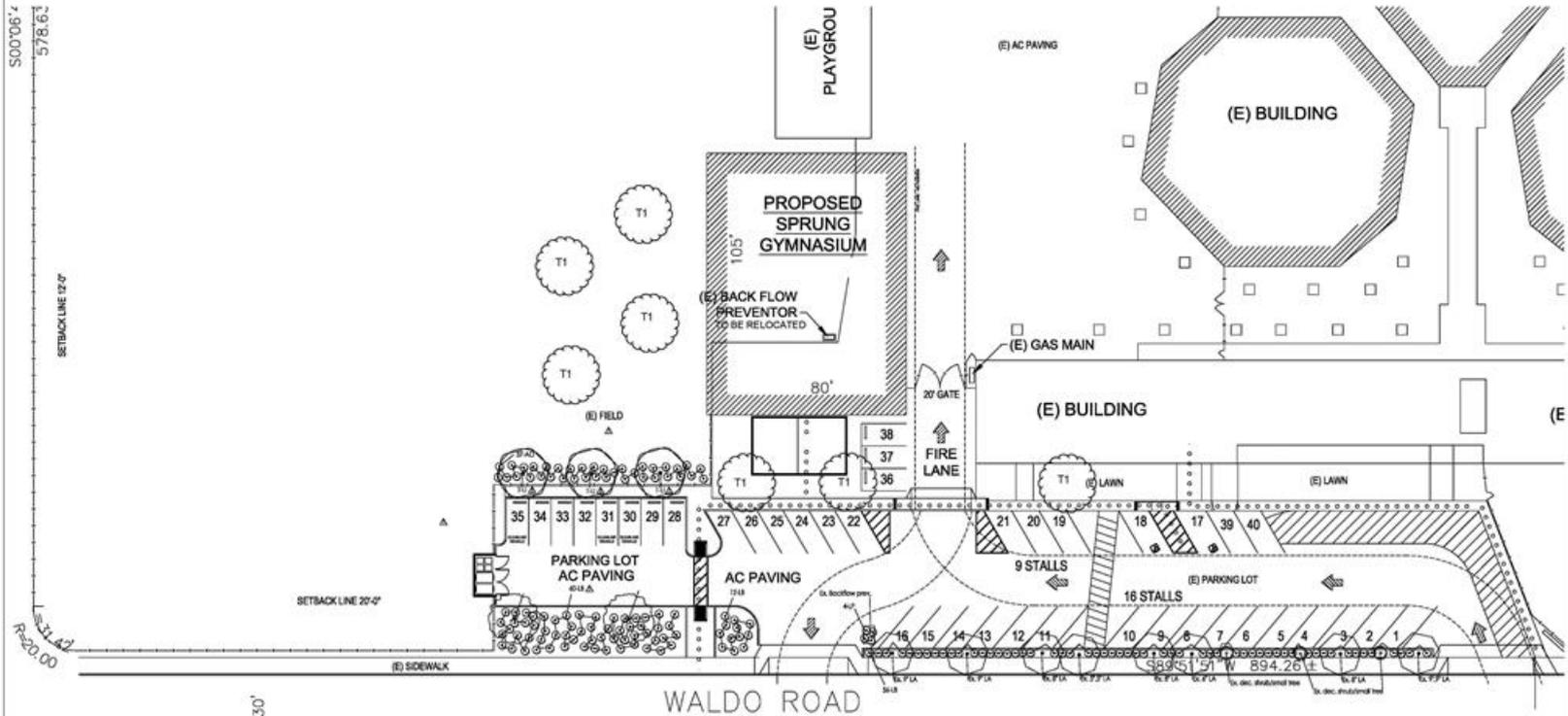
KEY	SET	BOTANICAL NAME	COMMON NAME	WUCOLS RATING
SP	SP tree	Superior Redwood	Crown Redwood	LOW
LA		Yellow Locust	Savanna	MED
		Shrub		

GROUND COVER	KEY	Botanical Name	Use of the Site	RWD
GR	1	Limonium lewisii	Low	LOW
SP	1	Limonium lewisii	See Status	LOW

Note:
T1 Proposed tree trees, 7' tall. Size and species to be determined and established by mutual agreement between city and school.

Landscape Areas

REHABILITATED LANDSCAPING = 4884 SF
EXISTING LANDSCAPING = 27,268 SF



PLANTING PLAN

1" = 20'-0"



L1