



CITY OF CAMPBELL
Community Development Department

March 1, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 12, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Payman Farzaneh for a Site and Architectural Review Permit (PLN2019-05) to allow the construction of a new one-story single-family residence on property located at **1107 Bucknam Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

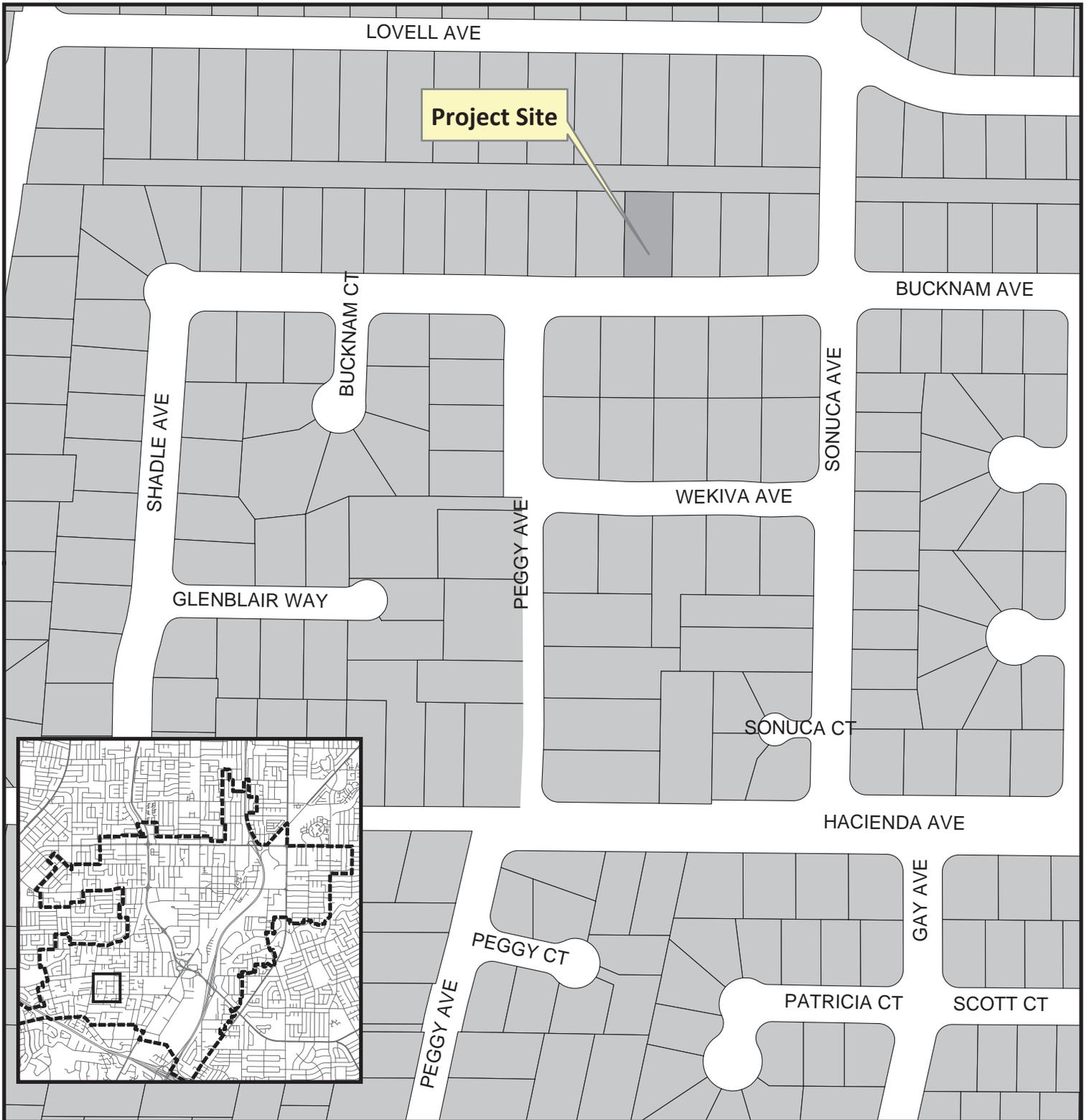
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1107 Bucknam Road**

Project Location Map

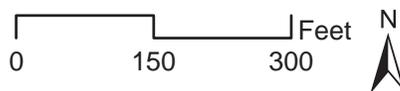


Project Location: 1107 Bucknam Ave

Application Type: Site and Architectural Review Permit

Planning File No.: PLN2019-005

Description: New approx. 3,052 sf one-story single-family residence



Community Development Department
Planning Division

NEW SINGLE STORY SINGLE FAMILY 1107 BUCKNAM AVE., CAMPBELL, CA 95008 APN: 406-15-004

PROJECT DATA

ZONING DISTRICT: R-1-B
 NUMBER OF FLOORS: SINGLE STORY
 FIRE PROTECTION: HAS SPRINKLER
 CONSTRUCTION TYPE: VB
 OCCUPANCY CLASSIFICATION: R-3-U

APPLICABLE CODES:

- A. CALIFORNIA FIRE CODE: 2016 EDITION
- B. CALIFORNIA BUILDING CODE: 2016 EDITION
- C. CALIFORNIA MECHANICAL CODE: 2016 EDITION
- D. CALIFORNIA PLUMBING CODE: 2016 EDITION
- E. CALIFORNIA ELECTRIC CODE: 2016 EDITION ENERGY CODE
- F. CALIFORNIA ENERGY CODE: 2016 EDITION
- G. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

ALSO:
 2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2009 IRC) AND
 2016 CALIFORNIA GREEN BUILDING STANDARD CODE, WHICH ARE
 ALSO APPLICABLE TO THIS PROJECT.

SETBACKS REQUIRED	EXISTING	PROVIDED
FRONT	20'-0"	26'-9" 23'-6"
RIGHT	MIN. 10'-0"	10'-4" 10'-4"
REAR	20'-0"	14'-11" 40'-4"
LEFT	MIN. 8'-0"	11'-1" 8'-1"

FRONT GARAGE SETBACK
 SHALL BE MINIMUM 25'-0"
 PROVIDED 26'-9"

AREAS

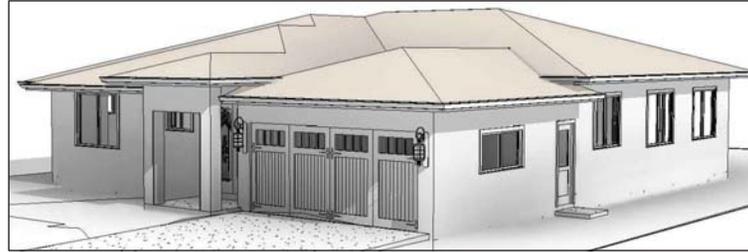
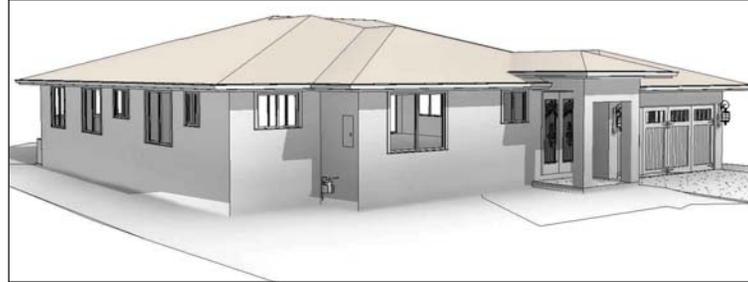
LOT SIZE: 9388.10 SQ. FT.
ALLOWABLE FLOOR AREA RATIO
 MAX. ALLOWABLE F.A.R. = 9388.10 x 45 % = 4224.65 SQ. FT.
 TOTAL PROVIDED F.A.R. = 3250 % = 3,091.60 SQ. FT.

AREAS	GARAGE AREA SQ. FT.	HABITABLE AREA SQ. FT.	TOTAL SQ. FT.
EXISTING	0.00	121.92	121.92
CHANGES	+ 385.95	+ 1543.75	+ 1929.68
PROPOSED	385.95	2,665.65	3,051.60

FOR DETAILS
 SEE SHEET "A1".

LOT COVERAGE

MAX. LOT COVERAGE = 9388.10 x 35% = 3,285.86 SQ. FT.
 GARAGE AREA: 385.95 SQ. FT.
 LIVING AREA: 2,665.65 SQ. FT.
 COVERED PORCH AREA: 46.34 SQ. FT.
 TOTAL PROVIDED LOT COVERAGE: 3,091.94 SQ. FT.



SCOPE OF WORK

NEW SINGLE STORY SINGLE FAMILY HOME INCLUDING FOUR BEDROOM, 4 1/2 BATH, TWO CAR GARAGE, KITCHEN AND GREAT ROOM.

DRAWING INDEX

ARCHITECTURAL:	CIVIL:
A0 COVER SHEET	C1 COVER SHEET FOR GRADING AND DRAINAGE PLAN
T-1 TOPOGRAPHIC SURVEY MAP	C2 GRADING AND DRAINAGE PLAN
A1 EXISTING AND PROPOSED SITE PLANS	C3 EROSION CONTROL
A2 EXISTING FLOOR AND ROOF PLANS	C4 BLUE PRINT FOR CLEAN BAY
A3 PROPOSED FLOOR PLAN	
A4 PROPOSED ROOF PLAN	LANDSCAPE:
A5 PROPOSED EXTERIOR ELEVATIONS	L1 MASTER PLANTING PLAN
A6 BUILDING CROSS SECTIONS	L2 FRONT YARD COVERAGE
A7 AREA CALCULATIONS	L3 IRRIGATION PLAN
A8 STREET SCAPE	
A9 FRONT ELEVATION RENDERING	

CONSULTANTS

DESIGNER: BAY AREA DESIGN AND CONSTRUCTION
 CONTACT: FEYMAN FARZANEH
 811 EAST HAMILTON AVE. SUITE "D" CAMPBELL, CA 95008
 TEL: (408) 209 8942

STRUCTURAL:

LANDSCAPE: W. JEFFREY HELD
 CONTACT: JEFF HELD
 6119 ONELDA DRIVE
 SAN JOSE, CA 95123
 TEL: (408) 691-9271

LAND SURVEYOR: SMP ENGINEERS
 CONTACT: SAIED RAZAVI
 1534 CAROB LANE, LOS ALTOS, CA 94024
 TEL: (650) 941-8055

CIVIL: SMP ENGINEERS
 CONTACT: SAIED RAZAVI
 1534 CAROB LANE, LOS ALTOS, CA 94024
 TEL: (650) 941-8055

TITLE 24:

PARCEL MAP



VICINITY MAP



FIRE SPRINKLERS REQUIRED:

An automatic residential fire sprinkler system shall be installed in one-and two family dwellings as follows:
 -In all new one - and two family dwellings and in existing one-two family dwellings when additions are made that increase the building area to more than 3,600 sq. ft. (Exception: A one-time addition to an existing building that does not total more than 1,000 sq. ft. of building area). NOTE: the owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. NOTE: Covered porches, patios, balconies, and attic spaces may require fire sprinkler coverage. A state of California licensed (C-16) fire protection contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. Section R3192 as adopted and amended by "CBLMC".

WATER SUPPLY REQUIREMENTS:

-Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is responsibility of the applicant and any contractors and subcontractors to contact water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage container that may be physically connected in any manner to an applicant capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC section 909.3.3 and health and safety code 1314.1

PREMISES IDENTIFICATION:

-Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.
 *CFC section 909

CONSTRUCTION SITE FIRE SAFETY:

-All construction sites must comply with applicable provisions of the "CFC" chapter 14 and our standard detail and specification "91-1"

REVISIONS	BY
12/19/18	BK
01/25/19	BK

DESIGNED BY:
 811 EAST HAMILTON AVE.
 SUITE "D"
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

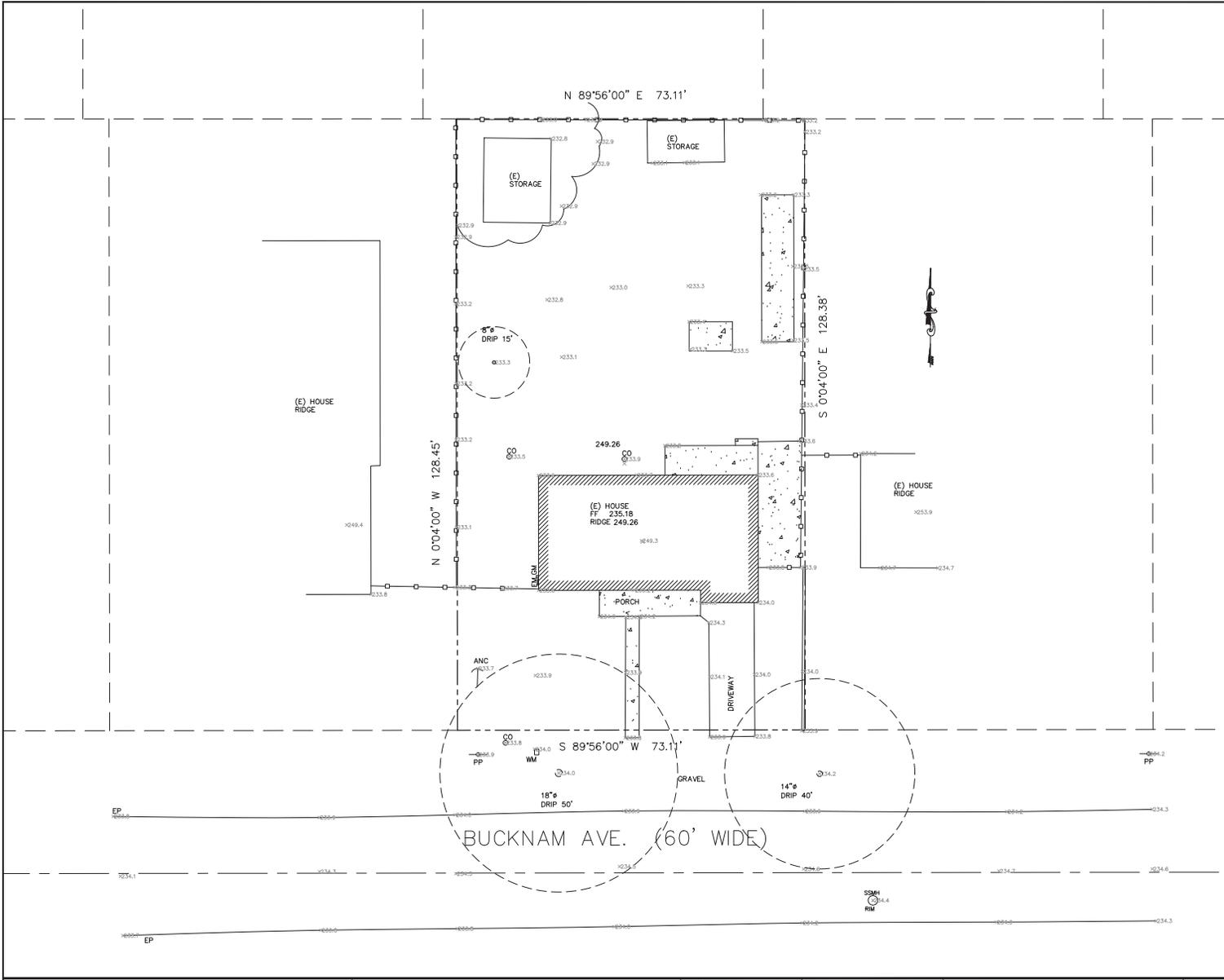
DESIGN &
 CONSTRUCTION
 BAY AREA

COVER SHEET

NEW SINGLE STORY SINGLE FAMILY
 1107 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

DATE	09/11/2018
SCALE	N/A
DRAWN	BK
JOB	
SHEET	
OF	10





LEGEND

---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSDL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EM	ELECTRIC METER
⊕	FIRE HYDRANT	EP	EDGE OF PAVEMENT
⊕	JOINT POLE	FH	FIRE HYDRANT
⊕	SURVEY MONUMENT FOUND	GA	GUY ANCHOR
⊕	TBM (ELEVATION)	GM	GAS METER
⊕	WATER VALVE	GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC. PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

	CONCRETE
	BRICK
	AC

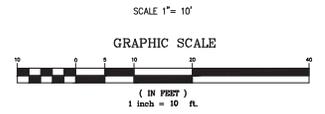
DISCLAIMER:
 SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
 THE BEARING S 89°56'00" E OF CENTERLINE OF BUCKNAM AVE. AS SHOWN ON THAT CERTAIN TRACT NO. 521, RECORDED IN BOOK 24 OF MAPS AT PAGE 30, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:
 REFERENCED CITY OF CAMPBELL BENCHMARK:
 BM# 60 EL: 225.01' (NAVD83)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE GROSS AREA OF LAND OF RECORD IS 9,388 SQ. FT. ±.
 - THE MAP WAS BASED ON A GRANT DEED DOC.# 23997646 BY CORNERSTONE TITLE CO. DATED 8/6/2016, RECORDED IN SANTA CLARA COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
 - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1107 Bucknam Avenue
 Campbell
 APN: 406-15-004

SMP ENGINEERS
 CIVIL ENGINEERS—LAND SURVEYORS
 1534 Carob Lane Los Altos, CA 94024
 Tel. (650) 941-8055 Fax (650) 941-8755

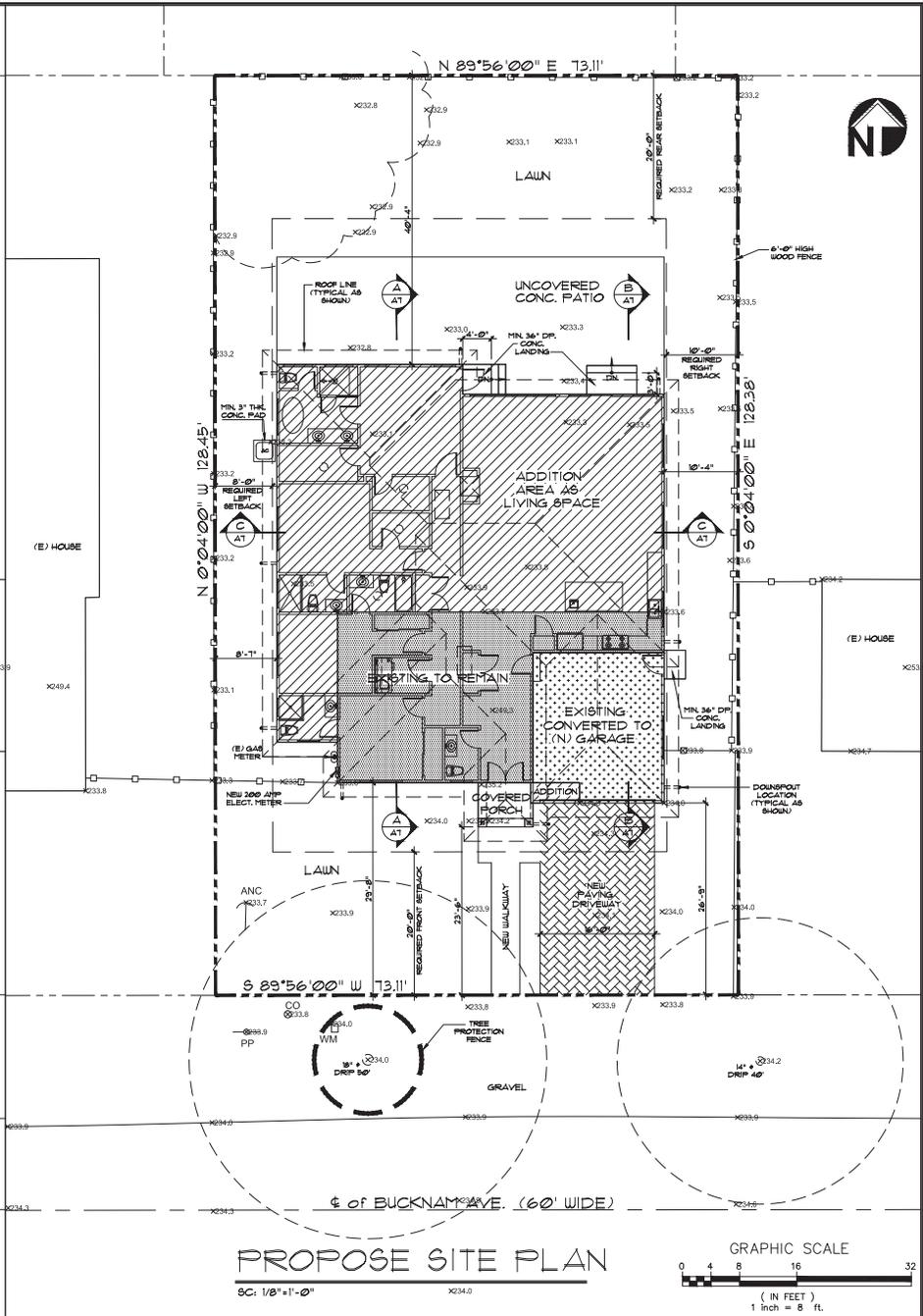
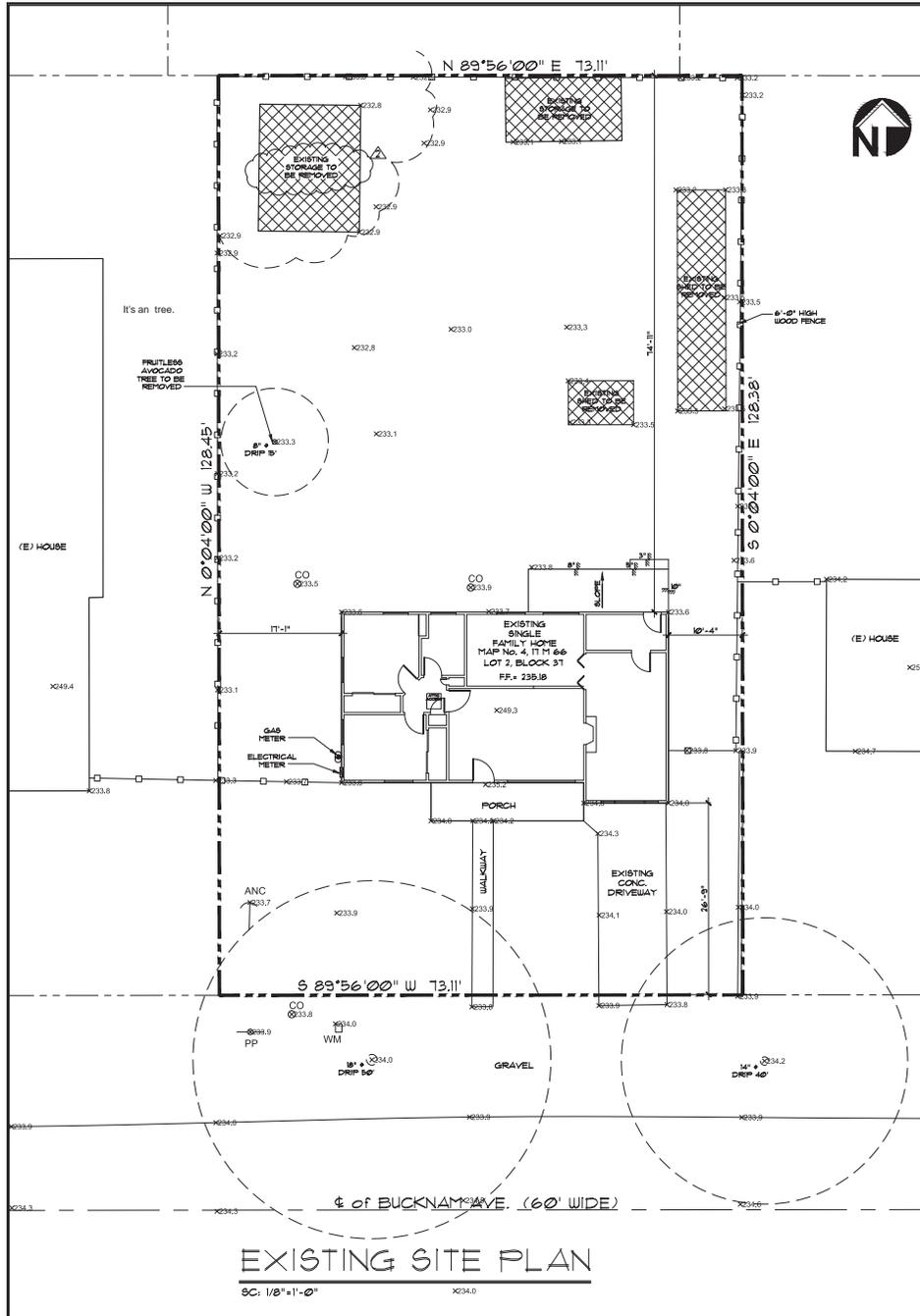
Scale: 1" = 10'
 Prepared by:
 Checked by:
 Date: 8/27/2018
 Project No: 218107

TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

NO.	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL



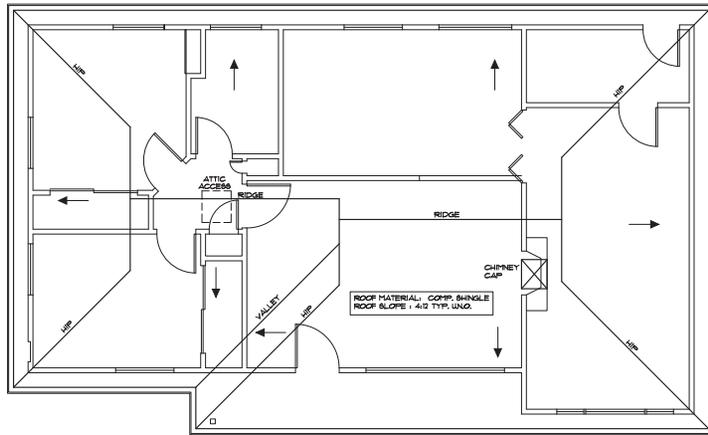
REVISIONS	BY
Δ 12/19/18	BK
Δ 01/25/19	BK

DESIGNED BY:
BAY AREA DESIGN & CONSTRUCTION
 811 EAST HAMILTON AVE.
 SUITE 101
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

EXISTING AND PROPOSED SITE PLANS

NEW SINGLE STORY SINGLE FAMILY
 1101 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

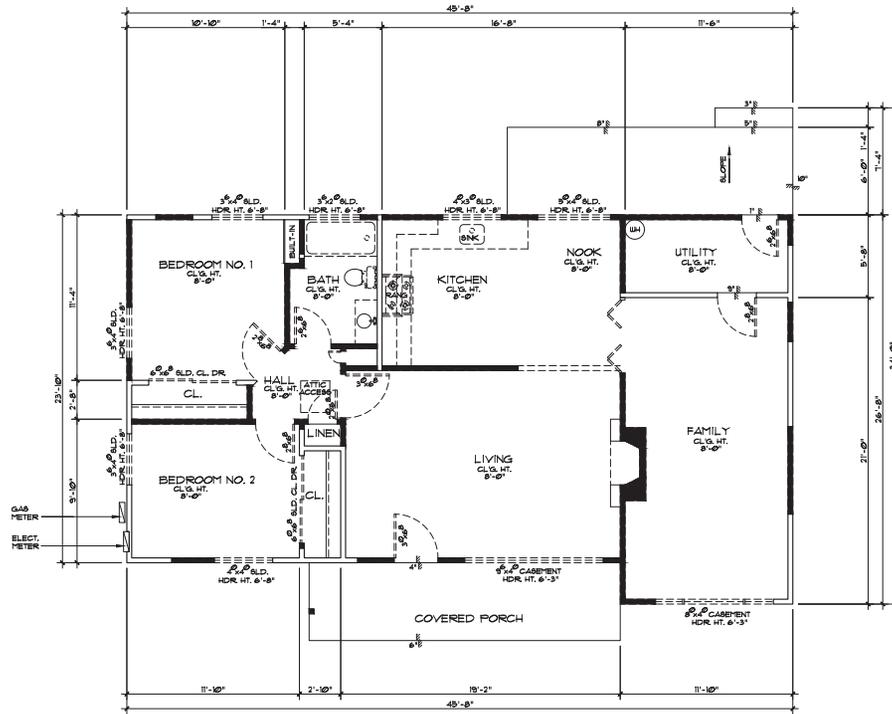
DATE	02/20/18
SCALE	1/8" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	1



WHOLE ROOF WILL BE DEMOLISHED

EXISTING ROOF PLAN

SC: 1/4"=1'-0"



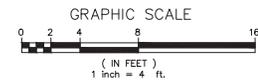
EXISTING / DEMO. FLOOR PLAN

SC: 1/4"=1'-0"

LEGEND:

- EXISTING 2x6 STUD WALL TO BE REMAIN
- EXISTING 2x6 STUD WALL TO BE REMOVED

ALL DOORS, WINDOWS, PLUMBING FIXTURES AND APPLIANCES ARE BEING REMOVED.



REVISIONS	BY
	12/19/18 BK
	01/25/19 BK

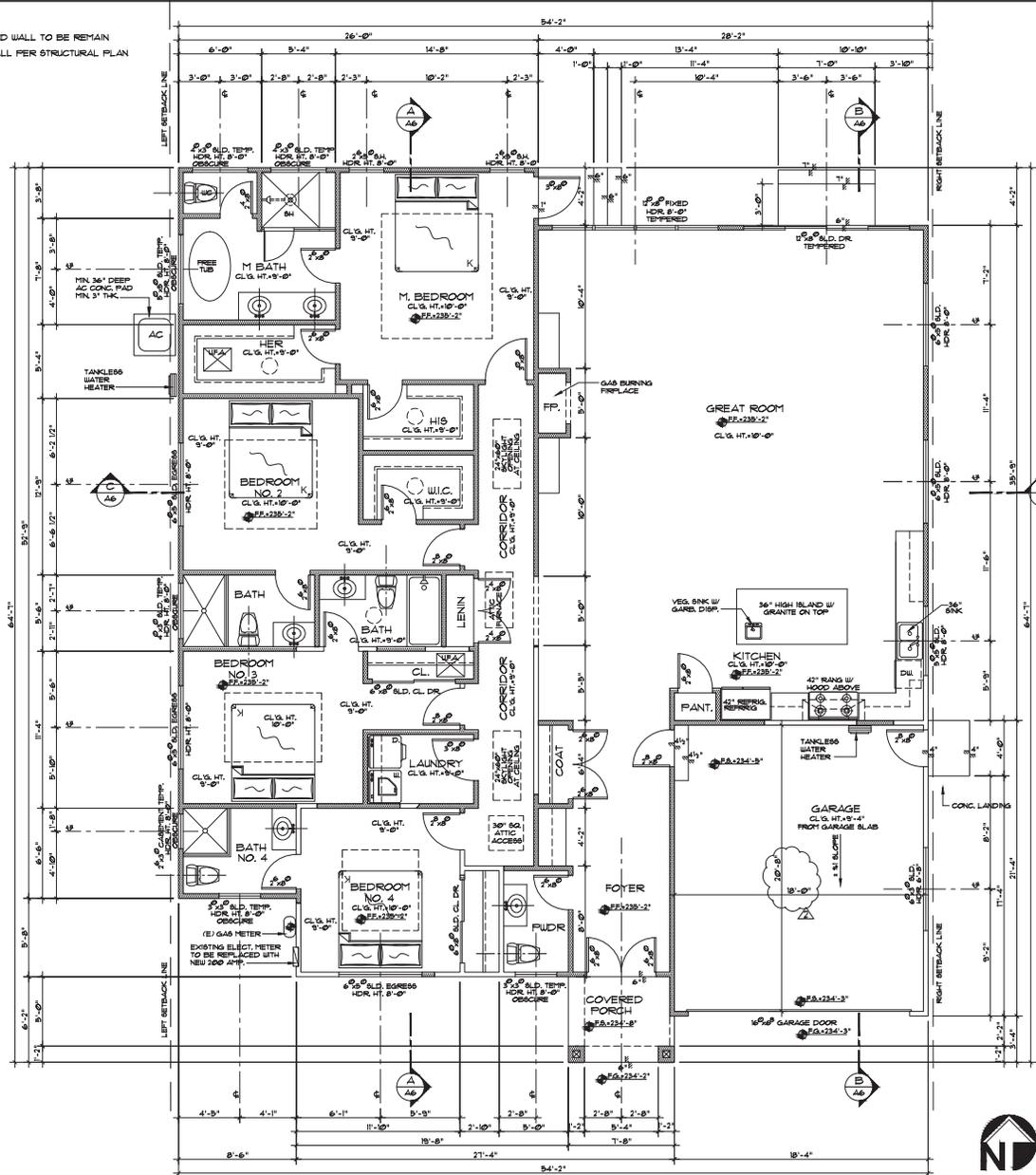
DESIGNED BY: BAY AREA DESIGN & CONSTRUCTION
 811 EAST HAMILTON AVE.
 SUITE "D"
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

EXISTING FLOOR AND ROOF PLANS

NEW SINGLE STORY SINGLE FAMILY
 1101 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

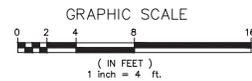
DATE	09/1/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	A2
OF SHEETS	16

- LEGENDS:**
-  EXISTING 2x6 STUD WALL TO BE REMAIN
 -  NEW 2x6 STUD WALL PER STRUCTURAL PLAN



PROPOSED FLOOR PLAN

SC: 1/4" = 1'-0"



REVISIONS	BY
12/19/18	BK
01/25/19	BK

DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**
 811 EAST HAMILTON AVE.
 SUITE 111
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

PROPOSED FLOOR PLAN

NEW SINGLE STORY SINGLE FAMILY
 1107 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

DATE	02/25/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	A3
OF SHEETS	

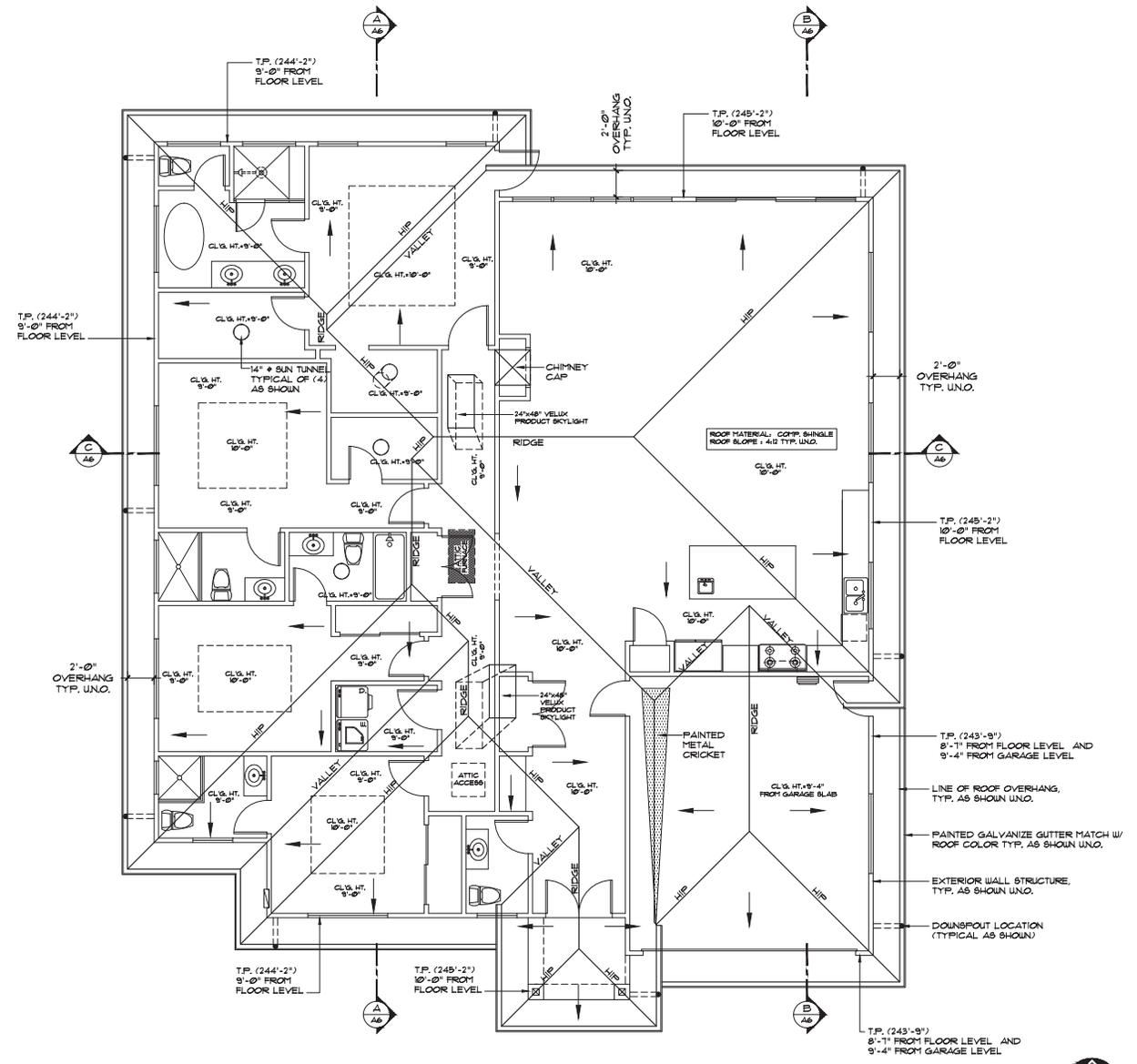
REVISIONS	BY
12/19/18	BK
01/25/19	BK

DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**
 811 EAST HAMILTON AVE.
 SUITE 110
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

PROPOSED ROOF PLAN

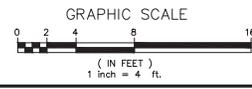
NEW SINGLE STORY SINGLE FAMILY
 1107 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

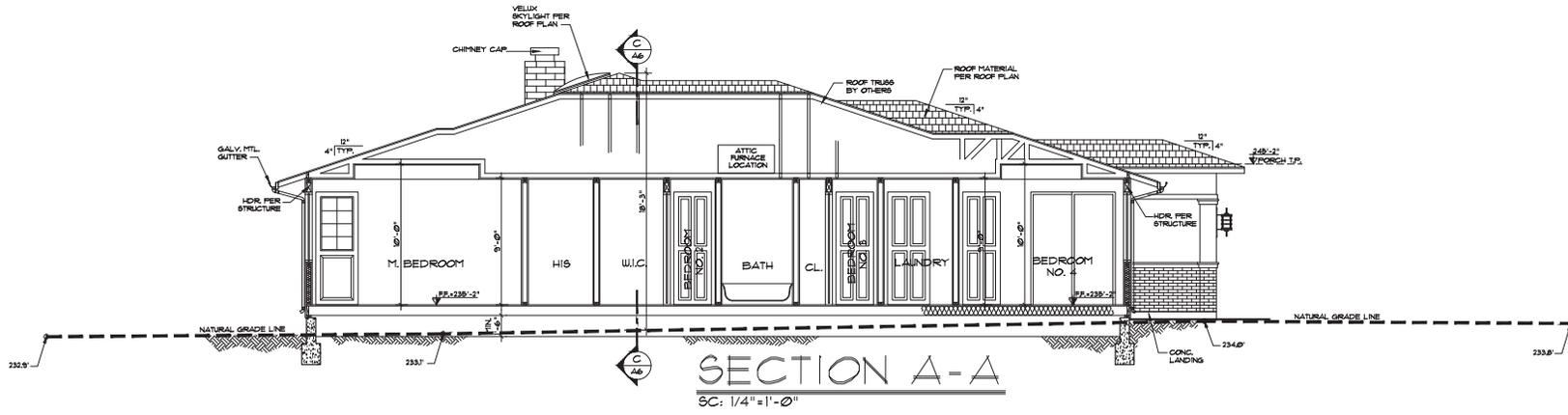
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SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	44



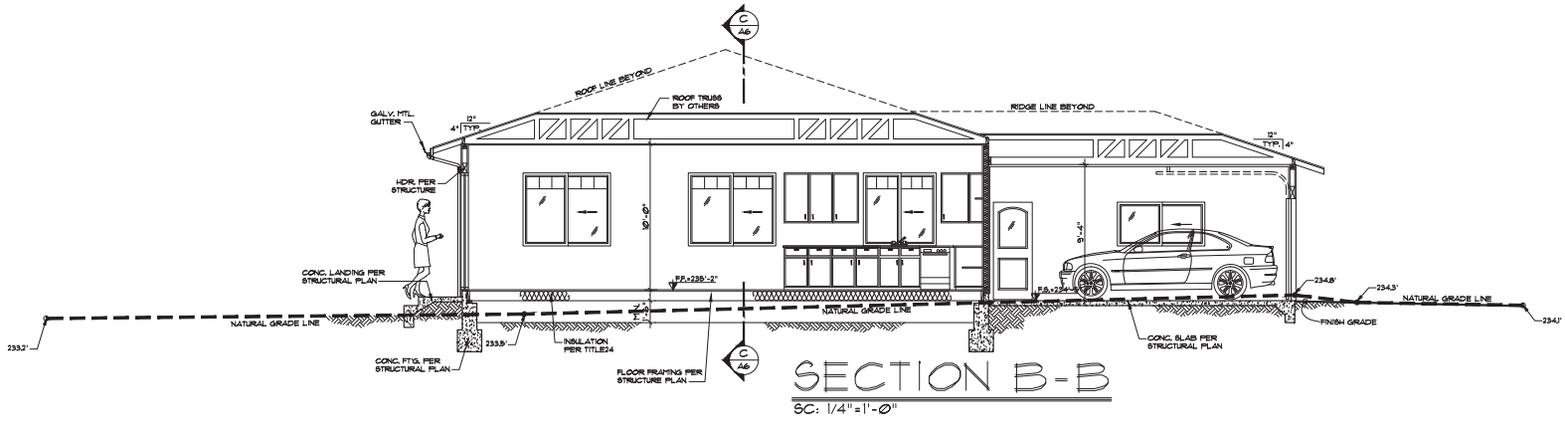
PROPOSED ROOF PLAN

SC: 3/16" = 1'-0"

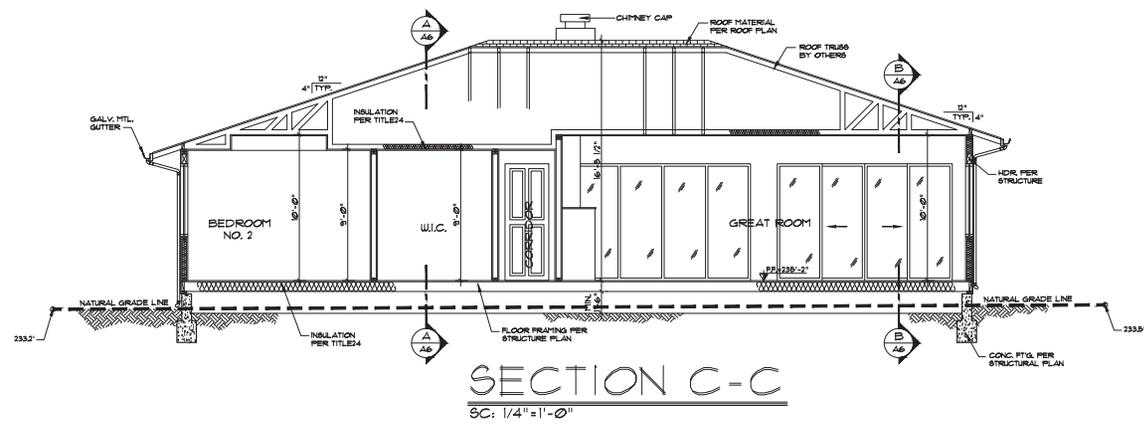




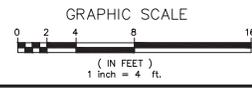
SECTION A-A
SC: 1/4" = 1'-0"



SECTION B-B
SC: 1/4" = 1'-0"



SECTION C-C
SC: 1/4" = 1'-0"



REVISIONS	BY
Δ 12/19/18	BK
Δ 01/25/19	BK

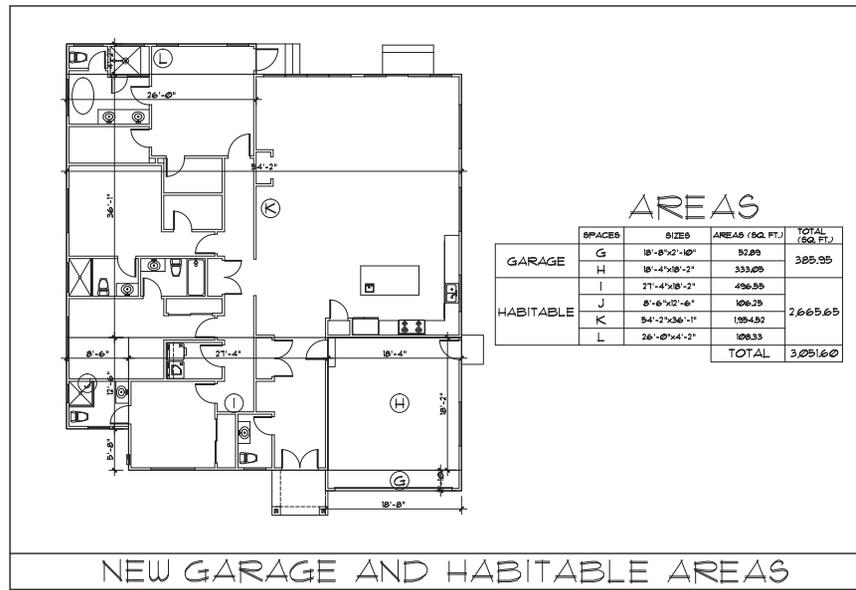
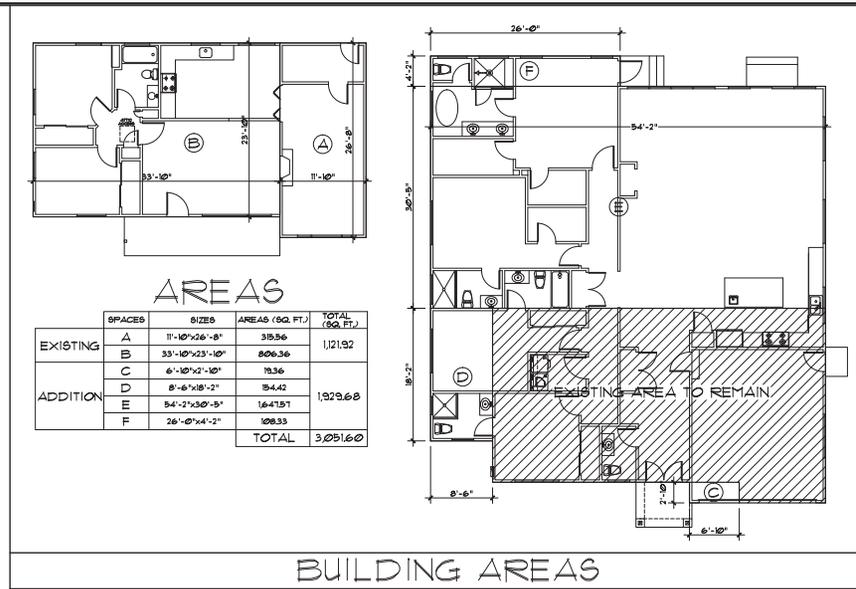
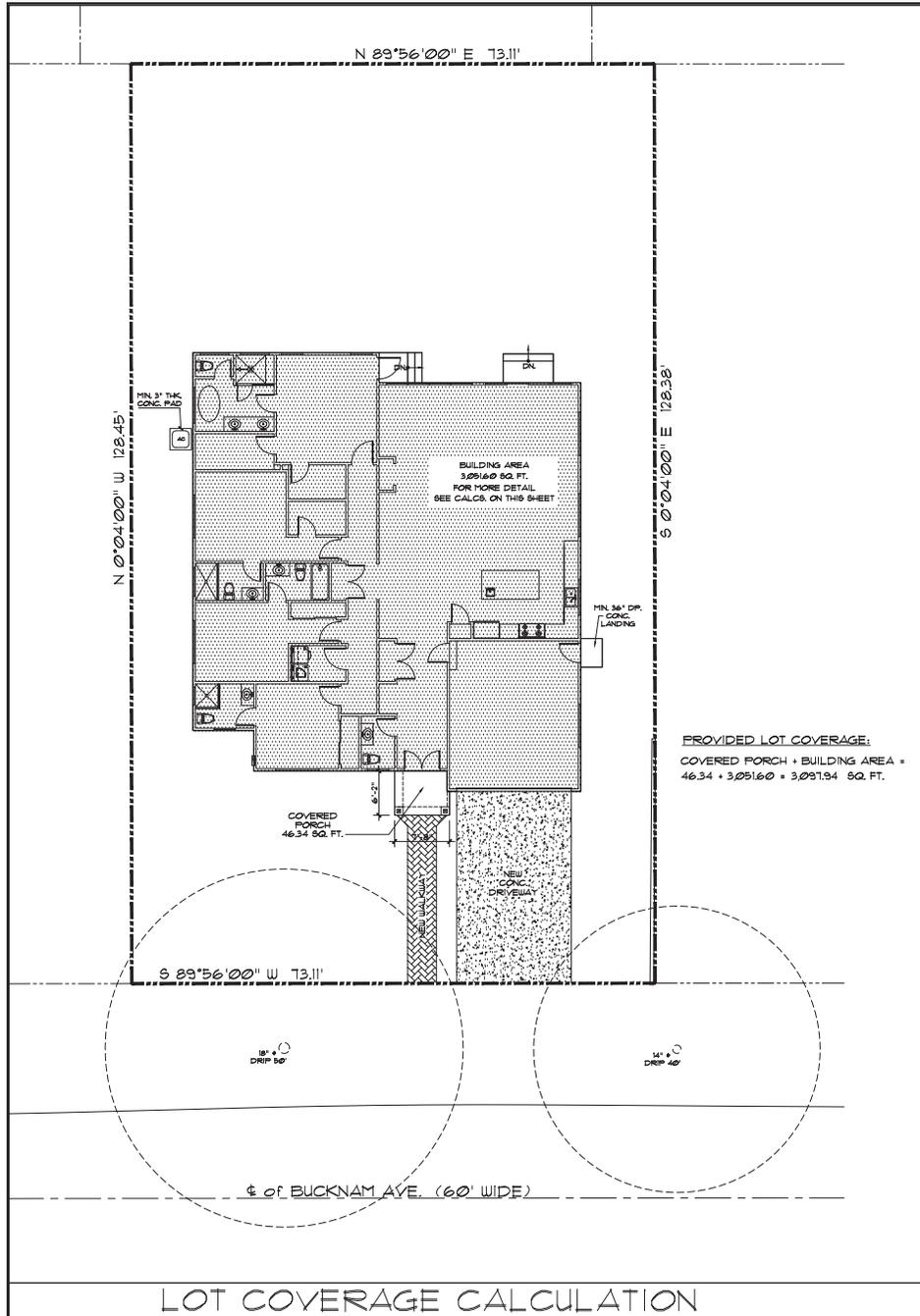
DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**
 8111 EAST HAMILTON AVE.
 SUITE 110
 CAMPBELL, CA 95008
 TEL: (408) 209 8942

BUILDING SECTIONS

NEW SINGLE STORY SINGLE FAMILY
 1101 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

DATE	02/23/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	16

A6



REVISIONS BY

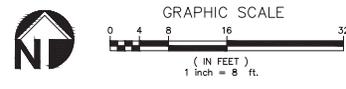
12/19/18	BK
01/25/19	BK

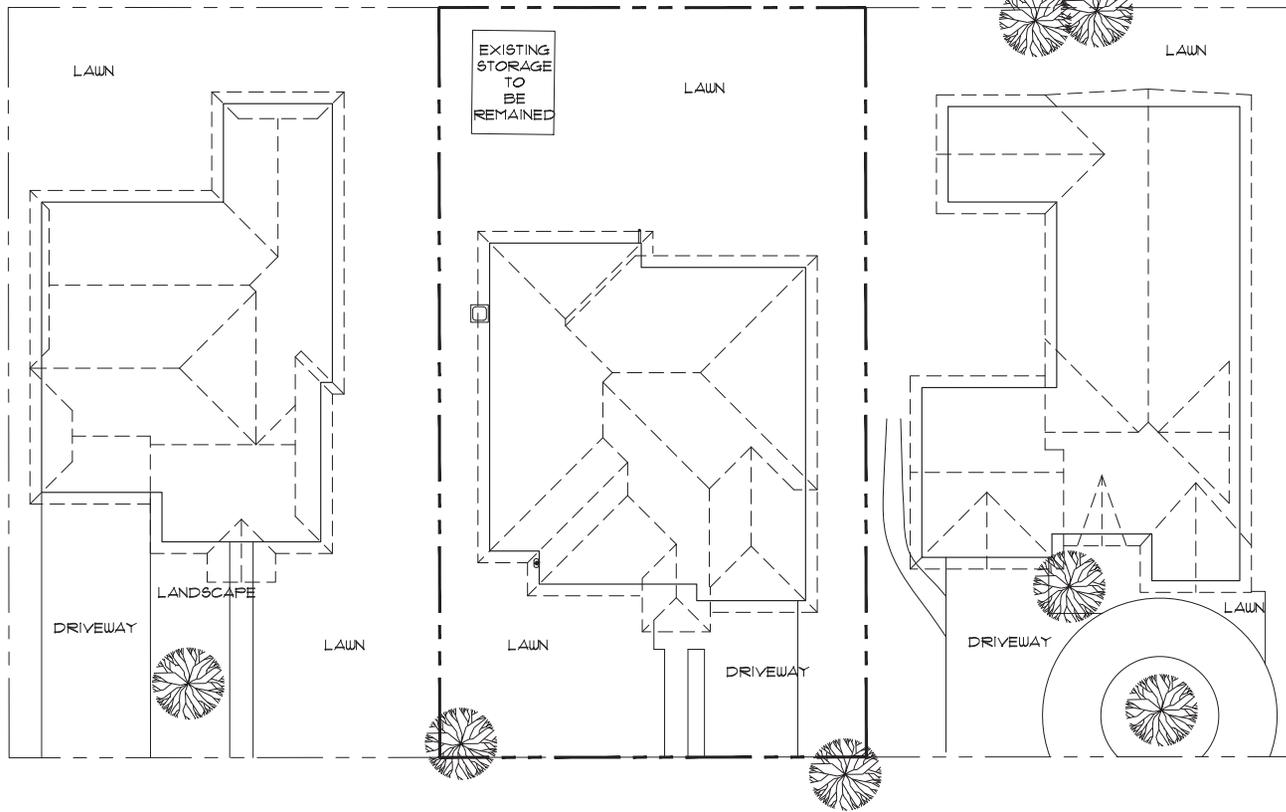
DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**

811 EAST HAMILTON AVE.
SUITE 110
CAMPBELL, CA 95008
TEL: (408) 209 8942

NEW SINGLE STORY SINGLE FAMILY
1101 BUCKNAM AVE.,
CAMPBELL, CA 95008
APN: 406-15-004

DATE: 02/25/2018
SCALE: 1/8" = 1'-0"
DRAWN: BK
JOB: A7
SHEET: OF SHEETS





1121 BUCKNAM AVE.,

1107 BUCKNAM AVE.,
SUBJECT
PROJECT

1095 BUCKNAM AVE.,

REVISIONS	BY
△ 12/19/18	HN
△ 01/25/19	EK

DESIGNED BY:

 BAY AREA DESIGN & CONSTRUCTION
 811 EAST HAMILTON AVE.
 SUITE 100
 CAMPBELL, CA 95008
 TEL: 408.295.8942

STREET SCOPE

NEW SINGLE STORY SINGLE FAMILY
 1107 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

DATE	02/23/18
SCALE	1"=10'-0"
DRAWN	EK
JOB	
SHEET	48
OF SHEETS	



REVISIONS	BY
Δ 12/19/18	HN
Δ 01/25/19	BK

DESIGNED BY:

 811 EAST HAMILTON AVE.
 SUITE 10
 CAMPBELL, CA 95008
 TEL: 408.265.8844

FRONT ELEVATION
 RENDERING

NEW SINGLE STORY SINGLE FAMILY
 1107 BUCKNAM AVE.,
 CAMPBELL, CA 95008
 APN: 406-15-004

DATE	01/25/19
SCALE	3/8" = 1'-0"
DRAWN	BK
JOB	
SHEET	Δ 49
OF	

GRADING AND DRAINAGE NOTES

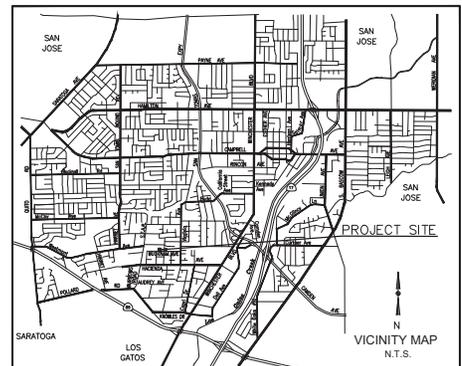
- CALIFORNIA BUILDING CODE**
ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY AMERICAN SOILS TESTING INC., DATED JAN 23/2018 PROJECT NO. 18-02933.
- SPECIFICATIONS AND OBSERVATIONS**
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY (866-2150) SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE STOPPED AND REPLACED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**
PRIOR TO ISSUANCE OF ANY GRADING OR DRAINAGE PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**
EROSION CONTROL, PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADDED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- UTILITY ELEVATION VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNERS AND CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5% FOR AT LEAST 10 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 2%.
- GRADED SITE ELEVATIONS**
ON GRADDED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 5 PERCENT. THE BUILDING OFFICER MAY APPROVE ALTERNATE ELEVATIONS PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**
THE TOPOGRAPHY SURVEY MADE BY ROBERT JAMES CRAIG ON 3/27/2017.
- TREE REMOVAL AND PRESERVATION**
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.
- PROJECT PLANS**
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENLY**
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTATION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT COVER ANY PART PERTAINING TO OTHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS, PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHERS REQUIRED PERMITS TO BE OBTAINED.
- WELL LOCATIONS**
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS. THE PERMITTEE SHALL NOTIFY THE SANTA CLARA VALLEY WATER DISTRICT, CALL (408) 265-2800 EXTENSION 302 TO ARRANGE FOR DESTROY OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.
- EARTHWORK ADJUSTMENTS**
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE BUCKNAM AVE. TOWARD VIRGINIA AVE. TURN RIGHT ONTO VIRGINIA AVE. TOWARD W HACIENDA AVE. TURN LEFT ONTO W HACIENDA AVE. TURN WINCHESTER BLVD. TURN LEFT INTO DUNDEE DR. TURN RIGHT ONTO SAN JOSE AVE. TURN RIGHT ONTO SAN JOSE AVE. TURN LEFT MERGE ONTO CA 151 VIA THE RAMP TO SAN JOSE. CONTINUE ON CA 151 N. DRIVE TO SCOTTSWOOD 1380
- CONTRACTOR RESPONSIBILITIES**
THE ENGINEER OF WORK OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS WORKMENS ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- NEAT AND CLEAN PREMISES**
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 1107 BUCKNAM AVE., CAMPBELL, CA 95008
 BUILDING PERMIT NO. BLDXXXX-XXXX
 ASSESSORS PARCEL NO. 406-15-004
 NEW ADDITION TO SINGLE FAMILY HOUSE



**CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS**



AGENCY INDEX

- SANTA CLARA COUNTY FIRE DEPARTMENT (408) 378-4010
- CITY OF CAMPBELL - PUBLIC WORKS (408) 866-2150
- CITY OF CAMPBELL - POLICE (408) 866-2121
- (408) 811-5900
- AT&T TELEPHONE (408) 973-8980
- PACIFIC GAS & ELECTRIC (408) 278-7900
- SAN JOSE WATER COMPANY (408) 265-2800
- SANTA CLARA VALLEY WATER DISTRICT (408) 452-9100
- COMCAST CABLE TELEVISION (408) 378-2407
- WEST VALLEY SANITATION DISTRICT

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BC BEGIN CURVE
- BCR BEGIN CURB RETURN
- BW BOTTOM OF WALL
- CL CLASS
- DIA DIAMETER
- DWVY DRIVEWAY
- ED END CURVE
- ECDR END CURB RETURN
- EX EXISTING
- ECR EDGE DRAIN
- EV EXISTING
- FC FACE OF CURB
- FG FINISH GRADE
- FH FIRE HYDRANT
- INV INVERT
- IRR IRRIGATION
- LQL LAYOUT LINE
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- OG ORIGINAL GRADE
- PB PULL BOX
- PCC PORTLAND CEMENT CONCRETE
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- STA STATION
- SW SIDEWALK
- TC TOP OF CURB
- TEMP TEMPORARY
- TW TOP OF WALL
- TYP TYPICAL
- WLK WALKWAY

- ANY ABANDONED UNDERGROUND PIPES**
ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL BUILDING DIVISION.
- HUMAN REMAINS**
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORNER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORNER AND SHALL STATE THAT THE CORNER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- MAINTENANCE PROCEDURES**
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- DUST CONTROL**
ALL EXPOSED UNSTABILIZED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEP (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.
- CONSTRUCTION MITIGATION MEASURE**
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 AM. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.
- CONSTRUCTION PERIMETER RETENTION WALLS**
ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.
- STORMWATER TREATMENT FACILITIES**
ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE

PLAN CHECK # _____
 APPROVED BY: _____
 DATE: _____

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL EXPLORATION REPORT ON _____ IN CAMPBELL, CALIFORNIA. PROJECT NO. _____ DATED _____ PREPARED BY _____

(NAME) # _____ DATE _____
 E.# _____

PROFESSIONAL SEAL: 0230000000, CIVIL ENGINEER, STATE OF CALIFORNIA

Earthwork Quantities

FILL:	24 CY
CUT:	84 CY
IMPORT:	0 CY
EXPORT:	59 CY

NOTE: EARTHWORK QUANTITIES ARE ENGINEER'S ESTIMATE. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS FOR BIDDING PURPOSES.

INDEX OF DRAWINGS

TITLE	SHEET
TITLE SHEET	1
GRADING AND DRAINAGE PLAN	2
EROSION CONTROL PLAN	3
BLUE PRINT FOR A CLEAN BAY	4

LEGEND

EXISTING	PROPOSED
SIDEWALK	SIDEWALK
CURB AND GUTTER	CURB AND GUTTER
CENTER LINE	CENTER LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
DRIVEWAY	DRIVEWAY
PCC OR AC REMOVAL	PCC OR AC REMOVAL
STANDARD CITY MONUMENT	STANDARD CITY MONUMENT
BENCH MARK	BENCH MARK
MANHOLE	MANHOLE
STORM DRAIN INLET	STORM DRAIN INLET
WATER METER	WATER METER
VALVE	VALVE
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
POWER POLE	POWER POLE
PULL BOX	PULL BOX
CABLE TELEVISION LINE	CABLE TELEVISION LINE
ELECTRICAL LINE	ELECTRICAL LINE
IRRIGATION LINE	IRRIGATION LINE
NATURAL GAS LINE	NATURAL GAS LINE
OVERHEAD LINE	OVERHEAD LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE
TELEPHONE LINE	TELEPHONE LINE
WATER LINE	WATER LINE
TRAFFIC SIGNAL CONDUIT	TRAFFIC SIGNAL CONDUIT
LIGHTING CONDUIT	LIGHTING CONDUIT
ROADSIDE SIGN & SIGN CODE	ROADSIDE SIGN & SIGN CODE
FENCE	FENCE
TREE/SHRUB	TREE/SHRUB
WALL	WALL

BASIS OF BEARINGS:

THE BEARING S 89°56'00" E OF CENTERLINE OF BUCKNAM AVE AS SHOWN ON THAT CERTAIN TRACT NO. 521, RECORDED IN BOOK 24 OF MAPS AT PAGE 30, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:

REFERENCED CITY OF CAMPBELL BENCHMARK: BM# 60 EL: 229.91' (NAVD88)

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 67003 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWS HORIZON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONSIDERED TO BE A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

SIGNATURE _____ P.E. _____
 PRINT
 SMP ENGINEERS
 1534 CAROL LANE, LOS ALTOS, CA 94024
 TEL: (650) 941-8005

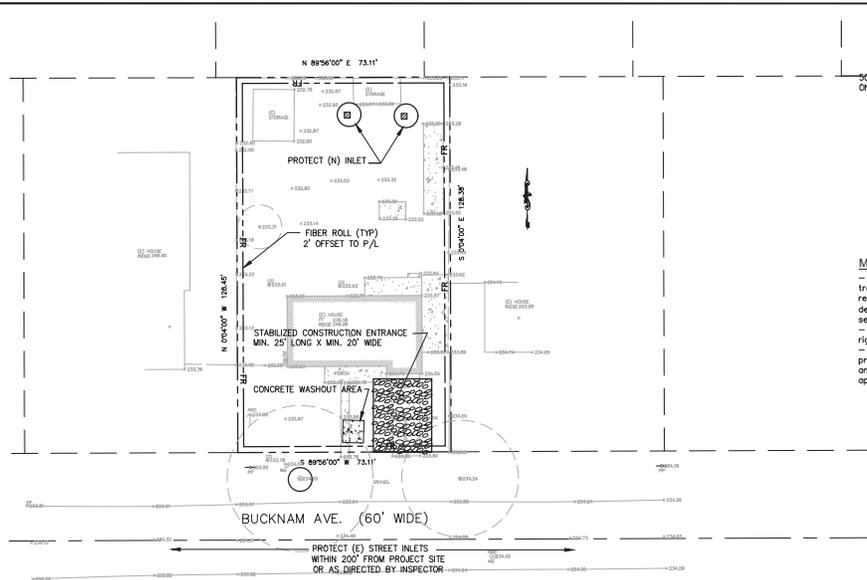
COVER SHEET
 GRADING AND DRAINAGE PLANS
 NEW SINGLE FAMILY HOUSE
 3777 ESTHER AVE., CAMPBELL, CA 95008

PROFESSIONAL SEAL: 023704, CIVIL ENGINEER, STATE OF CALIFORNIA

SCALE: N.T.S.
 SHEET: 1 OF 4

DATE: 3/27/2018
 PREPARED BY: S.P.
 CHECKED BY: S.R.
 SMP JOB NO.: 218633

1534 CAROL LANE
 LOS ALTOS, CA 94024
 TEL: (650) 941-8005
 E-MAIL: S@SMP.COM
 WWW.SMPENGINEERS.COM

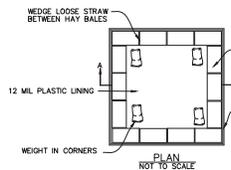
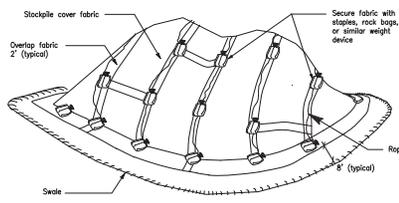


LEGEND:

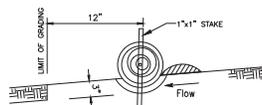
- FR --- FIBER ROLL (TYP)
- CONCRETE WASHOUT AREA
- INLET PROTECTION PER DETAIL



SITE PLAN
1"=20'

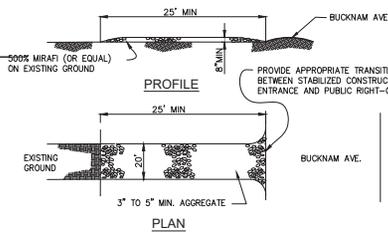


CONCRETE WASHOUT AREA
N.T.S.



FIBER ROLL NOTES

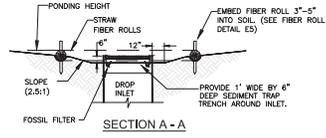
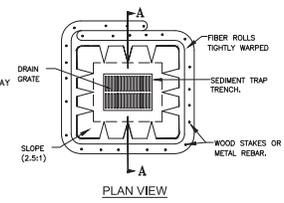
1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillside, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading.



Maintenance

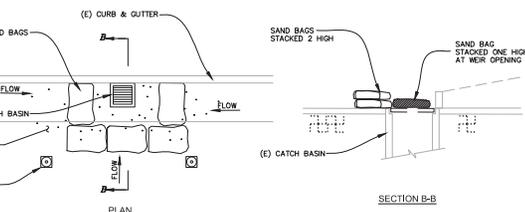
- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

STABILIZED CONSTRUCTION ENTRANCE
(TO BE MAINTAINED)



STORM INLET SEDIMENT TRAP-FIBER ROLLS

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-9819.



EXISTING STREET DRAINAGE INLET PROTECTION
N.T.S.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 15T to April 30TH. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrances of each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydrosediment is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of 1) seed, mulch, fertilizer 2) bloom straw 3) sodifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydrosediment Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may be encountered during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
13. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment load runoff to any storm drainage systems, including existing drainage swales and water courses.
14. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
15. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
16. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail: Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

Date:	11/02/2018
Prepared By:	S.P.
Checked By:	S.R.
SNP Job No.:	218107



1557 CAROL LANE
SAN JOSE, CA 95128
TEL: (408) 941-8000
FAX: (408) 941-8000
E-MAIL: SP@ENR.COM
WWW.ENR.COM

**EROSION CONTROL PLAN
GRADING AND DRAINAGE PLANS
ADDITION TO SINGLE FAMILY HOUSE
1107 BUCKNAM AVE., CAMPBELL, CA 95008**



SCALE:
1" = 20'

SHEET:
3 OF 4

W. Jeffrey Heid
Landscape Architect
C-2239

6179 Orinda Drive
San Jose, California 95129
tel: 408 691-9207
fax: 408 228-6085
email: wjheid@comcast.net

OWNERSHIP AND USE OF DRAWINGS
All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain the property. They are to be used only with respect to the Project and are not to be used on any other project. Distribution or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in description of W. Jeffrey Heid Landscape Architect - common law, copyright or other reserved rights.

REVISED 1/28/19

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUECLS
	Soil lawn - 100% dwarf fescue		high	.7
	Tulbaghia violacea @ 36" oc	1 gallon	low	3
	Gazania mitisana yellow @ 24" oc	1 gallon	low	3
	Carex chinensis/ Berkeley Sedge @ 36" oc	1 gallon	low	3
	Cotinus Golden Spirit	15 gallon	low	3
	Lomandra Phoebe	5 gallon	low	3
	Leucadlia Grosso/ Lavender	5 gallon	low	3
	Loropetalum Suzans	5 gallon	low	3
	Lagotisraemia Tiscovora old./ Craple Myrtle	24" box	low	3

- 1) Verify placement of all new plant material.
- 2) The contractor shall submit for and obtain a soil fertility analysis with soil preparation recommendations prior to planting.
- 3) Incorporate 4 cu of compost per 1000 sq ft, 6" into native soil unless dictated by soil fertility analysis.
- 4) Spread 3" of ProChap earthtone mulch, or equal, after planting.
- 5) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape.
- 6) 100% of the proposed plant material have an average WUECLS rating of 3 or less.
- 7) The proposed turf area encompasses 24% (979 sq ft) of the front yard landscape, thus under the 25% maximum.
- 8) No lawn is proposed on a slope which exceeds 1" vertical elevation change in 4'.
- 9) No lawn is proposed in a parking strip.

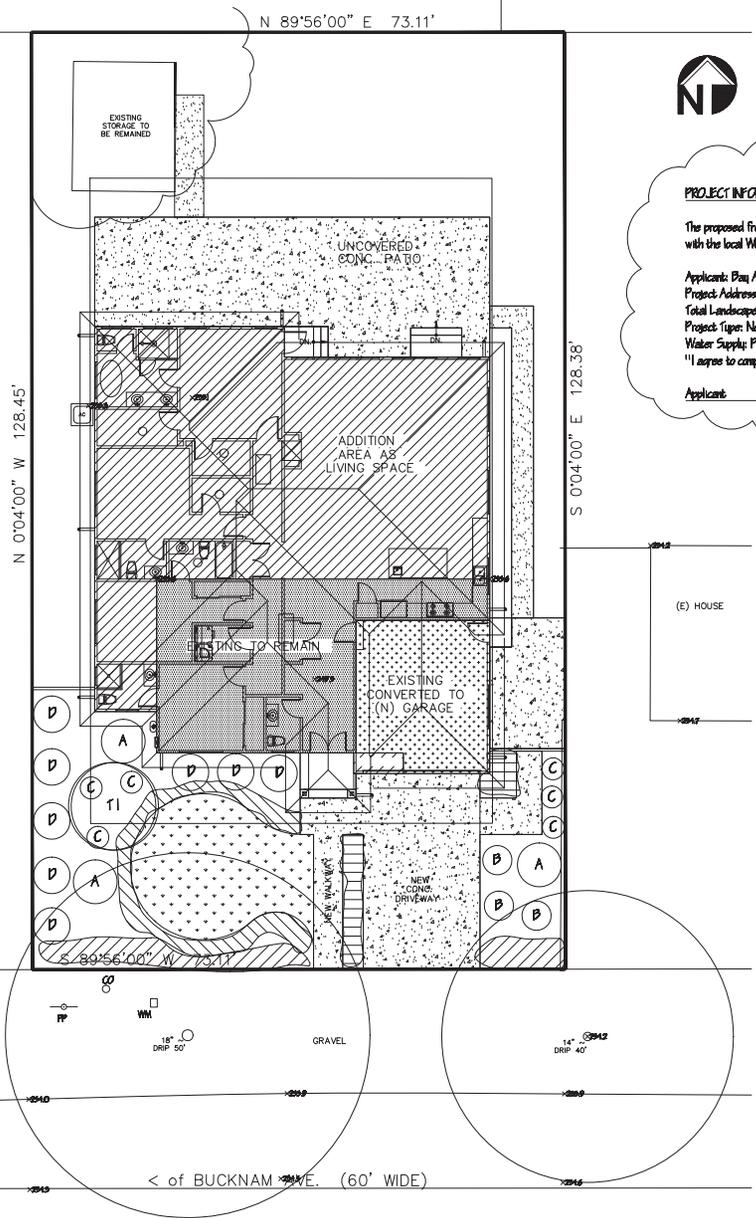


PROJECT INFORMATION

The proposed front yard landscape area is under 2500 sq ft, thus Prescriptive Compliance with the local WELO has been selected.

Applicant: Day Area Design and Construction
Project Address: 1107 Bucknam Avenue
Total Landscape Area: 1950 sq ft
Project Type: New
Water Supply: Potable
I agree to comply with the requirements of the prescriptive compliance option for the MWELO

Applicant: _____ Date: _____



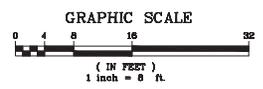
TULBAGHIA GAZANIA CAREX



A - COTINUS B - LOMANDRA C - LAVANDULA D - LOROPETALUM



T1 - LAGOTISRAEMIA



MASTER/ PLANTING PLAN
1/8" = 1'-0"

ADDITION AND REMODEL

for: 1107 BUCKNAM AVENUE
CAMPBELL, CA. 95008

MASTER/ PLANTING PLAN

date: 11/18/18
scale: NOTED
drawn by: W.J.H.
job no.: 21882
sheet:
of sheets



W. Jeffrey Heid
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ADDITION AND REMODEL

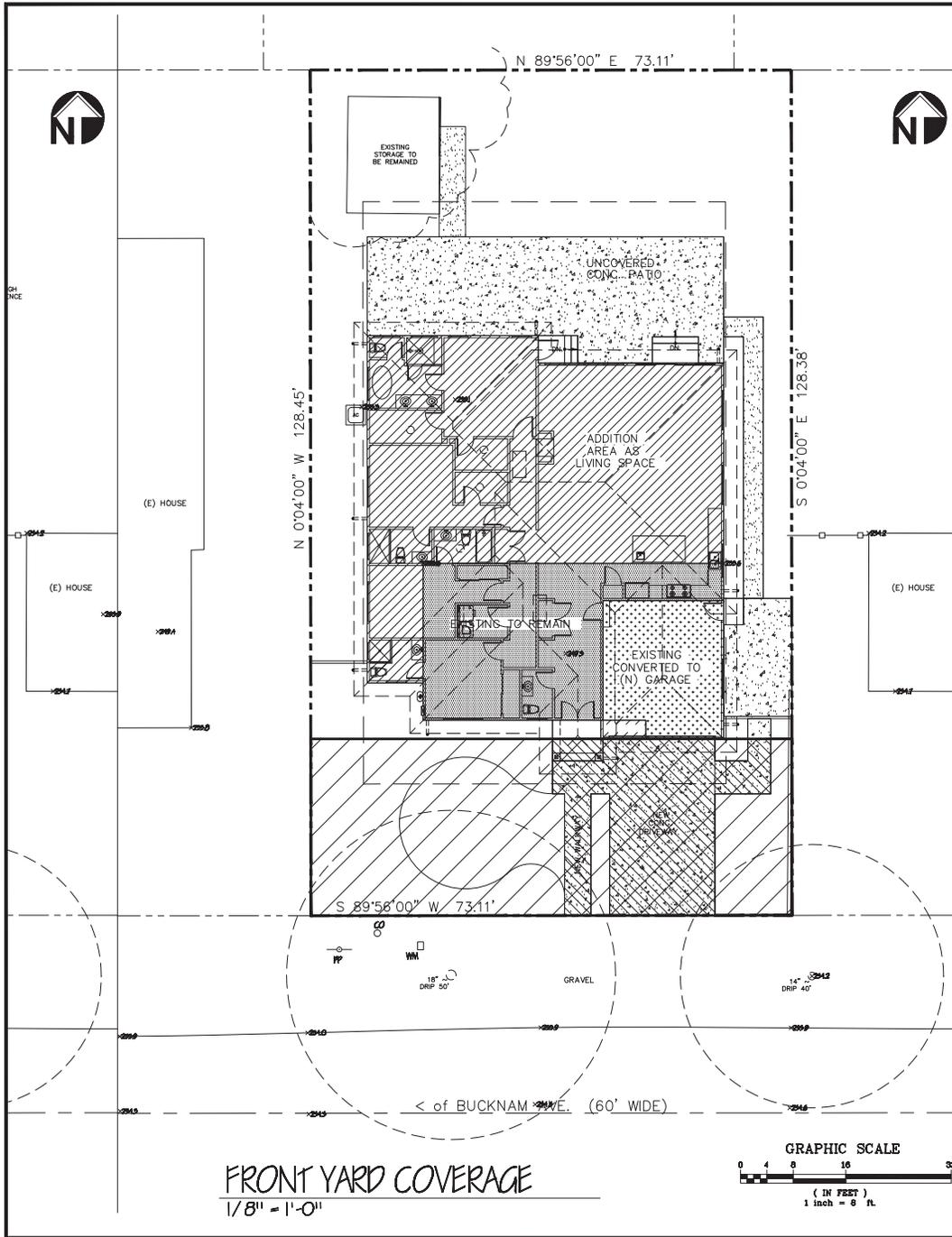
for:
1107 BUCKNAM AVENUE
CAMPBELL, CA. 95008



date: 1/28/19
scale: NOTED
drawn by: W.J.H.
job no. 21882
sheet

L 2

of sheets



FRONT YARD HARDSCAPE COVERAGE

Overall Front Yard Area: 1965 sf

Proposed Hardscape: 650 sf

Allowable Hardscape: 50% or 992 sf

Proposed Hardscape: 32% or 352 sf under allowable

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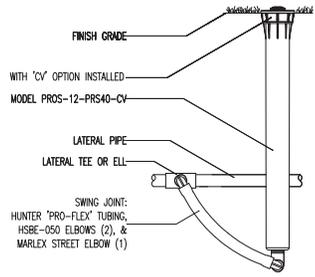
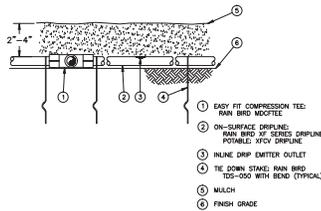
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IRRIGATION LEGEND

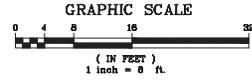
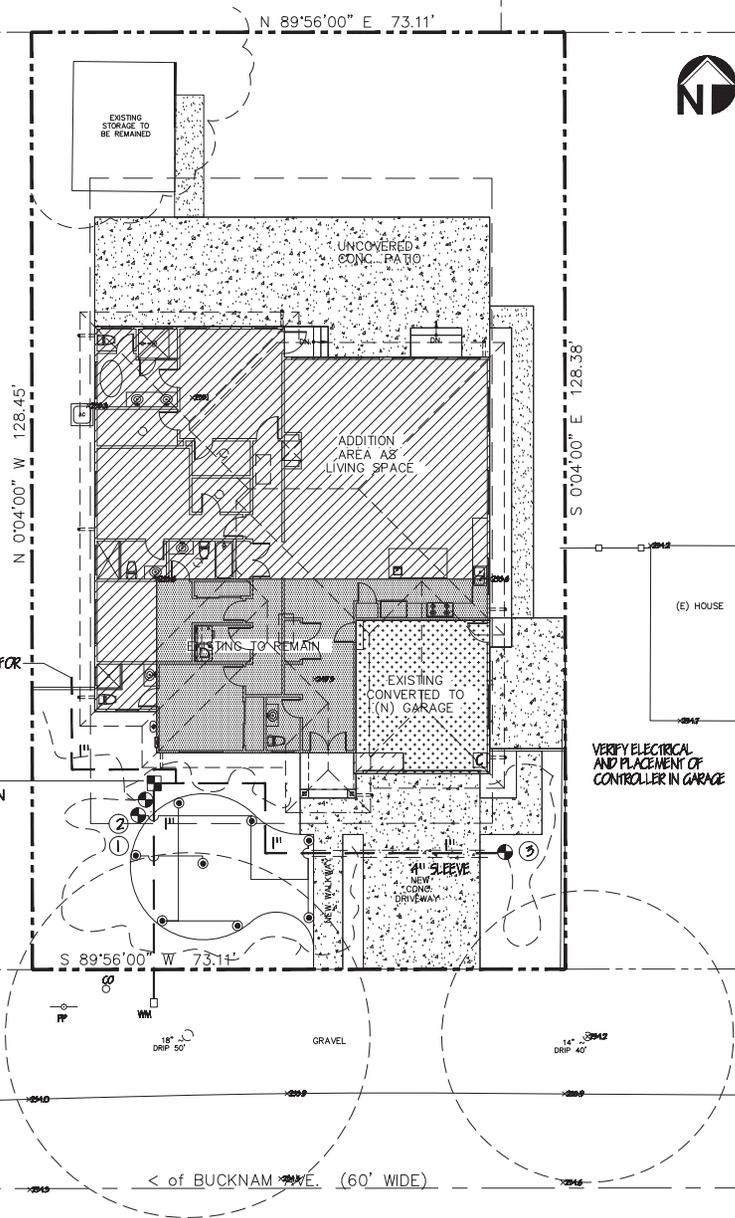
-  Hunter I-Care Weatherbased controller with Solar Sync and rain sensor - verify placement in open area Controller shall have battery backup for programming
-  Fabco #765 - 1" pressure vacuum breaker provides lockable cover - verify location point of connection and install per manufacturers specifications
-  1" schedule 40 pvc mainline - min. depth 18"
-  Raintech PEP series control valves with 1/2" pressure reducer set to 35 psi and Y filter for drip circuits - install below grade to valve box, maintain two valves per box
-  Schedule 40 pvc lateral lines - min. depth 12" - all lines 3/4" unless otherwise noted
-  Hunter MP rotator for near lawn - verify coverage and nozzle, provide check valve
-  Rotator, or equal, 1 gph pressure compensating emitters (2 per one emitter plus, 5 per line emitter, 1 per 15' section and 24" box sets on 3/4" drip line - set drip line on ground surface and cover with final mulch
-  Control valve number

- 1) Verify water source and placement of backflow preventer
- 2) Verify site water pressure at 65 psi - notify architect prior to construction if found to be different.
- 3) Verify controller in open area and control wire runs.
- 4) Verify operation of system before backfilling trenches. Drip line to be secured to grade with stakes and covered with final mulch.
- 5) System layout is diagrammatic, actual field conditions will dictate final layout, addition of drip line, etc.
- 6) Verify control wire placement and operation of valves.
- 7) Contractor shall be responsible for setting and monitoring irrigation system to apply adequate water for establishment, but to eliminate runoff and soil saturation.
- 8) Contractor to submit maintenance and irrigation schedule to owner at completion of installation and maintenance/warranty period.
- 9) Contractor shall verify location of all underground utilities prior to any trenching or excavation.
- 10) Contractor shall provide all necessary safety procedures throughout construction. This shall include stoppage and barriers.
- 11) I have complied with the criteria of the local WELD and applied them for the efficient use of water in the design of the irrigation system.
- 12) The front entry walk shall be stepped towards the lawn area to eliminate water run off and waste.
- 13) Pressure regulators shall be used as needed to ensure a consistent dynamic pressure range throughout the system.
- 14) Locate a manual shut off valve between the backflow valve and water meter.
- 15) All irrigation equipment and emitters devices shall meet the requirements set in the ANSI standard ASPE/ICC 902-2004.
- 16) At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

- NOTES:
1. PLACE THE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE THE DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.



PROS-12-PRS40-CV
MP ROTATOR SPRINKLER
Irrigation Detail



IRRIGATION PLAN
1/8" = 1'-0"



ADDITION AND
REMODEL
for:
1107 BUCKNAM AVENUE
CAMPBELL, CA. 95008



date: 1/28/19
scale: NOTED
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of 418