



CITY OF CAMPBELL
Community Development Department

December 3, 2018

NOTICE OF ADMIN SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

Project Address: 1682 Fawn

Zoning/Area Plan: R-1-6 (STANP)

File No.: PLN2018-326

APN: 403-13-047

Applicant: Igor Reznikov

Property Owner: Igor Reznikov

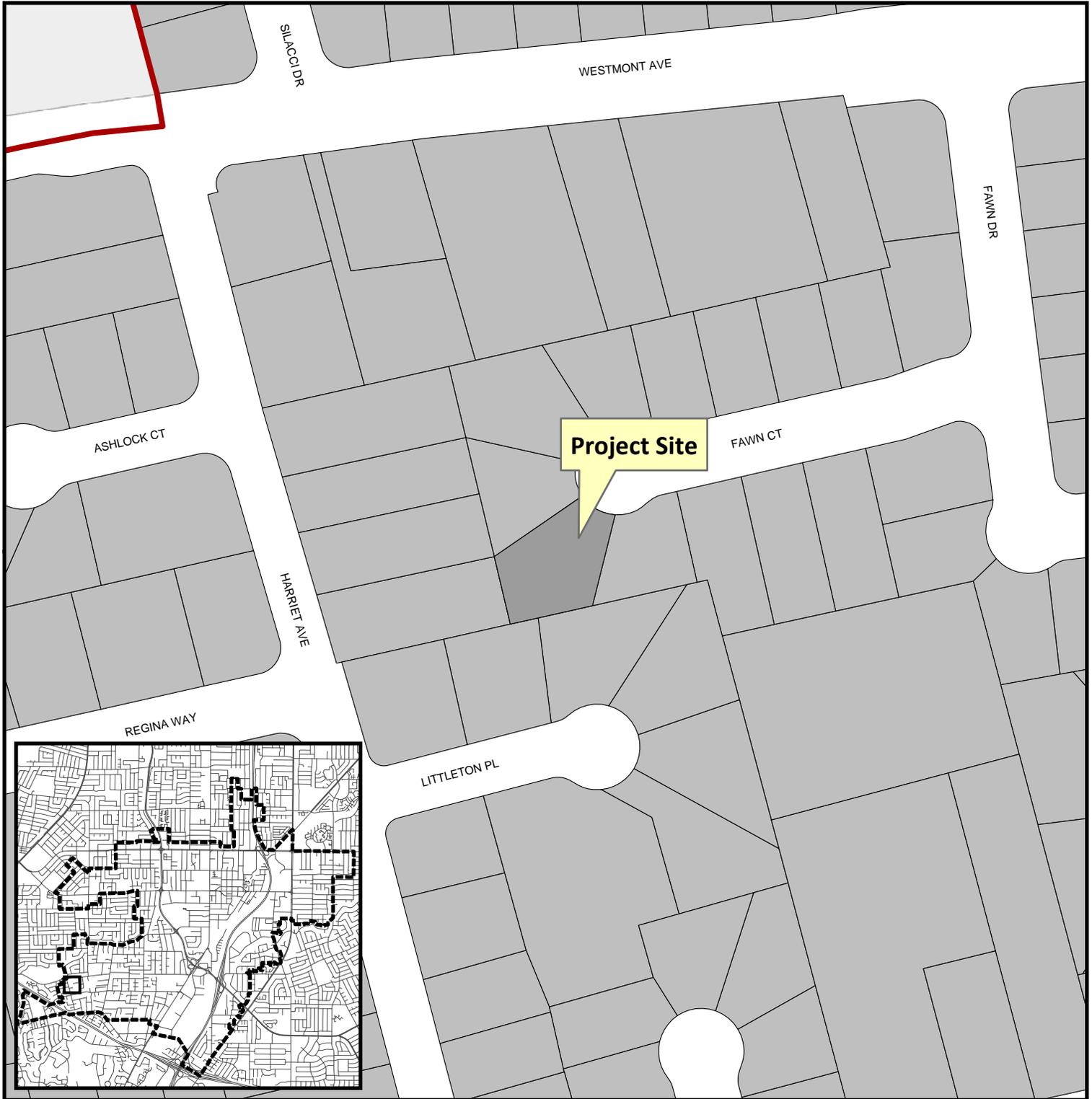
Application Type: Admin Site and Arch Review

Project Description: 985 square foot single-story addition to rear of existing home

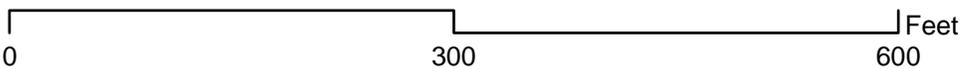
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on December 4, 2018 and ends on December 13, 2018. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 13, 2018**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindym@cityofcampbell.com.

Project Location Map



Project Location: 1682 Fawn
Application Type: Admin Site and Arch Review
Planning File No.: PLN2018-326



Community Development Department
Planning Division



VICINITY MAP

NOTES:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2 % MIN.)
2. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/10 FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
3. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION.
4. REFER TO CIVIL ENGINEER'S PLANS FOR OVERALL SITE GRADING AND DRAINAGE.
5. SOD LAWN SHALL BE DWARF FESCUE BLEND.
6. PROVIDE 3" OF MEDIUM BARK THROUGHOUT SITE
7. PROVIDE WATER - EFFICIENT LANDSCAPE
8. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 1800.221.2000

NO TREES WILL BE REMOVED OR AFFECTED BY THIS PROJECT

FRONT YARD LANDSCAPE ANALYSIS PER "MWEL0" :

FRONT YARD AREA: 1,300 SQ. FT.

FRONT YARD LANDSCAPE AREA: 1256 SQ. FT. = 56%

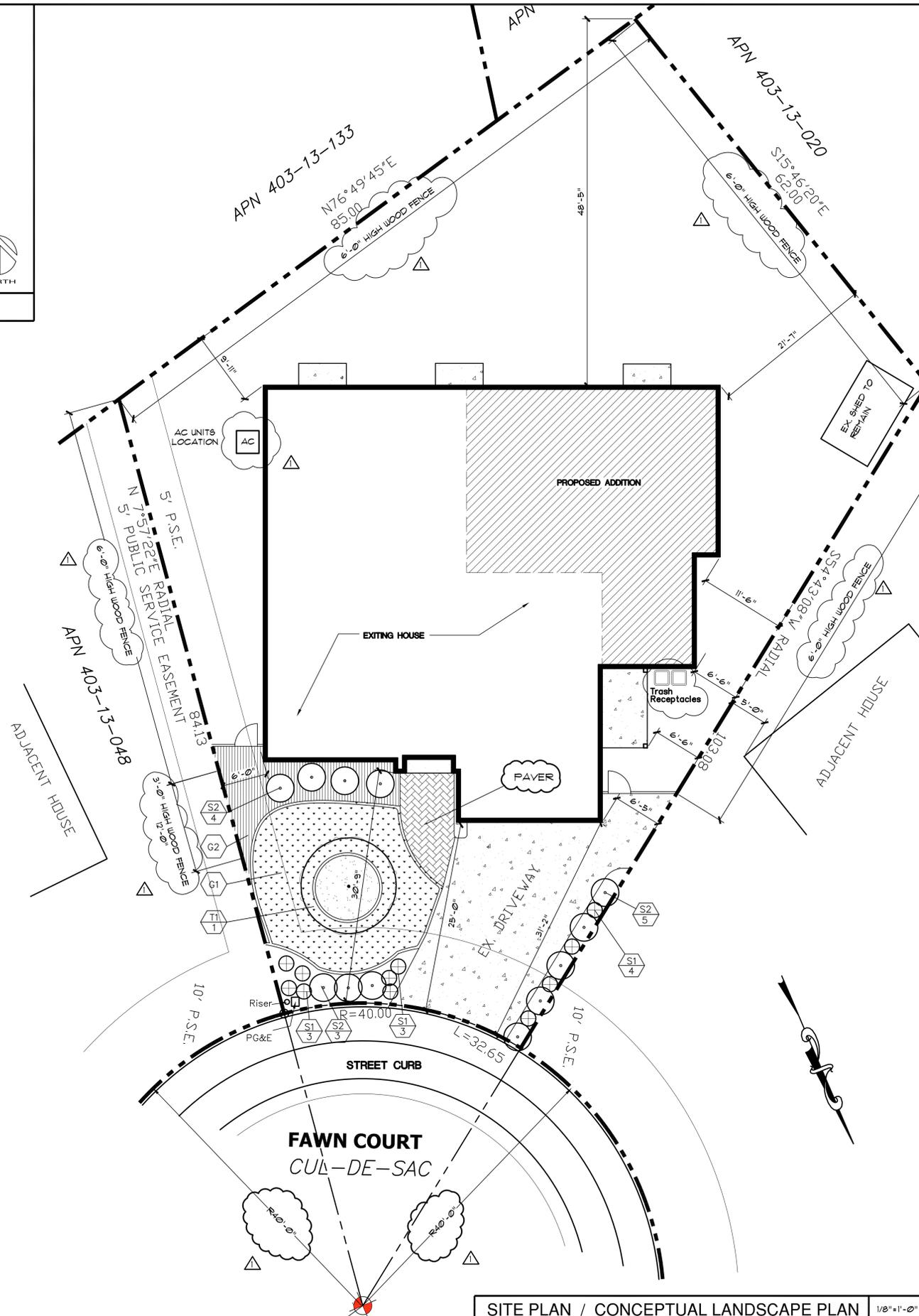
FRONT YARD TURF AREA: 350 SQ. FT. < 25%

FRONT YARD PLANT MATERIAL: 3255 SQ. FT.

FRONT YARD HARDSCAPE AREA: 575 SQ. FT. = 44%

PLANT LEGEND

SYM.	SIZE	BOTANICAL NAME	COMMON NAME
SHRUBS			
S1	5 GA.	AGAPANTHUS 'TINKERBELL'	LILY-OF-THE-NILE
S2	3 GA.	ESCALLONIA FRADESII	ESCALLONIA
GROUND COVERS			
G1		TURF	
G2		WOOD BARKS	
TREES			
T1	15 GA.	FRUNUS CERASIFERA	FLOWERING PUM MULTI-TRUNK



REZNIKOV RESIDENCE

1682 FAWN CT.

CAMPBELL, CA 95008

OWNER:
REZNIKOV FAMILY
1682 FAWN CT.
CAMPBELL, CA 95008

PROJECT SCOPE:

PROPOSED ADDITION TO THE EXISTING ONE STORY HOUSE
HOUSE DESIGN AND STYLE TO COMPLY WITH CAMPBELL DESIGN GUIDELINE AND COMPATIBLE WITH THE NEIGHBORHOOD.
NO TREES ARE PROPOSED FOR REMOVAL

APN 403-13-047
NET LOT SIZE: 8,449 SQ. FT.
GROSS LOT SIZE: 9,100 SQ. FT.
ZONING: R1-6

FIRE CODE IMPROVEMENTS:
FIRE SPRINKLERS REQUIRED

SQUARE FOOTAGE SUMMARY	
	SQ. FT.
EXISTING HOUSE	1,520 SQ. FT.
PROPOSED ADDITION	985 SQ. FT.
PROPOSED TOTAL NEW HOUSE	2,505 SQ. FT.
EXISTING GARAGE TO REMAIN	380 SQ. FT.

SETBACKS / WALL HEIGHT

	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF HOUSE	13'-0"	25'-0"	30'-9"
FRONT OF GARAGE	12'-0"	25'-0"	25'-0"
LEFT SIDE	9'-0"	5'-0"	6'-0"
RIGHT SIDE	9'-0"	5'-0"	6'-6"
REAR	9'-0"	20'-0"	+/- 48'-0"

DEVELOPMENT DATA

	SQUARE FEET		PERCENT OF SITE		
	EXISTING	PROPOSED	EXISTING	PROPOSED	ALLOWED
LOT COVERAGE	1,900 SQ. FT.	2,885 SQ. FT.	23 %	34 %	40 %
FLOOR AREA RATIO	1,900 SQ. FT.	2,885 SQ. FT.	23 %	34 %	45 %
LANDSCAPE COVERAGE	5,699 SQ. FT.	4,664 SQ. FT.	67 %	55 %	
PAVING COVERAGE	850 SQ. FT.	900 SQ. FT.	10 %	11 %	

PROJECT SUMMARY

- A1 SITE PLAN, LANDSCAPE PLAN, PROJECT DATA
- TOPOGRAPHIC BOUNDARY SURVEY
- A2 PROPOSED FLOOR PLAN
- A3 EXTERIOR ELEVATIONS
- A4 EXTERIOR ELEVATIONS
- A5 EXISTING FLOOR PLAN & ELEVATION / WALLS ANALYSIS
- A6 ROOF PLAN ANALYSIS

- A7 FLOOR AREA CALCULATIONS
- LOT AREA CALCULATIONS

SHEETS INDEX

SITE PLAN / CONCEPTUAL LANDSCAPE PLAN 1/8"=1'-0"

REVISIONS	BY
PLANNING 11-21-2018	

CB

BASSAL
Architecture
916.435.0605
4912 BRADFORD PL.
ROCKLIN, CA 95765

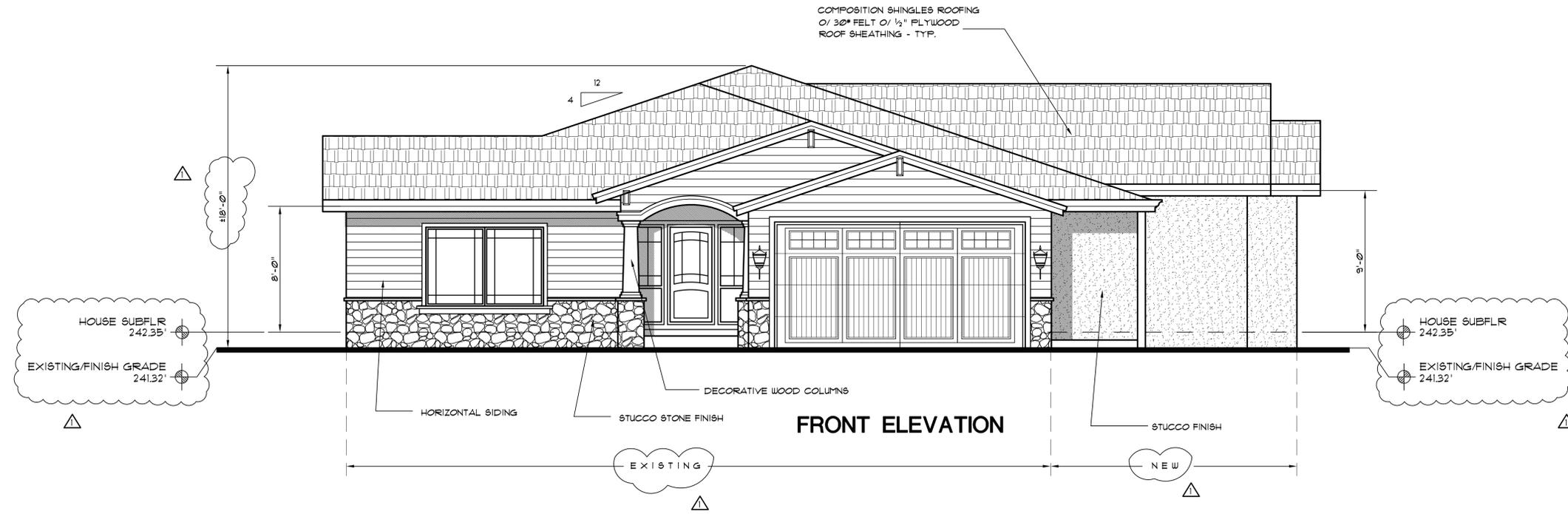
SITE PLAN - PROJECT DATA

ADDITION AT:
REZNIKOV RESIDENCE
1682 FAWN CT.
CAMPBELL, CA 95008

DATE:	09-20-2018
SCALE:	NOTED
DRAWN:	CB
JOB NO:	-

SHEET NO.
A1
OF SHEETS

ALL EXISTING AND NEW UTILITIES SHALL BE PLACED UNDERGROUND WITHOUT EXCEPTION



FRONT ELEVATION

EXTERIOR FINISHES:

ROOFING - "QUEENS CORNING"
 COLOR: ESTATE GRAY

BUILDING COLORS BY: SHERWIN WILLIAM

① MAIN COLOR: Latte SW6108
 ② TRIM COLOR: Divine White SW6105

STONE BY: "CULTURED STONE"
 DESERT BLEND COBBLEFIELD (CSV-2066)



REAR ELEVATION

REVISIONS	BY
PLANNING 11-21-2018	△



BASSAL
Architecture
 916.435.0605
 408.674.2077

EXTERIOR ELEVATIONS

**ADDITION AT:
 REZNIKOV RESIDENCE
 1682 FAWN CT.
 CAMPBELL, CA 95008**

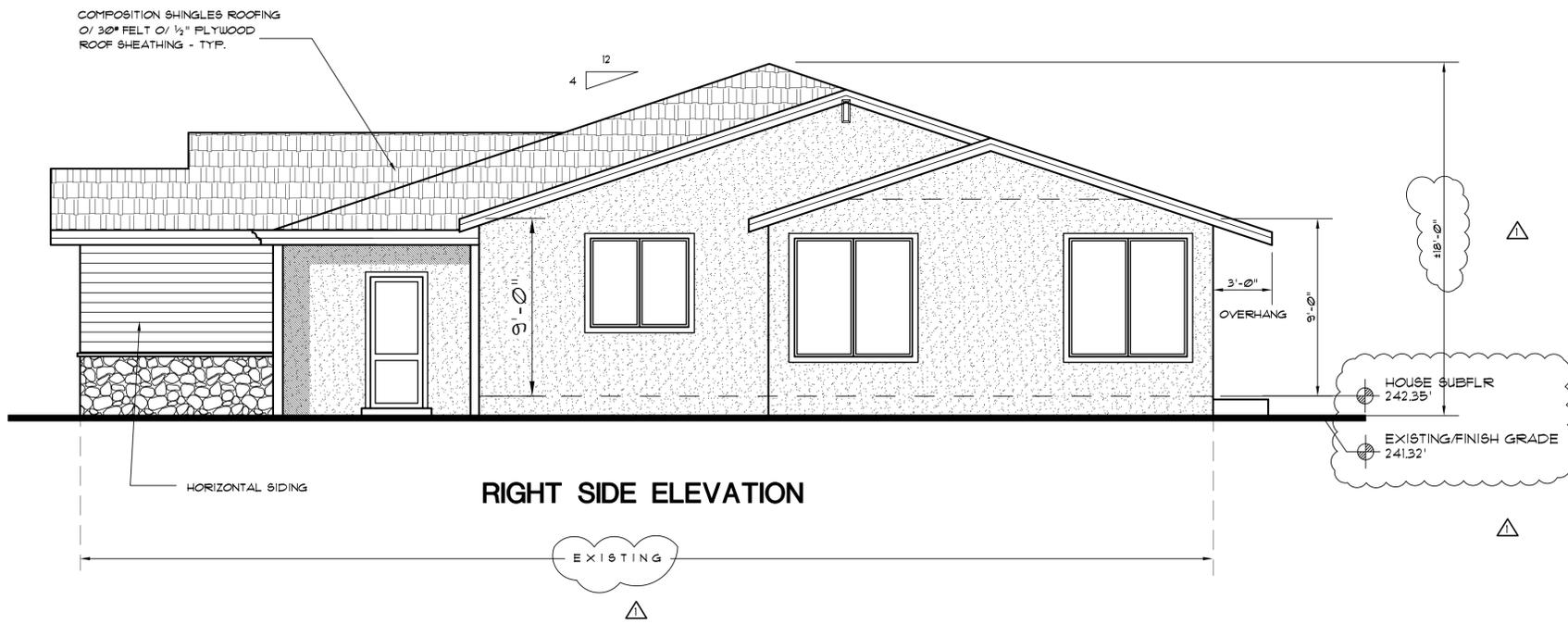
DATE:
 03-20-2018

SCALE:
 NOTED

DRAWN:
 CB

SHEET NO.
A3

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EXTERIOR FINISHES:

ROOFING : "OWENS CORNING"
COLOR: ESTATE GRAY

BUILDING COLORS BY: SHERWIN WILLIAM

① MAIN COLOR: Latte SW6108
② TRIM COLOR: Divine White SW6105

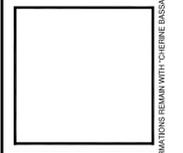
STONE BY "CULTURED STONE"
DESERT BLEND COBBLEFIELD (CSV-2066)



REVISIONS	BY
PLANNING 11-21-2018	△

CB

BASSAL
Architecture
916.435.0605
408.674.2077



EXTERIOR ELEVATIONS

ADDITION AT:
REZNIKOV RESIDENCE
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CAMPBELL, CA 95008

DATE:
03-20-2018

SCALE:
NOTED

DRAWN
CB

SHEET NO.
A4

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