



CITY OF CAMPBELL
Community Development Department

October 12, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 23, 2018**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Canyon Heights Academy for a Conditional Use Permit Modification with Site and Architectural Review and a Parking Modification Permit (PLN2017-45) and Tree Removal Permit (PLN2018-328) to allow construction and use of an approximately 8,400 square-foot gymnasium building and associated site and parking improvements for an existing private school on Campbell Union School District property (former Hazelwood campus), located at **775 Waldo Road**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **775 Waldo Road**

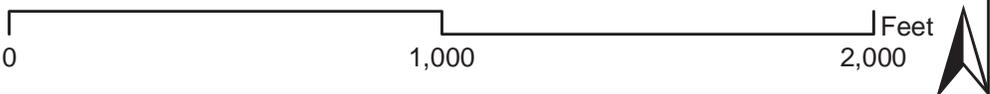
Project Location Map



Project Location: 775 Waldo Rd.
Application Type: Conditional Use Permit with Site and Architectural Review
Planning File No.: PLN2017-45



Community Development Department
Planning Division



CANYON HEIGHTS ACADEMY GYMNASIUM

775 WALDO ROAD CAMPBELL, CA 95008

PROJECT INFORMATION

PROJECT DIRECTORY

OWNER
CAMPBELL UNION SCHOOL DISTRICT
155 N. THIRD STREET
CAMPBELL, CA 95008
JAMES CRAWFORD
(408) 344-4200

ARCHITECT
BRAD COX ARCHITECT, INC.
1155 MEREDIAN AVE., SUITE 208
SAN JOSE, CA 95128
(408) 938-3987

CIVIL ENGINEER
MH ENGINEERING, CO.
1805 VINEYARD BLVD.
MORRIS HILL, CA 95077
KRISTINA WALLACE
(408) 779-1781

LANDSCAPE ARCHITECT
DRESDEN LEWIS LANDSCAPE ARCHITECT
736 PARKWAY
SANTA CRUZ, CA 95065
(831) 426-4747



Brad Cox Architect, Inc.
LEED AP - AIA
(408) 838-3667
MEMBER AIA AND USGBC
SAN JOSE, CA 95001

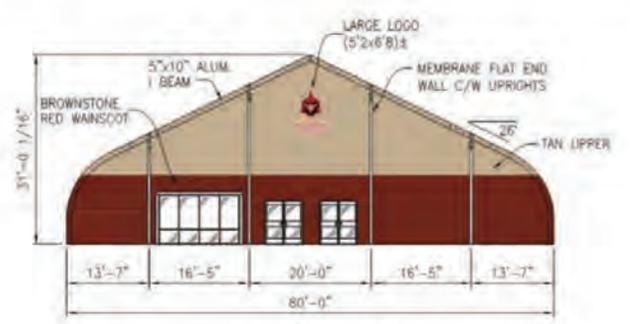


CANYON HEIGHTS ACADEMY GYMNASIUM
GYMNASIUM
775 WALDO ROAD CAMPBELL, CA 95008

ABBREVIATIONS

GENERAL NOTES

A.B.	ANCHOR BOLT	DA.	GALVE	RE.	REMOVE
A.C.	ASPHALT CONCRETE	DALV.	GALVANIZED	RAD.	RADIUS
ACOUS.	ACOUSTICAL	DB.	DRIB BAR	R.D.	ROOF DRAIN
A.D.	AREA DRAIN	DL.	GLASS	R.E.	RIM ELEVATION
ADJ.	ADJUSTABLE	DRD.	GRACE	REV.	REVISION
ALUM.	ALUMINUM	DS.	GALVANIZED STEEL	RFL.	RISER
AN.	ANGLE	GF.	GYP SUM	RF.	REFLECTING
AT.	AT	GW.	GALVANIZED	RM.	ROOM
A.P.	ACCESS PANEL	SHEET	METAL	REQ.	REQUIRED
ARCH.	ARCHITECT	HB.	HOSE BIBB	R.H.	RIGHT HAND
BRD.	BOARD	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
BRT.	BETWEEN	HDR.	HEADER	RWD.	REDWOOD
BLDA.	BUILDING	PCW.	POURWAYS	SW.	SWAN
BLVD.	BLOCKING	HCW.	HORIZONTAL	W.	WATER
B.M.	BENCH MARK	HR.	HOUR	W.	WATER
B.TM.	BOTHWAYS	H.M.	HAND	W.	WATER
B.S.	BOTHWAYS	H.M.	HAND	W.	WATER
B.M.T.	BASEMENT	H.M.	HAND	W.	WATER
B.W.	BOTHWAYS	H.M.	HAND	W.	WATER
CAB.	CABINET	I.D.	INSIDE DIAMETER	SHT.	SHEET
C.B.	CHALK BOARD	INCL.	INSULATION	SM.	SMALL
CER.	CERAMIC	INT.	INTERIOR	SM.	SHEET METAL
CFL.	COUNTER FLASHING	INV.	INVERT	SPEC.	SPECIFICATION
CB.	CATCH BASIN	JAN.	JANITOR	SS.	STAINLESS STEEL
CL.	COUNTER SLOTT	J.H.	JOIST HANGER	SE.	SERVICE BAY
C.D.	CORNER GLAZ.	K.C.	KILN DRIED	STRUC.	STRUCTURAL
CH.	CHANNEL	L.C.	LOUVER	STOR.	STORAGE
CHT.	CEILING HEIGHT	LVR.	LOUVER	STL.	STEEL
CONET.	CONSTRUCTION	LAM.	LAMINATED	SUS.	SUSPENDED
CLD.	CEILING	LAV.	LAVATORY	TRO.	TREAD
C.I.	CASTIRON	L.D.	LOUVER DIMENSION	T.B.	TACKBOARD
C.J.	CONSTRUCTION	L.D.	LOUVER DIMENSION	T.C.	TOP OF CURB
CLR.	CLEAR	LAM.	LAMINATED PLASTIC	TEL.	TELEPHONE
COL.	COLLUM	PLAT.	PLATE	TRD.	TROUSER & GROOVE
COM.	COMMON	M.	MEN	T.J.	TOP OF JOIST
CONC.	CONCRETE	M.	MEN	TRP.	TRIPLE
CONT.	CONTINUOUS	MAS.	MASONRY	TYP.	TYPICAL
COB.	CORRODATED	MAX.	MAXIMUM	TEMP.	TEMPERED
CTBKL.	COUNTERSINK	MAT.	MATERIAL	U.O.S.	UNLESS OTHERWISE
CA.H.R.	CLEAR ALL	M.B.	MATERIAL	UNO.	UNLESS NOTED
C.T.	CERAMIC TILE	M.C.	MACHINERY	OTHER.	OTHERWISE
D.	DRAIN	M.F.R.	MANUFACTURER	V.C.T.	VEHICLE COMPOSITION
DBL.	DOUBLE	MIN.	MINIMUM	V.B.	VOID BASE
DET.	DETAIL	MIC.	MISCELLANEOUS	V.F.	VERTICAL FIN FIELD
DF.	DOUBLE FIN	M.L.	MULLION	V.G.	VERTICAL GRAB
D.F.	DRAINING FOUNTAIN	M.S.	MACHINE SCREW	VERT.	VERTICAL
DM.	DIAOMETRAL	M.T.	METAL THRESHOLD	V.P.	VITRIFIED CLAY
DR.	DOOR	N.	NORTH	V.P.	VITRIFIED CLAY
D.S.	DOWNPOUT	N.C.	NOT IN CONTRACT	V.P.	VITRIFIED CLAY
DWG.	DRAWING	N.O.	NUMBER	V.P.	VITRIFIED CLAY
EA.	EACH	NOM.	NOMINAL	V.R.	VENT TO ROOF
EB.	EXPANSION BOLT	N.T.S.	NOT TO SCALE	V.T.W.	VENT TO WALL
EJ.	EXPANSION JOINT	OBSC.	OBSCURE	W.	WITH
EL.	ELEVATION	O.C.	ON CENTER	WC.	WATER CLOSET
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER	W.C.	WINDOW DIMENSION
ELEV.	ELEVATION	O.P.	OVERFLOW	WD.	WOOD
EMER.	EMERGENCY	O.S.B.	OUTSIDE FACE OF	WF.	WATERPROOF
EQUIP.	EQUIPMENT	OP.	OPPOSITE	W.P.	WOOD SCREW
EX.	EXISTING	OPP.	OPPOSITE	W.S.	WAINSCOT
EXH.	EXHAUST	PART.	PARTITION	WCT.	WELDED WIRE
EVP.	EXPOSED	P.B.	PANG BOLT	W.F.	WELDED
EXT.	EXTERIOR	P.L.	PLATE LINE		
EQ.	EQUAL	PL.	PLASTER		
F.A.	FACE ALUM.	PL.	PLATE		
F.B.	FACE BRICK	PL.	PLATE		
F.D.	FLOOR DRAIN	PLW.	PLYWOOD		
F.E.	FACE EXHAUSTER	PT.	PRESSURE TREATED		
FIN.	FRESH	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR		
FLK.	FLOOR	Q.T.	QUARRY TILE		
FLR.	FLOORING				
FND.	FOUNDATION				
F.O.C.	FACE OF CONCRETE				
F.O.S.	FACE OF STUD				
F.P.	FIRE PLACE				
FTG.	FOOTING				
FG.	FIREGLASS				



FRONT ELEVATION RENDERING
NOT TO SCALE

Project Size:

a. Total Site Area:	0.91 acres	b. Total Site Area Disturbed:	0.90 acres																																												
<table border="1"> <thead> <tr> <th>Impervious Area</th> <th>Existing Area (ft²)</th> <th>Proposed Area (ft²)</th> <th>Total Post-Project Area (ft²)</th> </tr> </thead> <tbody> <tr> <td>Roof</td> <td>164,262 SF</td> <td>3,862 SF</td> <td>4,518 SF</td> </tr> <tr> <td>Parking</td> <td>57,774 SF</td> <td>2,362 SF</td> <td>4,647 SF</td> </tr> <tr> <td>Subsidiary and Storm</td> <td></td> <td>1,296 SF</td> <td>998 SF</td> </tr> <tr> <td>c. Total Impervious Area</td> <td>222,037 SF</td> <td>7,530 SF</td> <td>10,156 SF</td> </tr> <tr> <td>d. Total new and replaced impervious area</td> <td></td> <td></td> <td>17,665 SF</td> </tr> <tr> <td>Permeable Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Landscaping</td> <td>209,530 SF</td> <td>0 SF</td> <td>-10,156 SF</td> </tr> <tr> <td>Permeable Paving</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Other (e.g., Green Roofs)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>e. Total Permeable Area</td> <td>0 SF</td> <td>-10,156 SF</td> <td>199,374 SF</td> </tr> </tbody> </table>				Impervious Area	Existing Area (ft ²)	Proposed Area (ft ²)	Total Post-Project Area (ft ²)	Roof	164,262 SF	3,862 SF	4,518 SF	Parking	57,774 SF	2,362 SF	4,647 SF	Subsidiary and Storm		1,296 SF	998 SF	c. Total Impervious Area	222,037 SF	7,530 SF	10,156 SF	d. Total new and replaced impervious area			17,665 SF	Permeable Area				Landscaping	209,530 SF	0 SF	-10,156 SF	Permeable Paving				Other (e.g., Green Roofs)				e. Total Permeable Area	0 SF	-10,156 SF	199,374 SF
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f. Percent Replacement of Impervious Area in Redevelopment Projects (Replaced Total Impervious Area ÷ Existing Total Impervious Area × 100%) = 3.39%																																															

ADJACENT LAND USES:

North	RESIDENTIAL
South	RESIDENTIAL
East	RESIDENTIAL
West	RESIDENTIAL

PARKING:

# Standard Spaces	# Compact Spaces	# Disabled Spaces	# TOTAL PARKING
30		2	46

DEFERRED SUBMITTALS
1 FIRE SPRINKLERS DESIGN

PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE INSTALLATION OF A FIRE MANUFACTURED BY WANGEN IN BUILDING STRUCTURE. THE WORK ALSO INCLUDES RELOCATING A PORTION OF THE PARKING AND INSTALLING A NEW TRASH ENCLOSURE.

REGULATORY APPROVAL STAMP

SHEET INDEX

- ARCHITECTURAL
- A-0.0 COVER SHEET
 - A-0.1 FIRE DEPARTMENT ACCESS SITE PLAN
 - A-1.0 SITE PLAN DEMOLITION
 - A-1.1 SITE PLAN
 - A-1.2 PHOTOS
 - A-2.0 FLOOR PLANS & ELEVATIONS
 - A-3.1 DETAILS
- CIVIL
- C-1 EXISTING TOPOGRAPHY
 - C-2 GRADING PLAN
 - C-3 EROSION CONTROL PLAN
 - C-4 POST-CONSTRUCTION SWPC
- LANDSCAPE
- L-1 PLANTING PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	05.11.18	Parking Comments
2	07.24.18	Parking Comments

05.30.18

DATE

COVER SHEET

A-0.0

SHEET

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REVISIONS	
06.11.18	Planning Comments
07.24.18	Planning Comments

03.12.18
DATE

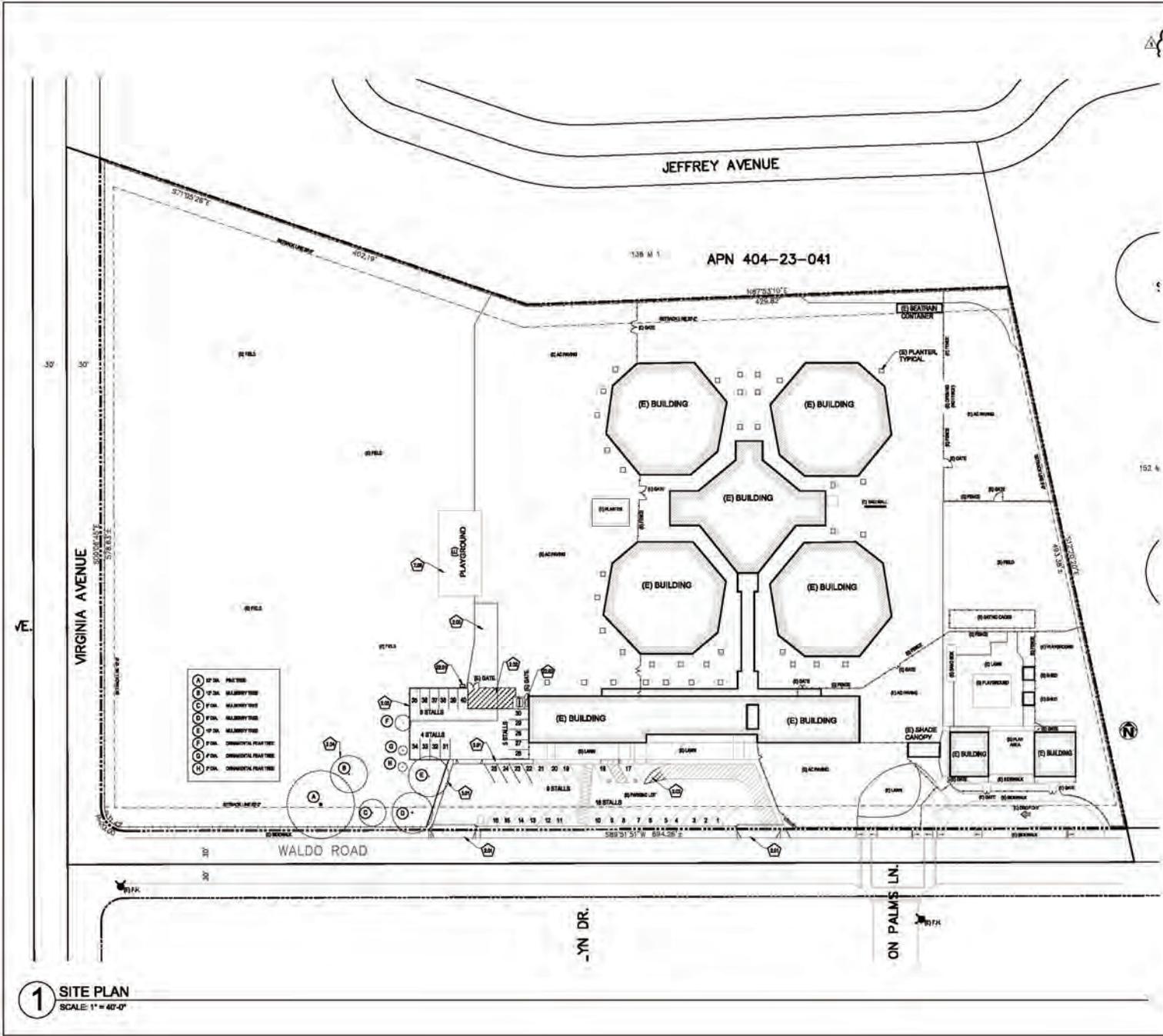
SITE PLAN
DEMOLITION

A-1.0
SHEET

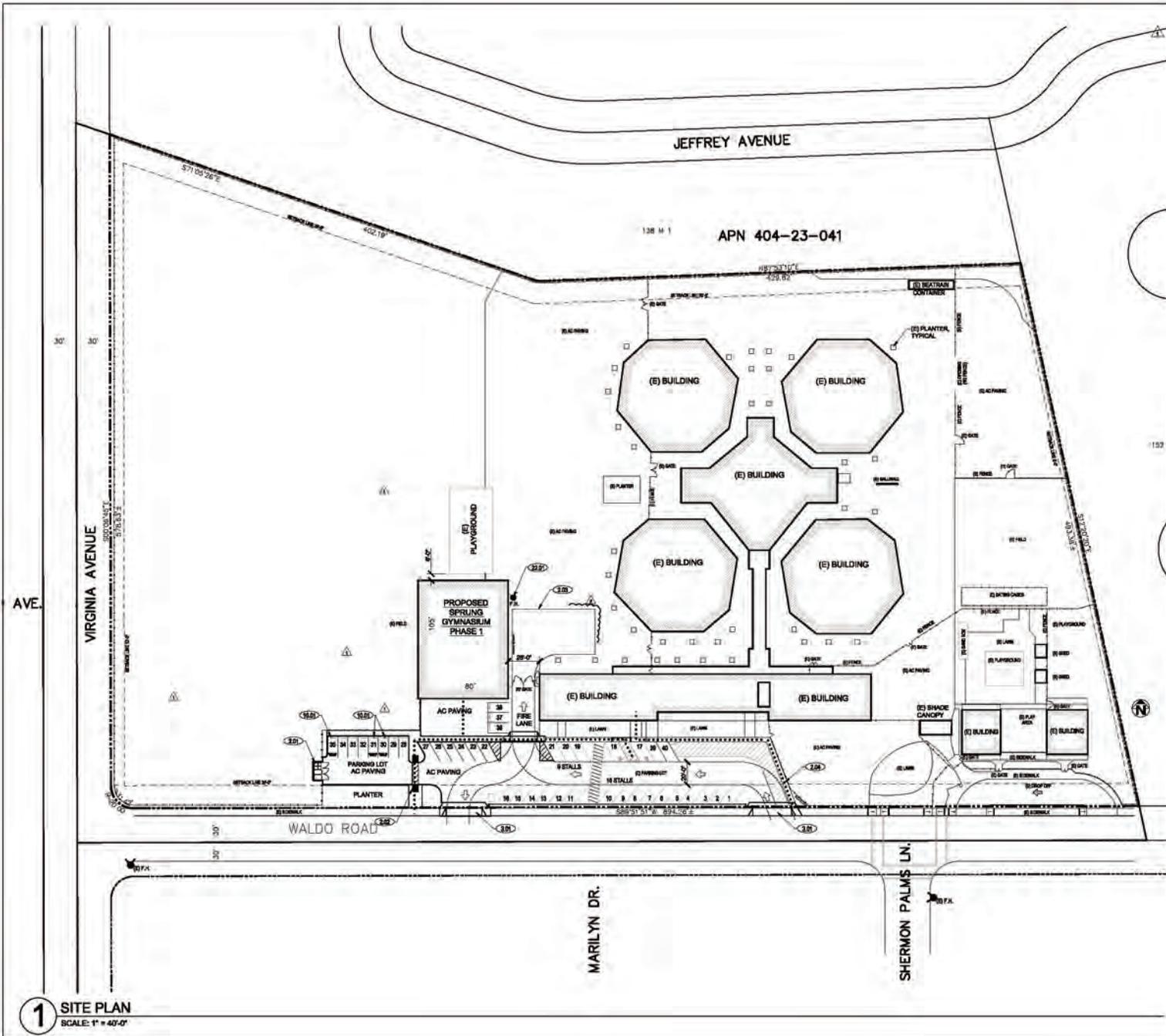
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SITE PLAN DEMOLITION KEYNOTES

- 2.01 (E) DRIVEWAY TO BE MODIFIED TO ACCOMMODATE AN ACCESSIBLE PATH.
- 2.02 (E) STRIPPING TO BE REMOVED.
- 2.03 (E) FENCING TO BE REMOVED.
- 3.04 (E) TREES TO BE REMOVED.
- 7.05 DEMOLISH (E) AC PAVING AS REQUIRED TO ACCOMMODATE NEW WORK.
- 2.08 (E) PLAY GROUND TO REMAIN.
- 3.01 (E) SIDEWALK TO BE DEMOLISHED.
- 22.01 (E) BACKFLOW PREVENTOR TO BE RELOCATED.
- 22.02 (E) OMI WALL.



1 SITE PLAN
SCALE 1" = 40'-0"



SITE PLAN KEY NOTES

- 2.01 TRASH ENCLOSURE
- 2.02 CURB FOR ACCESSIBLE PEDESTRIAN WALKWAY
- 2.03 FIRE TRUCK ACCESS LANE
- 2.04 ACCESSIBLE PATH OF TRAVEL
- 3.01 CONCRETE DRIVEWAY
- 10.01 CLEAN AIR VEHICLE PARKING SPOT
- 3.02 PLANTER TYPICAL

1 SITE PLAN
SCALE: 1" = 40'-0"

Brad Cox
Architect
Inc.
FORMAL

Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 638-3687
1148 WILSON AVENUE, SUITE 200
SAN JOSE, CALIFORNIA



CANYON HEIGHTS ACADEMY GYMNASIUM *B.C.*
775 WALDO RD. CAMPBELL, CA 95008

IF THIS DRAWING IS NOT AT THE SCALE OF 1" = 40'-0", THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE SCALE OF THE DRAWING. DO NOT SCALE DIMENSIONS. SEE SPECIFIC NOTES.

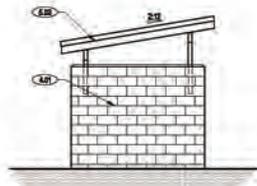
REVISIONS	
1	06.11.18 Planning Comments
2	07.24.18 Planning Comments

03.12.18
DATE

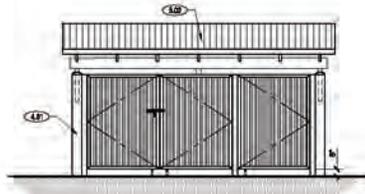
SITE PLAN

A-1.1
SHEET

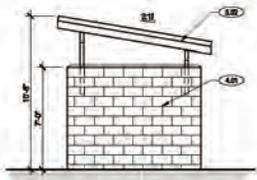
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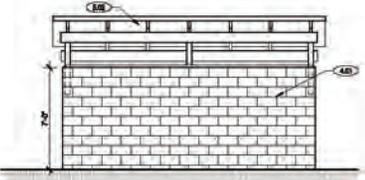
6 EXTERIOR ELEVATION - NORTH
SCALE 1/2" = 1'-0"



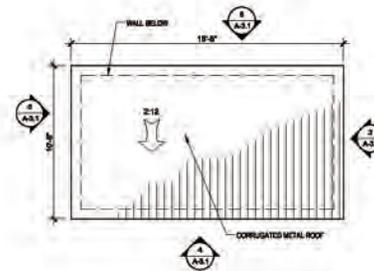
4 EXTERIOR ELEVATION - EAST
SCALE 1/2" = 1'-0"



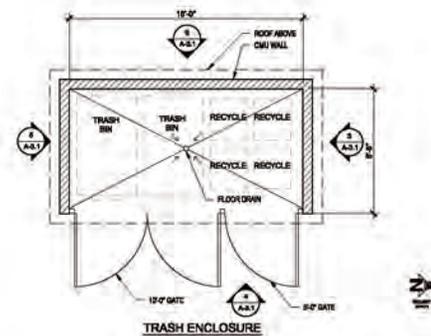
5 EXTERIOR ELEVATION - SOUTH
SCALE 1/2" = 1'-0"



3 EXTERIOR ELEVATION - WEST
SCALE 1/2" = 1'-0"



2 ROOF PLAN - TRASH ENCLOSURE
SCALE 1/2" = 1'-0"



1 FLOOR PLAN - - TRASH ENCLOSURE
SCALE 1/2" = 1'-0"

EXTERIOR ELEVATION KEY NOTES

- 4B 7'-0" HIGH CMU WALL FINISH
- 4C DATE
- 4C2 CORRUGATED METAL ROOF

Brad Cox
Architect
Inc.
FORMATION
Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 838-3887
1400 WILSON AVENUE, SUITE 100
SAN ANGELO, TEXAS

LICENSED ARCHITECT
BRADLEY J. COX
No. C-28763
REIN. 08-30-2019
STATE OF CALIFORNIA

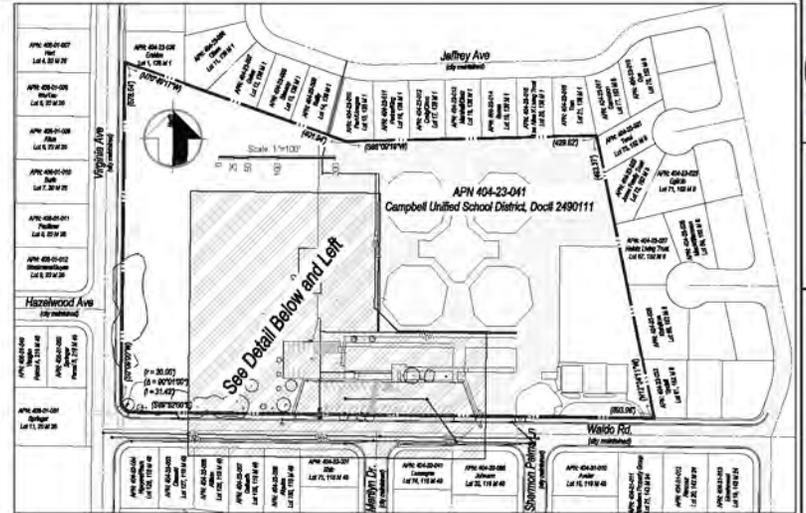
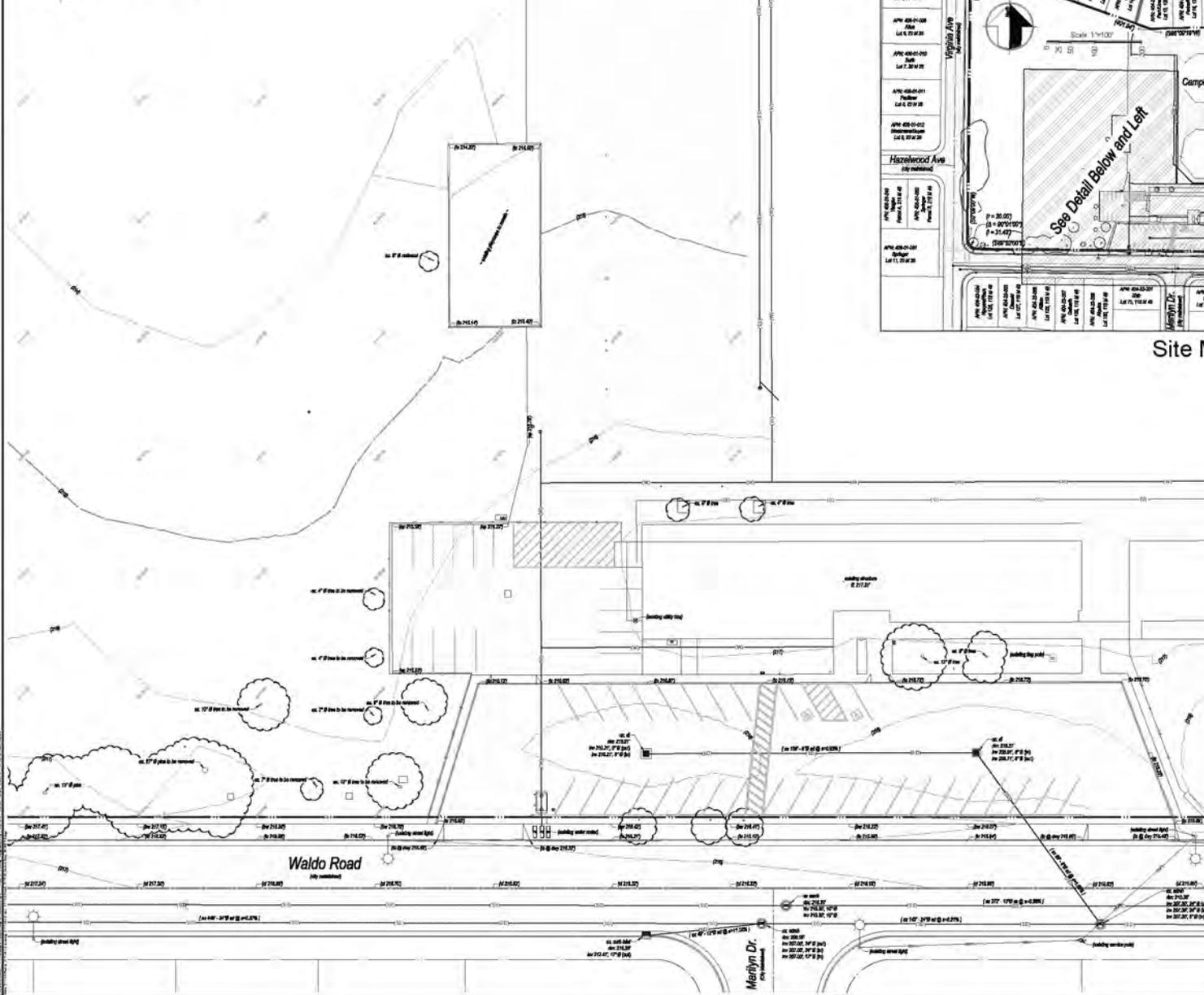
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REVISIONS	
1	06.11.18 Planning Comments
2	07.24.18 Planning Comments

03.12.18
DATE
DETAILS

A-3.1
SHEET
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Site Map

Engineer:
 John A. Williams, L37741, RCE 53894
 MH Engineering
 15075 Vinewood Blvd.
 Morgan Hill, CA 95037
 408-777-7381
 john@mhengineering.com

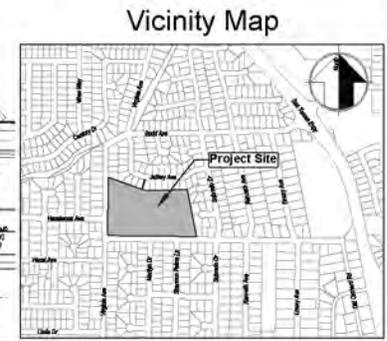
Project Information:
 APN 404-23-041 Education
 Present Use P-2 Public Facilities
 Proposed Use P-2 Public Facilities
 Proposed Zoning P-2 Public Facilities
 Proposed Siting San Jose Valley Sanitation District
 Gas and Electric PG&E
 Water San Jose Water Company
 Telephone Verizon
 Existing Improvements 4th Street
 Area 9.91 ac
 Topo Field Topo

Benchmark: Elevations shown on this plan are based on the top of curb of the curb line located at the western corner of Waldo Road and Marilyn Drive. Elevation=216.36 (NAVD 83)

Basis of Bearings: The bearings shown on this plan are based on the cartline of Waldo Road as found and monumented as North 89°52'00" East as shown on that certain map recorded as Trust No. 2697, recorded as Book 118 of Maps, at Page 46, Santa Clara County Records.

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date.

Flood Zone: The property lies wholly in Zone 3, areas determined to be outside the 1% annual chance floodplain per FEMA Flood Panel 0205022001, effective May 15, 2005.



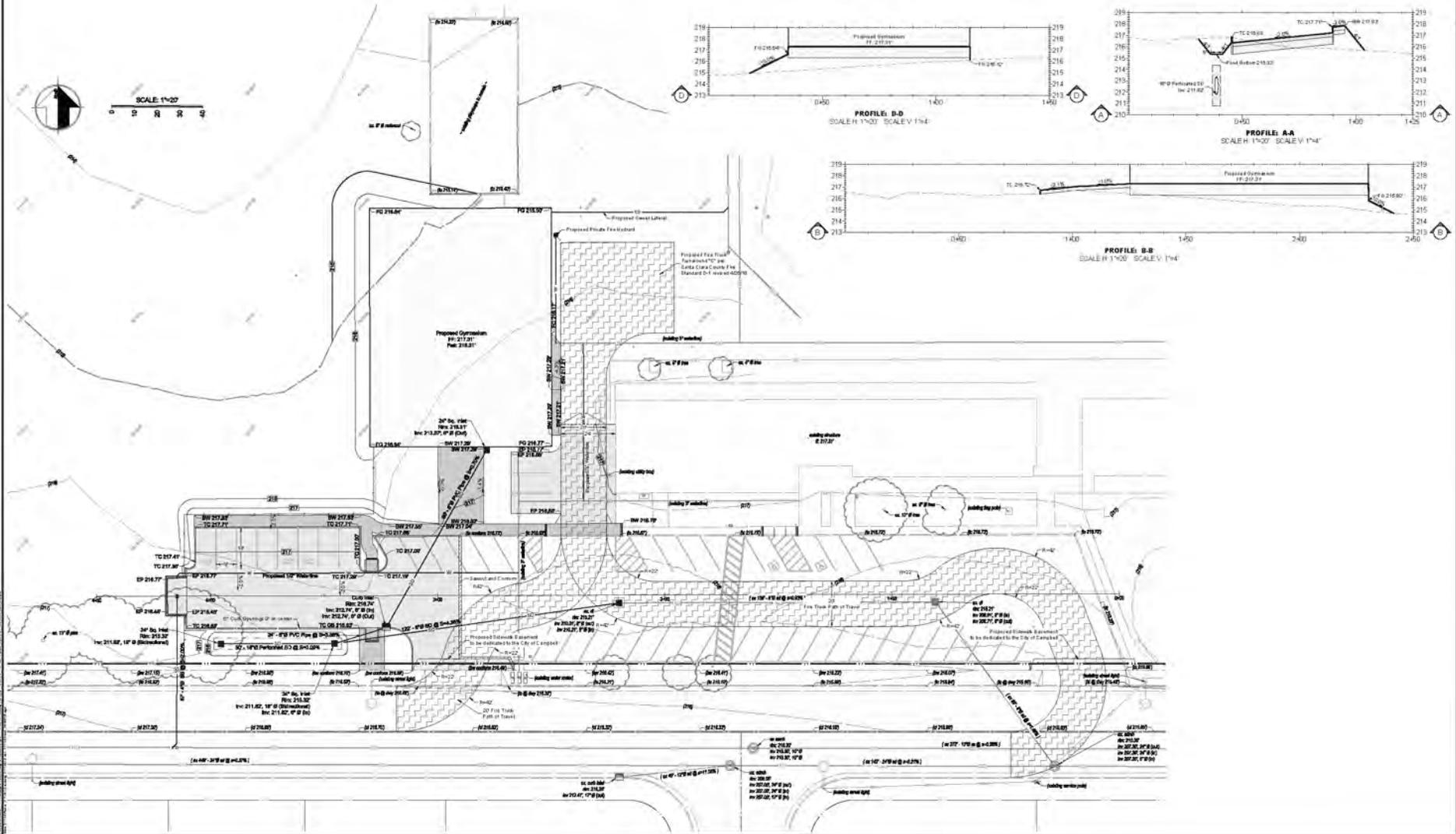
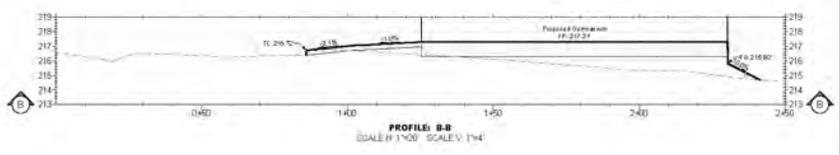
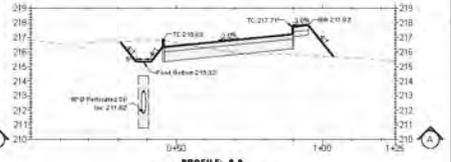
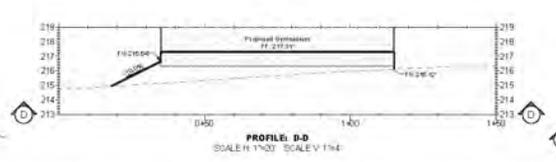
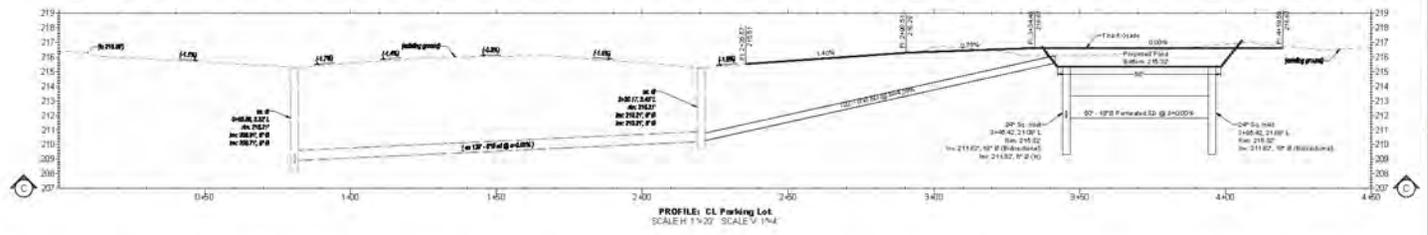
Vicinity Map



MH engineering Co.
 15075 Vinewood Blvd.
 Morgan Hill, CA 95037

Existing Topography
Canyon Heights Academy - Waldo Rd.

DATE: 7/2/14
 SCALE: As Shown
 DRAWN BY: JAW
 CHECKED BY: JAW
 PROJECT: 217140
 SHEET: C.1
 OF: 4



MH engineering Co.
REGISTERED PROFESSIONAL ENGINEER
No. 50894, State of California

Grading Plan
Canyon Heights Academy - Waldo Rd.

DATE	7/2/2018
SCALE	1"=20'
DRAWN BY	DK
CHECKED BY	AJA
217140	
C.2	
4	



Gregory Lewis
Landscape
Architect
#2176
736 Park Way
Santa Cruz, CA 95065
(831) 359-0980
www.gregorylewislandscape.com



Canyon Heights Academy Gymnasium

775 WALDO ROAD, CAMPBELL, CA

DATE: 5/11/18
DRAWN BY: GL
CHECKED BY: GL
PROJECT NUMBER:
DATE: 3/8/2016
DRAWN BY: GL
VERIFIED BY: GL
PLANTING PLAN
SHEET TITLE:

Planting Notes

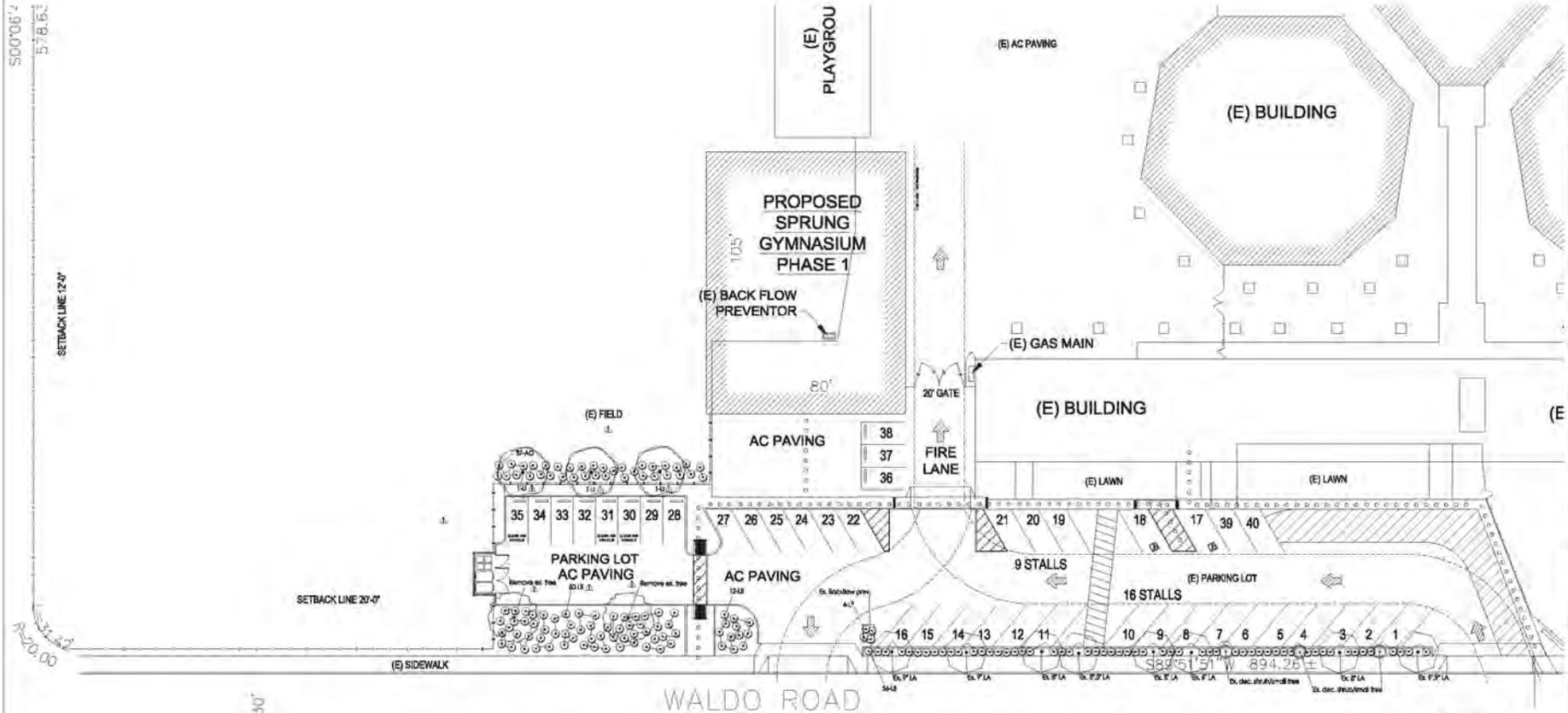
- Final landscape construction drawings to include planting and irrigation details and specs.
- See location of plants on site to be installed on site to best conditions with similar best location, light, drainage features, and water.
- Don't install plants in wetter of water.
- Don't install top areas that will face in the path of the direction that flows.
- See 2nd sheet main soil planting notes. Source trees with different radius canopy and plant including in attached PDC schedule and inventory sheet (shown under each from V&B's Facility).
- Install plants in all short areas shown on the plan when they are not shown. Call for application. For planting purposes, this one is available to planting guidelines, assume that any plant circle would be then if wide a 6 ft. dia and any circle would be a 24" dia dia.
- The plant is a tree. Don't use more than one to edge of paving or sidewalk. One value and one, copies only from trees.
- See specs concerning soil amendments and fertilize. The planting customer and the soil fertility test done, but if cubic yards of amended soil amendments and 14 pounds of 15-15-15 fertilizer spread into the top 6" of soil after applying to 17' deep, except on one waiting tree. In the retention areas on steep slopes.
- Issue a tree, one planting and doing installation along the installation of landscape plans. Contact the landscape architect to verify the.
- Installation concept: All proposed trees and trees will be approved with date and location with the application notes.

Plant Legend

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SUCCESSION
U	24" dia	Leguminosae Subsp. Natisia L. (Lycium)	Cocoa Nuts	LOW
LA			Shrub	MED
GROUND COVERS				
AO		Agave parviflora	Uy of the Hill	MED
LE		Limonium	Sea Thrift	LOW
LF		Linum catharticum	Flax	LOW

Landscape Areas

REHABILITATED LANDSCAPING = 4894 SF
EXISTING LANDSCAPING = 27,268 SF



PLANTING PLAN

1" = 20'-0"



L1