



CITY OF CAMPBELL
Community Development Department

September 28, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 9, 2018**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of MBA Architects for a Planned Development Permit to allow the construction of a new two-story commercial building on property located at **2220 S Winchester Boulevard**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

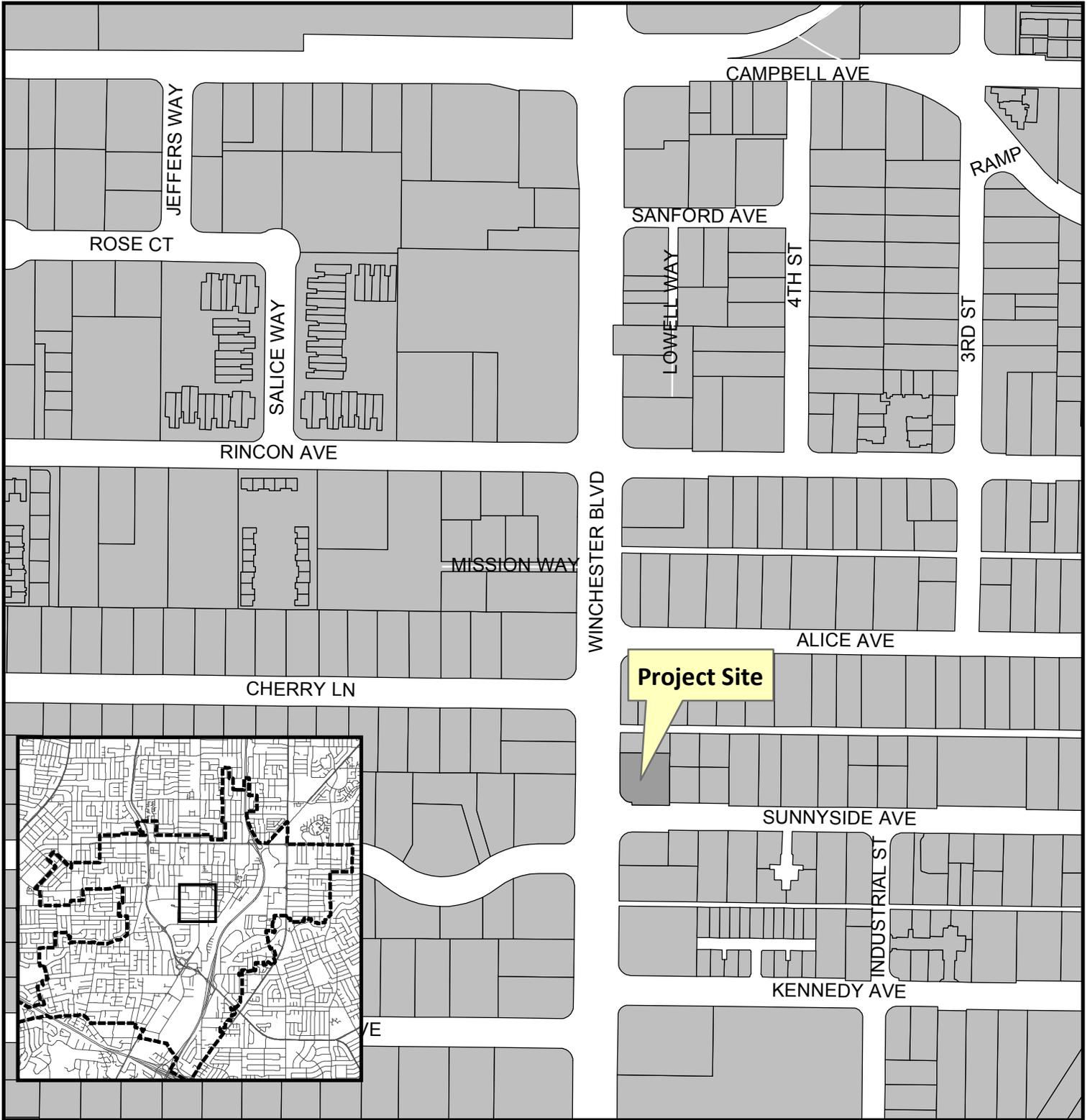
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

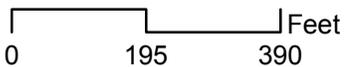
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **2220 S Winchester Boulevard**

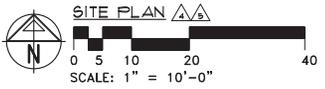
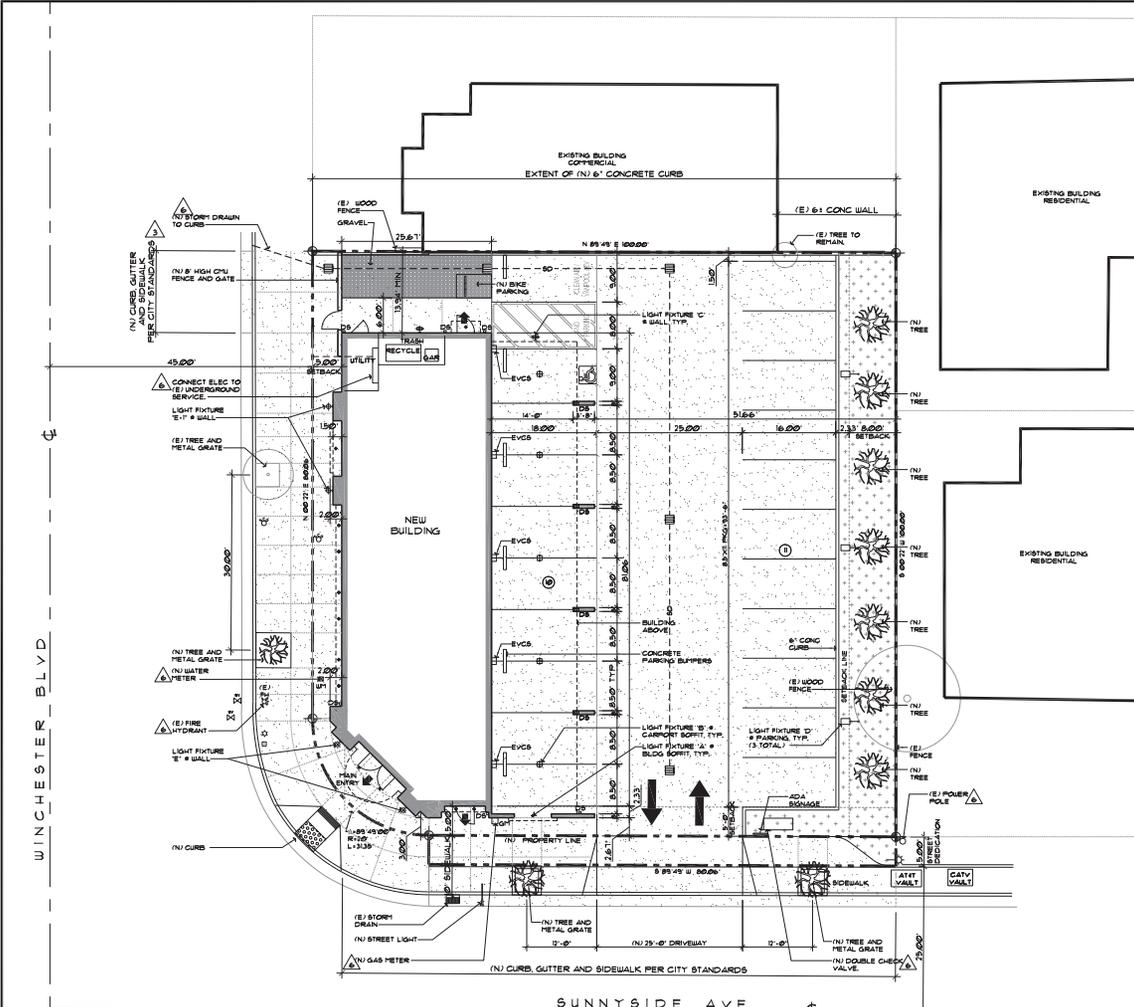
Project Location Map



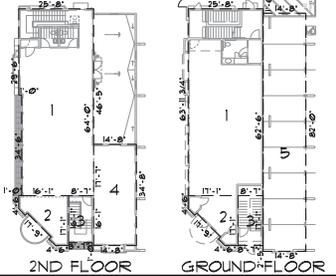
Project Location: 2220 S. Winchester Blvd.
Application Type: Planned Development Permit
Planning File No.: PLN2017-27
Description: New two-story office/retail building



Community Development Department
Planning Division



AREA CALCULATIONS:



- LIGHTING LEGEND:**
- ⊕ LIGHTING FIXTURE TYPE 'A'
 - ⊕ LIGHTING FIXTURE TYPE 'B'
 - ⊕ LIGHTING FIXTURE TYPE 'C'
 - ⊕ LIGHTING FIXTURE TYPE 'D'
 - ⊕ LIGHTING FIXTURE TYPE 'E', 'E-1'

- PARKING CALCULATIONS**
PER 2022 AND NUMBER OF PARKING SPACES REQUIRED, TABLE 3-1.1, PARKING REQUIREMENTS BY LAND USE
- RETAIL: (GROUND FLOOR)**
1 PER 200 SF, GROSS
1850 SF / 700 SF = 935 PARKING SPACES
- OFFICE: (SECOND FLOOR)**
1 PER 225 SF, GROSS
2,486 SF / 225 SF = 1092 PARKING SPACES
- TOTAL PARKING SPACES REQUIRED = 21 PARKING SPACES
TOTAL PARKING SPACES PROVIDED = 21 PARKING SPACES
(INCLUDES ONE ACCESSIBLE PARKING)
- BICYCLE PARKING PROVIDED: 3 SPACES

- SITE LEGEND**
- PROPERTY LINE
 - ▭ BUILDING OUTLINE
 - ▨ (N) LANDSCAPE
 - ▨ (N) CONCRETE
 - ▨ (N) GRAVEL
 - ▨ (N) CATCH BASIN

LIGHT FIXTURE SCHEDULE

FIXTURE 'A' - RECESSED AT STREETFACE CURB

⊕

⊕

FIXTURE 'B' - RECESSED AT CARPORT PARKING

⊕

⊕

FIXTURE 'C' - WALL MOUNTED AT NORTH WALL

⊕

⊕

FIXTURE 'D' - WALL MOUNTED AT WEST WALL

⊕

⊕

FIXTURE 'E' - WALL MOUNTED AT PLAN ENTRY

⊕

⊕

AREA BLOCK (SF.)

LOCATION	1	2	3	4	5	FLOOR AREA + OVERLAP	LOT COVERLAGE + 12'-3'-4'-5'
GROUND FLOOR	1642 SF.	201 SF.	141 SF.	-	1203 SF.	1980 SF.	3783 SF
2ND FLOOR	1620 SF.	201 SF.	138 SF.	509 SF.	-	2,468 SF.	
TOTAL						4,448 SF.	

LOT COVERAGE = 3/73 SF.
FLOOR AREA RATIO = GROSS BUILDING AREA (ALL FLOORS) / LOT AREA (NET)
45 = 4,448 SF. / 9,935 SF.

PROJECT SUMMARY

ASSESSOR PARCEL NUMBER: 462-014-033
LOT SIZE: 6000 sq. ft. (Property to center line of street)
SITE NO. 1

DEVELOPMENT DATA

Building coverage	Single Story		Percent of Site
	Existing	Proposed	
Building coverage	1,439 SF.	3,109 SF.	24.4 %
Landscaping coverage	2,201 SF.	1,250 SF.	22.2 %
Paving coverage	5,276 SF.	9,472 SF.	55.2 %
FLOOR AREA RATIO: Total Bldg. / 60,000 SF. Lot	2,439	4,444	24.4
			44.5

ADJACENT LAND USES: Use COMMERCIAL - OFFICE, COMMERCIAL - SERVICE, RESIDENTIAL - MULTIFAMILY, RESIDENTIAL - SINGLE-FAMILY, COMMERCIAL - HEALTH CLUB

PARKING: # Existing Spaces: 2, # Proposed Spaces: 21, # Existing Street: 4, # Total Parking: 21

RESTAURANT AND ASSEMBLY USES: Seating Count: N/A

RESIDENTIAL PROJECTS: N/A

Use	UNIT TYPE			
	A	B	C	D
Single-Family Detached				
Single-Family Attached				
Multi-Family				
Total Number of Units per Type				

FIXTURE 'E' - POLE TOP AT PARKING

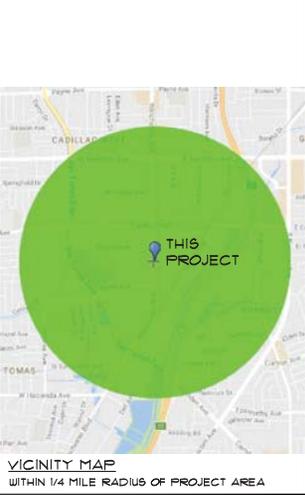
Type: BERA
Product: BERA
Voltage: 120V
Color: Black
Mounting: Pole-Mounted

⊕

Specifications

Brand: BERA
Model: BERA
Voltage: 120V
Power: 100W
Color: Black
Material: Aluminum
Finish: Clear Powder Coat

⊕



Job No. 1555.2
Date: JANUARY 29, 2018

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	1
CITY COMMENTS	9/19/2017	2
CITY COMMENTS	10/27/17	3
REDESIGN	03/13/18	4
CITY COMMENTS	05/10/18	5
CITY COMMENTS	07/12/18	6

PLANNED DEVELOPMENT PERMIT
NEW DEVELOPMENT

RETAIL / OFFICE
2220 S. Winchester Boulevard
Campbell, California

ARCHITECTS

MBA ARCHITECTS

1775 LINCOLN AVENUE, SAN JOSE, CALIFORNIA, 95125
PH: 408.277.0288 FAX: 408.277.0284

LICENSED ARCHITECT
Arthur Brando
No. C-4649
REN. 09/19

STATE OF CALIFORNIA

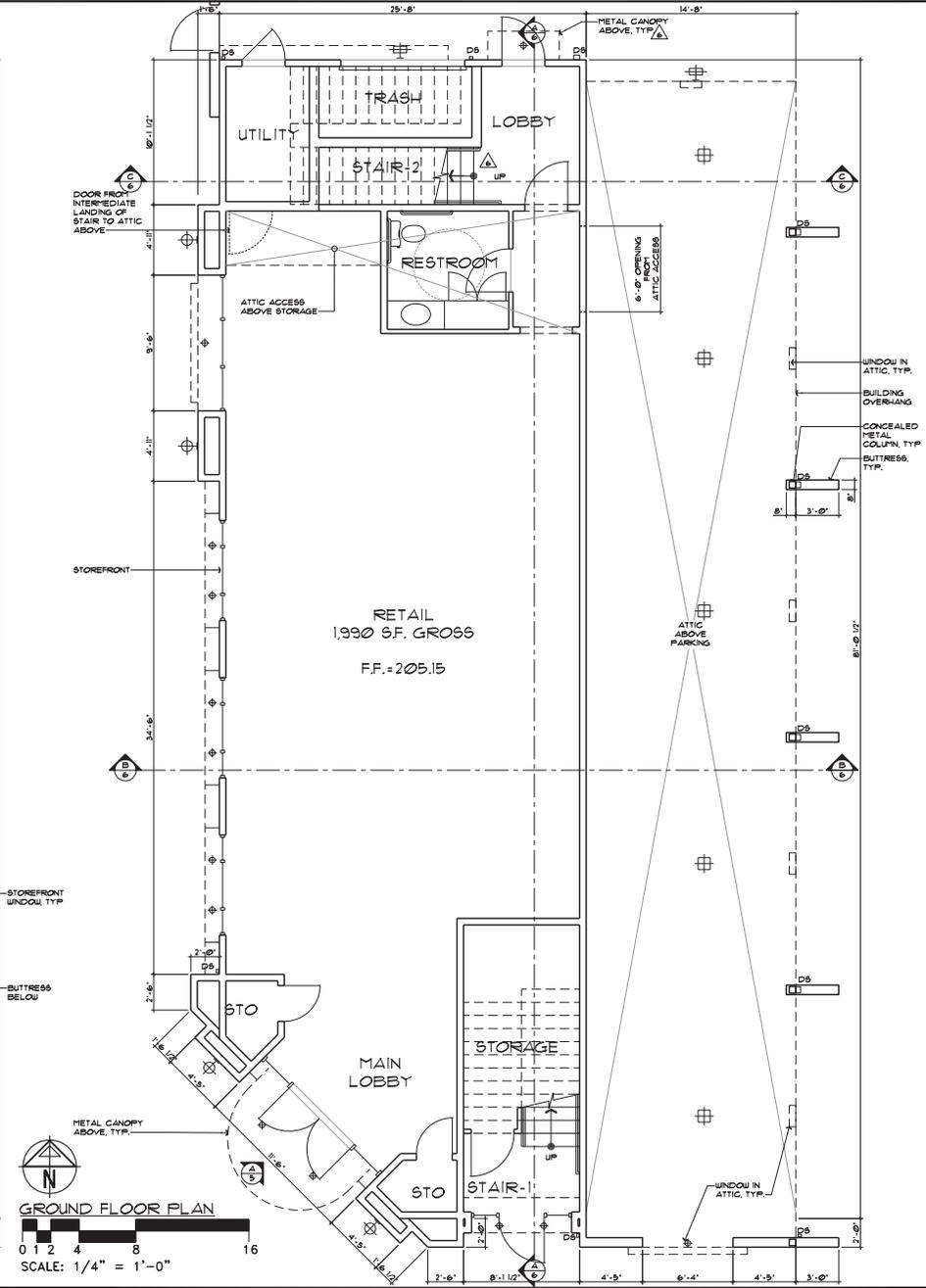
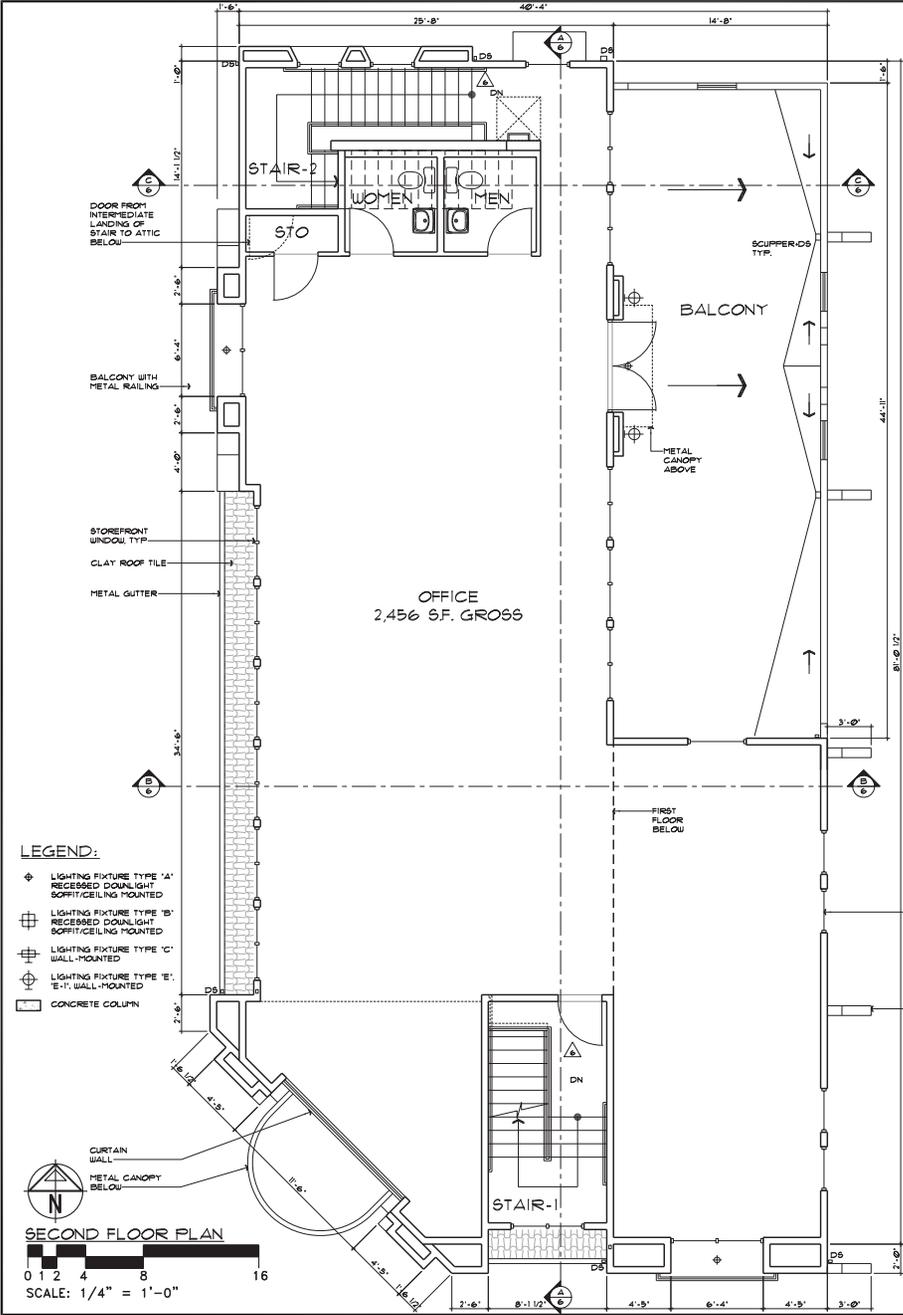
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SHEET TITLE
SITE PLAN

SCALE: As Shown
CAD FILE BY: 1555.2-POP-2.dwg

SHEET
2
3 OF SHEETS



JOB No. 1555.2	
DATE JANUARY 19, 2017	
DESCRIPTION	DATE REV.
CITY COMMENTS	4/17/2017
CITY COMMENTS	10/21/17
REDESIGN	03/13/18
CITY COMMENTS	05/10/18
CITY COMMENTS	06/12/18

PLANNED DEVELOPMENT PERMIT
NEW DEVELOPMENT

RETAIL / OFFICE
2220 S. Winchester Boulevard
Campbell, California

MBA ARCHITECTS
1776 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH: 408.272.9288 FAX: 408.974.0384

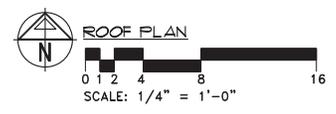
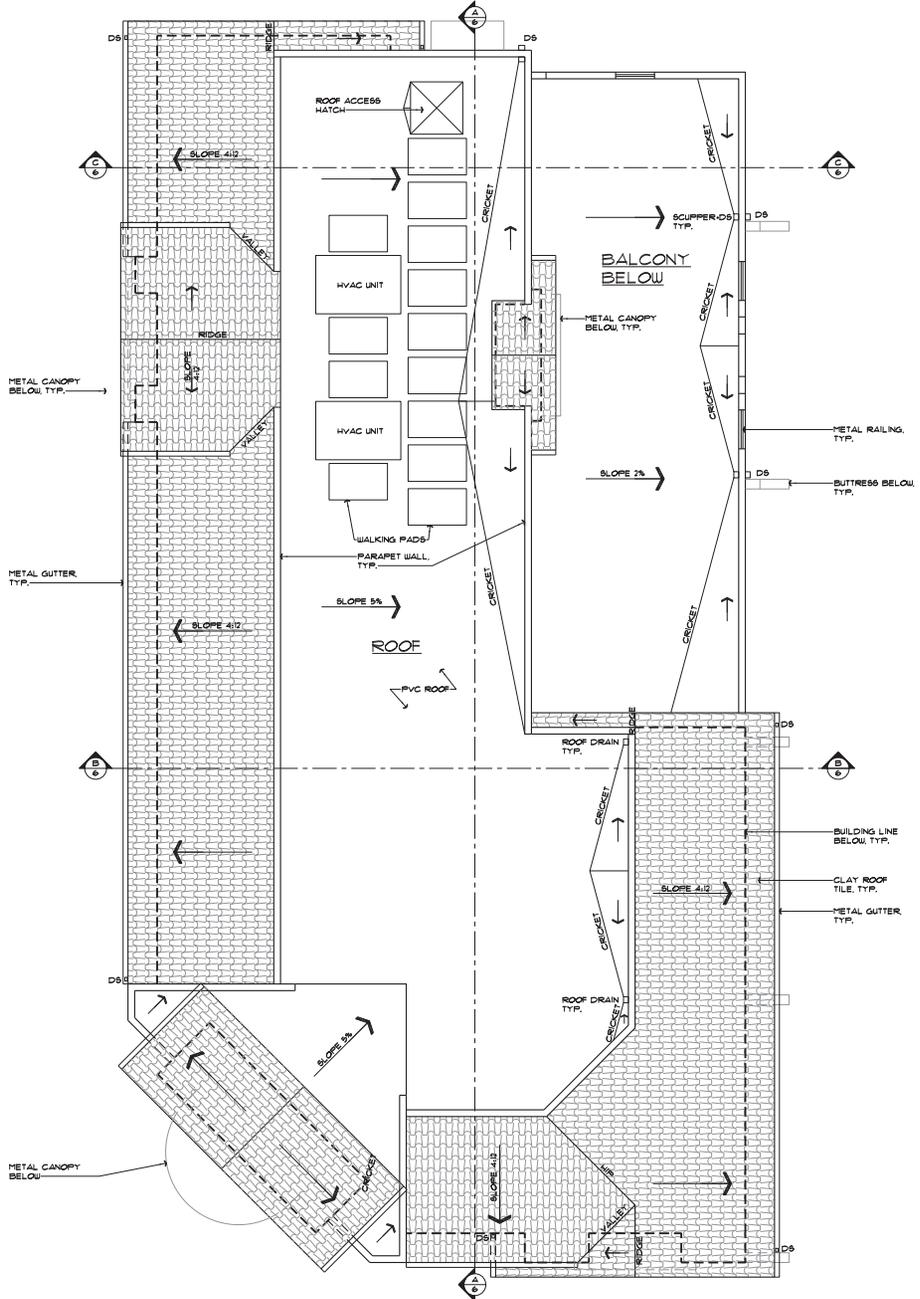
LICENSED ARCHITECT
Arthur Bonomo
No. C-4649
REN. 09/19
STATE OF CALIFORNIA

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SHEET TITLE
**FIRST FLOOR
PLAN
SECOND FLOOR
PLAN**

SCALE: As Shown
CAD FILE: 1555.2-POP-3.dwg
DRAWN BY:

SHEET
3
3 OF SHEETS



JOB No. 1555.2
DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	1
REDESIGN	03/13/18	2
CITY COMMENTS	05/10/18	3

PLANNED DEVELOPMENT PERMIT
NEW DEVELOPMENT

RETAIL / OFFICE
2220 S. Winchester Boulevard
Campbell, California

ARCHITECTS

MBA
175 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH: 408.277.0288 FAX: 408.937.0184

LICENSED ARCHITECT
Member Arthur Berman
No. C-4649
REN. 09/19
STATE OF CALIFORNIA

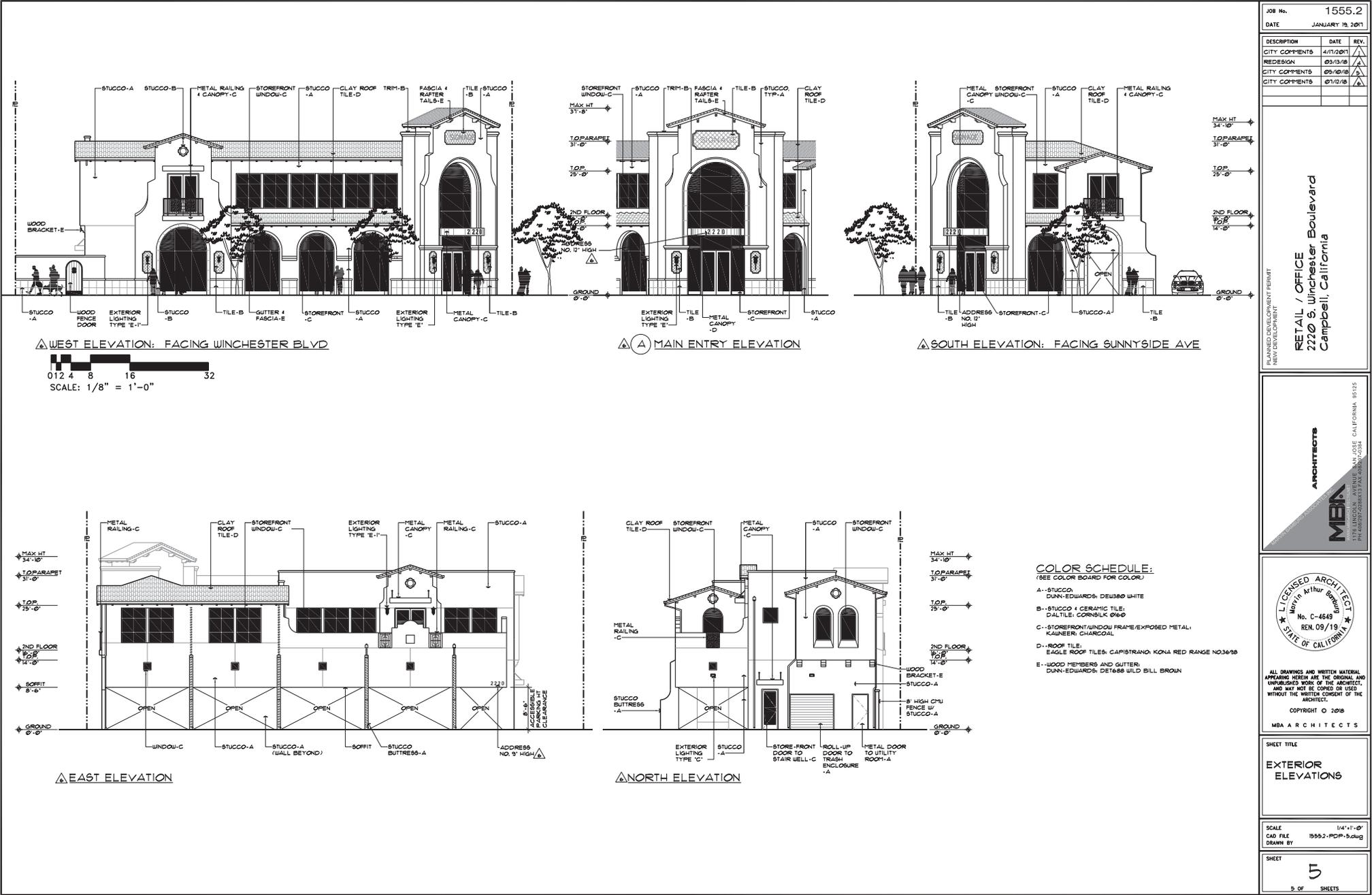
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SHEET TITLE
ROOF PLAN

SCALE 1/4" = 1'-0"
CAD FILE 15552-PCD-4.dwg
DRAWN BY

SHEET
4
4 OF SHEETS



JOB No. 1555.2
 DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	△
REDESIGN	03/13/18	△
CITY COMMENTS	05/10/18	△
CITY COMMENTS	07/12/18	△

PLANNED DEVELOPMENT PERMIT
 NEW DEVELOPMENT
 RETAIL / OFFICE
 2220 S. Winchester Boulevard
 Campbell, California

ARCHITECTS
 MBA
 1775 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
 PH: 408.272.0288 FAX: 408.272.0284

COLOR SCHEDULE:
 (SEE COLOR BOARD FOR COLOR)

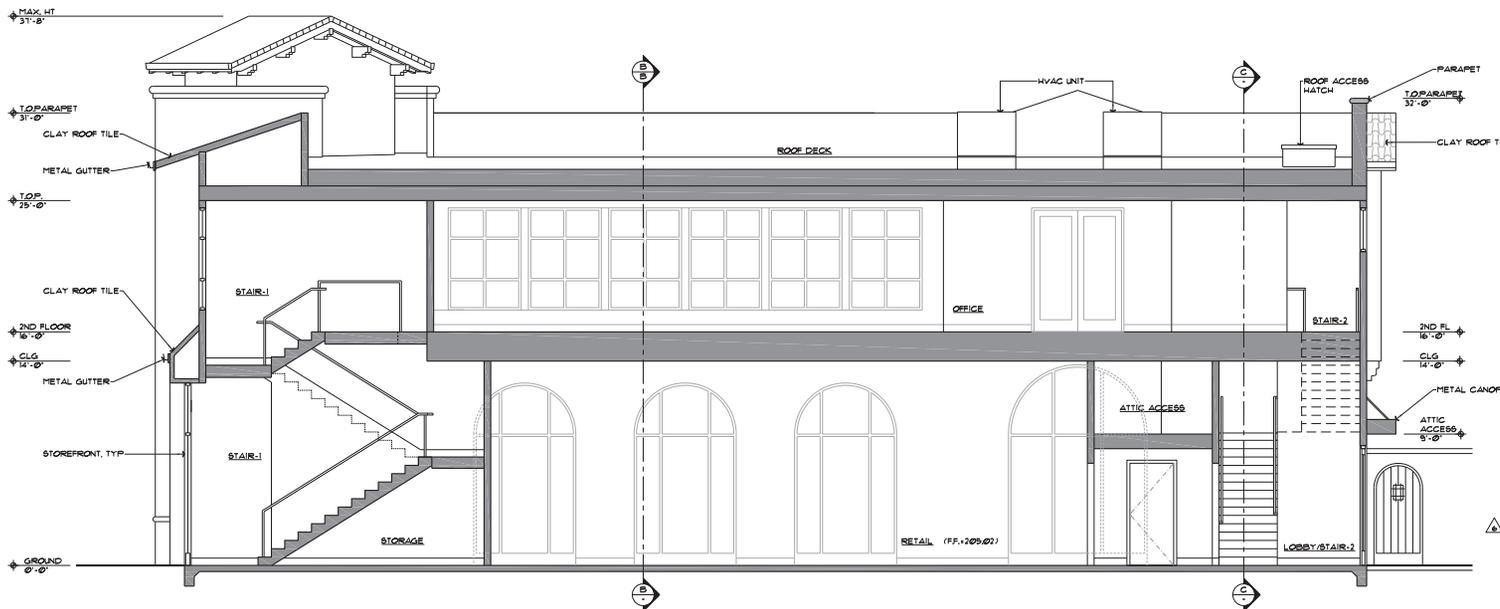
- A - STUCCO: DUNN-EDWARDS: DEW380 WHITE
- B - STUCCO & CERAMIC TILE: DALTILE: CORNSILK 0160
- C - STOREFRONT/WINDOW FRAME/EXPOSED METAL: KAUNBEER: CHARCOAL
- D - ROOF TILE: EAGLE ROOF TILES: CAPISTRANO: KONA RED RANGE NO.36/38
- E - WOOD MEMBERS AND GUTTER: DUNN-EDWARDS: DET688 WILD BILL BROWN

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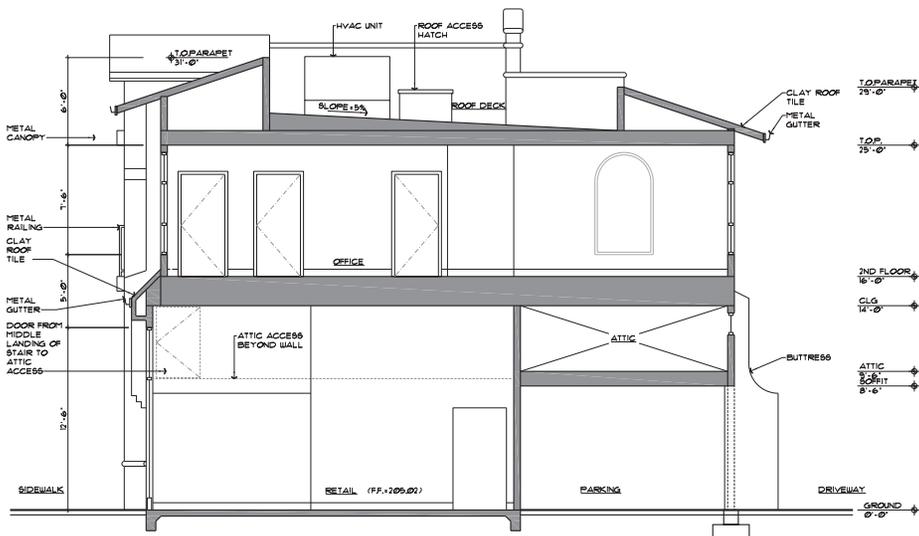
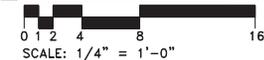
SHEET TITLE
EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"
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 DRAWN BY

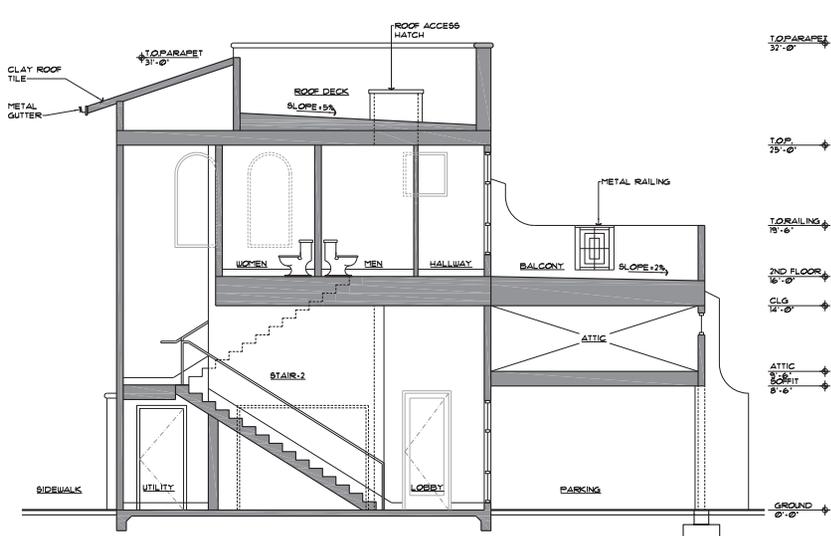
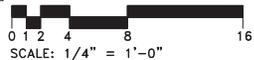
SHEET
5
 5 OF SHEETS



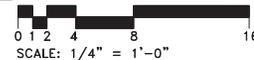
▲ BUILDING SECTION A-A



▲ BUILDING SECTION B-B



▲ BUILDING SECTION C-C



JOB No.	1555.2
DATE	JANUARY 19, 2017
DESCRIPTION	NEW DEVELOPMENT
CITY COMMENTS	4/17/2017
CITY COMMENTS	02/18/2017
REDESIGN	03/13/18
CITY COMMENTS	05/10/18
CITY COMMENTS	07/12/18

PLANNED DEVELOPMENT PERMIT
NEW DEVELOPMENT
RETAIL / OFFICE
2220 S. Winchester Boulevard
Campbell, California

MBA ARCHITECTS
1775 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH: 408.272.0288 FAX: 408.272.0284



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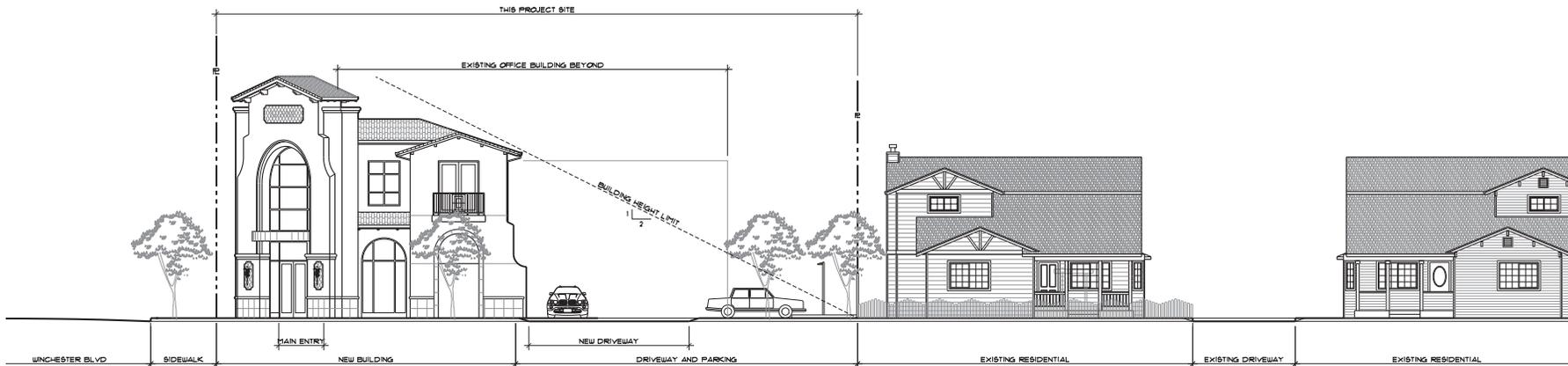
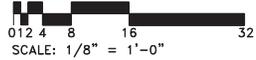
SHEET TITLE
BUILDING SECTIONS

SCALE As Shown
CAD FILE 1555.2-PCP-6.dwg
DRAWN BY

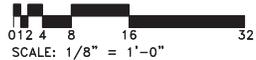
SHEET
6
6 OF SHEETS



WEST ELEVATION FACING WINCHESTER BLVD



SOUTH ELEVATION FACING SUNNYSIDE AVE



JOB No. 1555.2
DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	△
CITY COMMENTS	10/21/17	△
REDESIGN	03/13/18	△
CITY COMMENTS	05/10/18	△

PLANNED DEVELOPMENT PERMIT
NEW DEVELOPMENT

RETAIL / OFFICE
2220 S. Winchester Boulevard
Campbell, California

ARCHITECTS

MBA
1775 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH: 408.279.2500 FAX: 408.279.0284



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SHEET TITLE

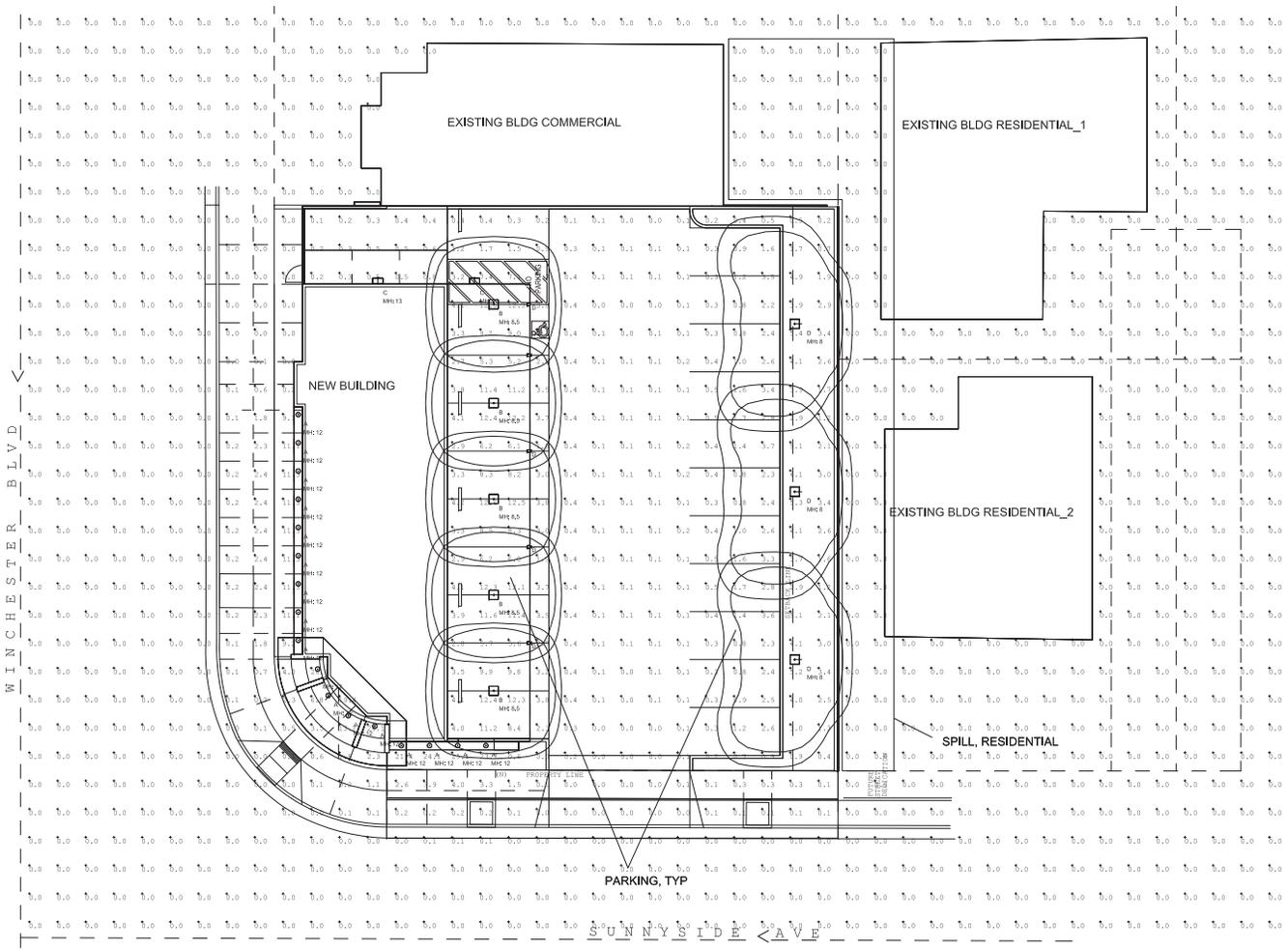
STREETSCAPE

SCALE As Shown
CAD FILE 15552-POP-1.dwg
DRAWN BY

SHEET

7

1 OF SHEETS



Qty	Symbol	Tag	Label	Lum. Lumens	L/F	BF	Lum. Watts	Description	Filename
17	○	A	55823	992	0.900	1.000	15	BEGA - 55 823 - ROUND RECESSED	55823.lvs
5	□	B	66936	2486	0.900	1.000	28.9	BEGA - 66 936 - SQUARE RECESSED	66936.lvs
2	■	C	22656	365	0.900	1.000	12	BEGA - 22 656 - WALL MOUNT	22656.lvs
3	□	D	99878	1980	0.900	1.000	28.9	BEGA - 99 878 - POLE MOUNT	99878.lvs

Calculation Summary (Illuminance-Fc)					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING, TYP	2.28	12.6	0.0	N.A.	N.A.
SPILL, RESIDENTIAL	0.00	0.0	0.0	N.A.	N.A.

LIGHTING LAYOUT VERIFICATION

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

AR ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: MBA ARCHITECTS; QING GAN
BY: APPLICATIONS ENGINEERING; HEATHER WAUGH
SALES REPRESENTATIVE: ALK; JO STEPHENS

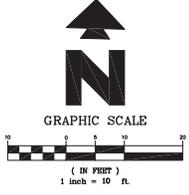
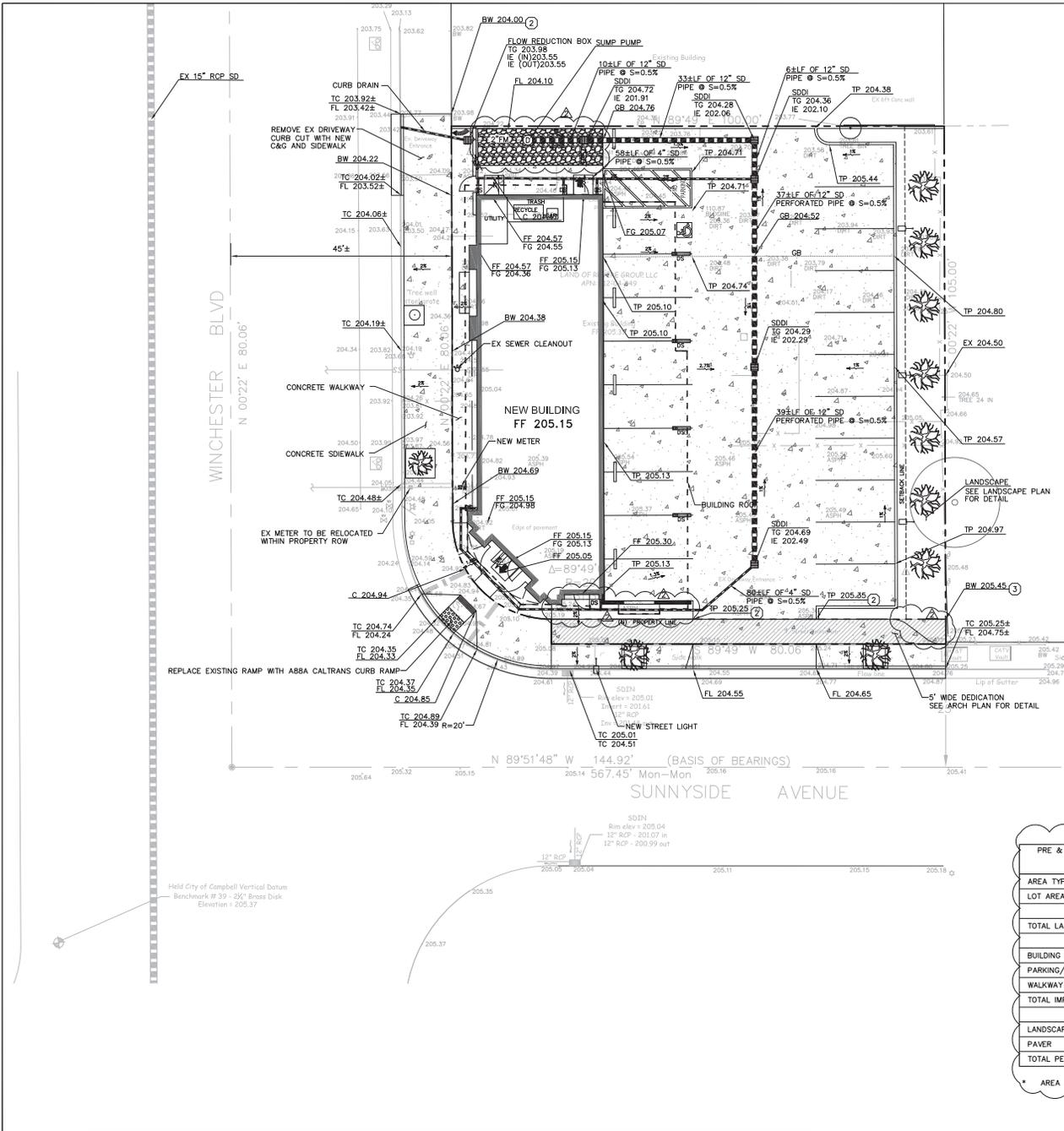
AG32 lighting software
By Lighting Analysts

AG32 VERSION 18.3
AGI (C) 1996-2017 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL RD. SUITE 202
LITTLETON, CO 80127

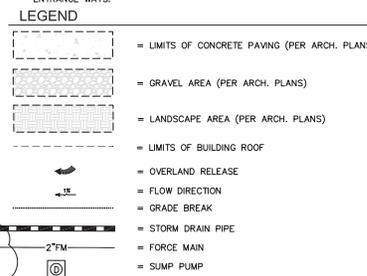
PROJECT DESCRIPTION
RETAIL / OFFICE - SITE
2220 S. WINCHESTER BOULEVARD

DRAWING NO. / INPUT FILE
14994JDS.R00.DWG / A32

SCALE 1:10	SHEET 8 OF 8	DATE 10,26,2017	SHEET 8
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- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH RELATED UTILITY AGENCIES STANDARDS FOR WATER, GAS & WASTEWATER.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST ACROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.



PRE & POST DEVELOPMENT PEROUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING	PROPOSED
LOT AREA	9,915 SF *	
	0.23 ACRE	
TOTAL LAND DISTURBANCE	9,915	9,915
BUILDING ROOF	2,439	3,648
PARKING/DRIVEWAY	3,920	4,476
WALKWAY	1,355	541
TOTAL IMPERVIOUS AREA	7,714	8,665
LANDSCAPE/GRAVEL	2,201	1,250
PAVER	0	0
TOTAL PEROUS AREA	2,201	1,250

* AREA AFTER STREET DEDICATION, SEE ARCH PLAN FOR DETAIL.

- ABBREVIATIONS:**
- BOT = BOTTOM OF TREATMENT AREA ELEVATION
 - C = CONCRETE
 - DS = DOWNSPOUT
 - EX = EXISTING
 - FF = FINISH FLOOR ELEVATION
 - FG = FINISH GRADE ELEVATION
 - FL = SWALE FLOWLINE
 - GB = GRADE BREAK ELEVATION
 - IE = INVERT ELEVATION
 - SW = SIDEWALK
 - TC = TOP OF CURB ELEVATION
 - TG = TOP OF GRADE ELEVATION
 - TOP = TOP OF TREATMENT AREA ELEVATION
 - TP = TOP OF PAVEMENT ELEVATION
 - TYP = TYPICAL

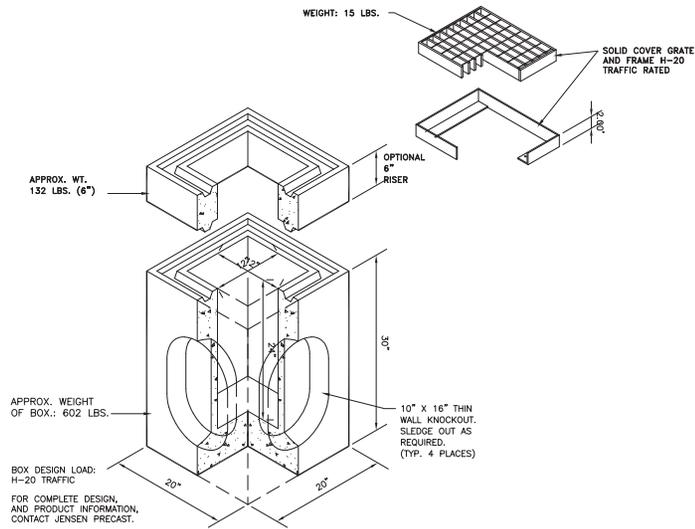
- GRADING NOTES**
- CURB DRAIN. MATCH EXISTING FLOW LINE ELEVATION. APPROXIMATE LOCATION SHOWN. CONTRACTOR TO FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
 - TAPER CURB FROM 6" TO 0" IN 2 FEET.
 - MATCH EXISTING

Date	11/28/2016	By	AW	Drawn By	AW	Designed By	AW
Revision		No.		Date		By	
1	DRINAGE REVISION	1		2/22/18		AW	
2	MATERIAL REVISION PER ARCH PLAN	2		5/17/18		AW	

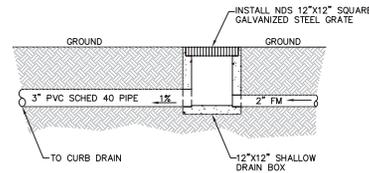
GREEN
 CIVIL ENGINEERING, INC
 2016 CONDADO BLVD, SAN MATEO, CA 94401

GRADING & DRAINAGE PLAN
 2220 WINCHESTER BLVD, CAMPBELL, CA
 BUILDING PERMIT NO.

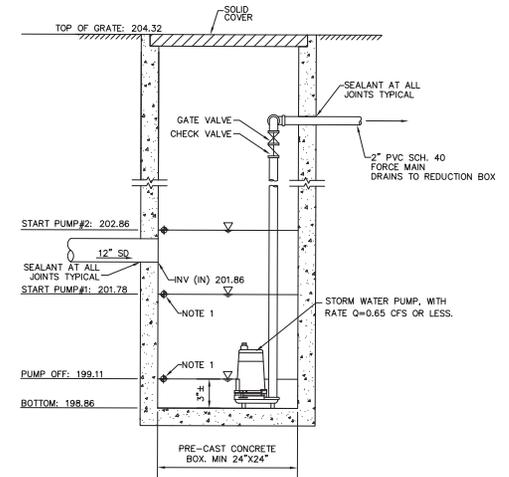
SCALE: 1:10
 SHEET: C1



STORM DRAIN INLET
BY JENSEN PRECAST
N.T.S. ①
C2

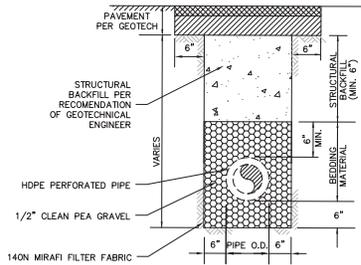


FLOW REDUCTION BOX
N.T.S. ②
C2



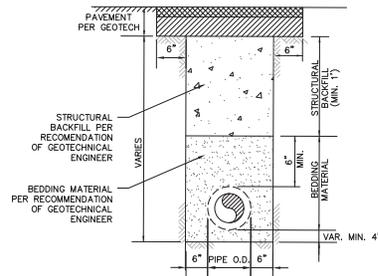
- NOTES:
1. MERCURY FLOAT ON-OFF (HIGH OR LOW) SWITCH SENSORS.
 2. WATERPROOFING CONCRETE BOX PER MANUFACTURER'S SPECIFICATIONS.
 3. INSTALL PUMP PER MANUFACTURER RECOMMENDATION.
 4. DUAL PUMPS TO BE USED.
 5. COVER SHOULD BE TRAFFIC RATED H-20.

STORM DRAIN SUMP PUMP
N.T.S. ③
C2



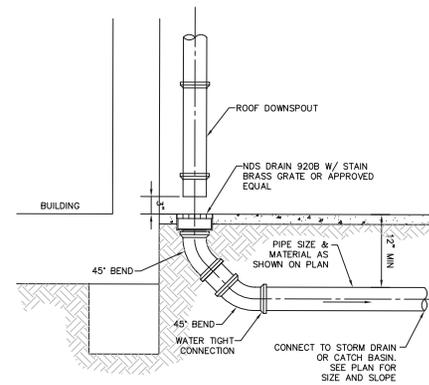
NOTE: STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS

PERFORATED PIPE DETAIL
N.T.S. ④
C2



NOTE: BEDDING & STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS

TRENCH DETAIL
N.T.S. ⑤
C2



RAINWATER LEADER
W/ DRAIN INLET
N.T.S. ⑥
C2

Revision	Date	Drawn By	Designed By
1	2/22/18	AW	AW
2	5/11/18	AW	AW
No.	Date	Drawn By	Designed By
1	11/28/2016	AW	AW
2		AW	AW



GREEN
CIVIL ENGINEERING, INC.
201 E. SINDAVE BLVD. SAN MATEO, CA 94401

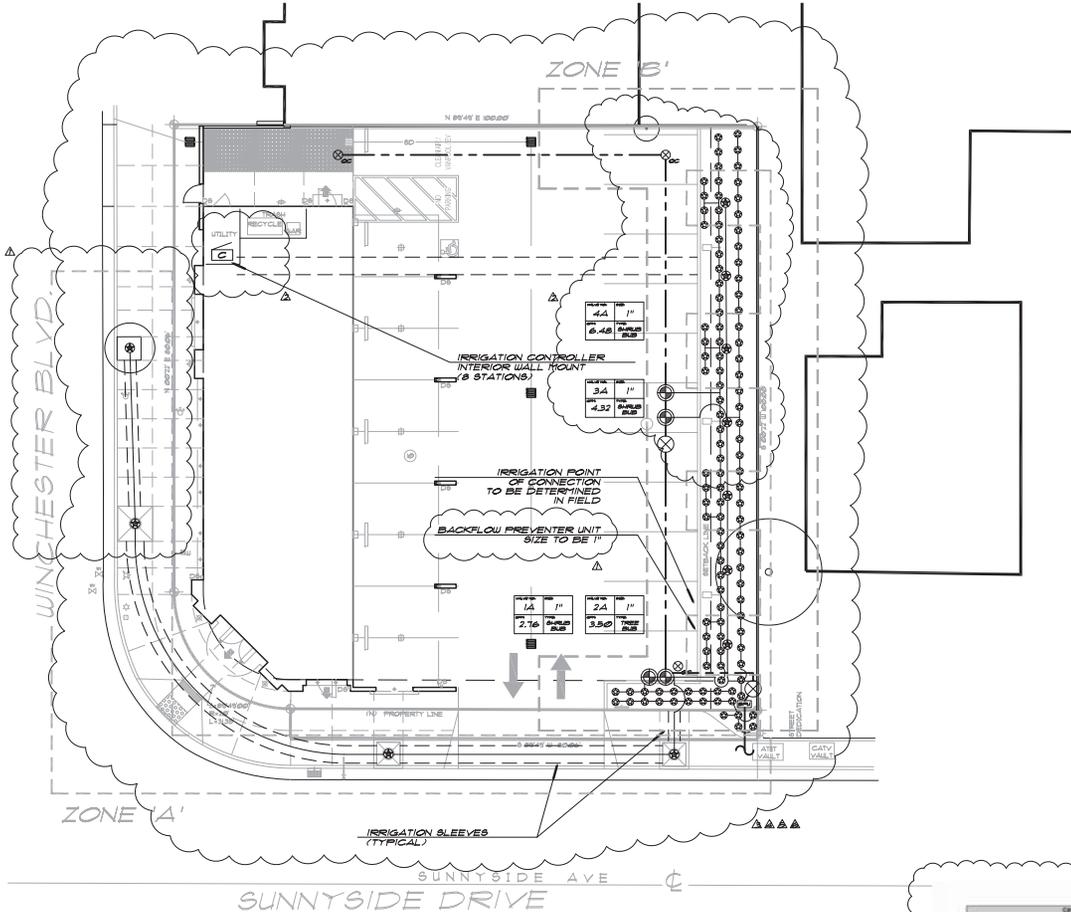
DETAIL SHEET
2220 WINCHESTER BLVD, CAMPBELL, CA
BUILDING PERMIT NO. _____



CAMPBELL, CALIFORNIA

SCALE:
1:10

SHEET:
C2



IRRIGATION NOTES

- a. THESE NOTES ARE FOR GENERAL REFERENCE AND ARE TO BE USED IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, APPENDIX, AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- b. PRIOR TO INITIATING ANY CONSTRUCTION, CONTRACTOR TO BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND PROPOSED UNDERGROUND SERVICES. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800-842-2444.
- c. PROPOSED IRRIGATION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- d. IRRIGATION SYSTEM DESIGN IS DIAGRAMMATIC. WHERE PIPING, VALVES, ETC. ARE SHOWN OUTSIDE OF PLANTING AREAS, THE INTENT IS FOR PIPING, VALVES, ETC. TO BE INSTALLED WITHIN PLANTING AREAS UNLESS NOTED AND DETAILED OTHERWISE.
- e. CONTRACTOR TO COORDINATE IRRIGATION INSTALLATION WITH OTHER TRADES. VERIFY ALL SLEEVINGS, PIPING, AND ELECTRICAL SUPPLY, POINT OF CONNECTION, ETC.
- f. CONTRACTOR RESPONSIBLE TO ENSURE COMPLETE AND UNIFORM IRRIGATION SPRAY COVERAGE OF ALL PLANTING AND TURF AREAS. CONTRACTOR TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH CIRCUIT. ADJUST SPRAY HEADS AND NOZZLES FOR OPTIMUM COVERAGE WHILE PREVENTING OVER SPRAY ONTO WALKWAYS AND STRUCTURES BY THE USE OF PRESSURE COMPENSATING DEVICES.
- g. ALL LATERAL LINES TO BE SIZED PER LATERAL PIPE SIZE CHART.
- h. PROPOSED IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT 30 PSI AND 30 GPM FROM THE POINT OF CONNECTION. CONTRACTOR TO VERIFY EXISTING PRESSURE AND FLOW PRIOR TO INITIATING ANY WORK. CONTACT LANDSCAPE ARCHITECT IF ANY CONFLICTS ARISE.
- i. CONTRACTOR TO MAP "AS-BUILT" CONDITIONS OF THE IRRIGATION SYSTEM. PROVIDE DIMENSIONS FROM MAINLINE FROM NEAREST PAVED SURFACE OR BUILDING. REDUCE PLAN TO A LEGIBLE FORMAT, LAMINATE AND PLACE IN CONTROLLER PER SPECIFICATIONS.
- j. REFER TO IRRIGATION SPECIAL PROVISIONS SHEETS L5, L6, AND IRRIGATION DETAILS ON SHEET L3.
- k. CONTRACTOR RESPONSIBLE TO PROVIDE A FULLY AUTOMATIC IRRIGATION SYSTEM OPERATED BY SPECIFIED IRRIGATION CONTROLLER(S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUFFICIENT WIRING, PLUS FIVE (5) SPARE AND ONE (1) COMMON PER PLANS, DETAILS, AND SPECIFICATIONS FROM THE REMOTE CONTROL VALVES TO CONTROLLER(S). WIRING PATH FOR THIS IRRIGATION SYSTEM IS NOT SHOWN ON THE DRAWINGS. WIRING PATH SHALL FOLLOW MAINLINE EXISTING OR NEW TO EACH REMOTE CONTROL VALVE. SPARE WIRES TO BE RUN FROM ASSOCIATED CONTROLLER AND LOOP THROUGH THE ENTIRE SYSTEM OF VALVES ASSOCIATED WITH THE SPECIFIED CONTROLLER. SPARE WIRES TO BE FIVE (5) PER CLOCK FOR A TOTAL OF 5 FOR THIS PROJECT.

IRRIGATION LEGEND

SYMBOL	MPR / MODEL / DESCRIPTION	PSI	GPM
BUBBLER	TORO 8102-FB-200-ADJ1 PC2.00	30	0-200
	PRESSURE COMPENSATING FLOOD BUBBLER	30	0.25
	TREE - TWO (2) PER TREE SHRUB - ONE (1) PER SHRUB	30	0.12
CONTROLLER / VALVES			
[BPU]	BACKFLOW PREVENTER UNIT - 1-1/2" FEBCO 825Y OR APPROVED EQUAL, INSTALL IN LOCKABLE ENCLOSURE		
[G]	RAINBIRD ESP-LX-ME IRRIGATION CONTROLLER, MODEL ESP-LX-ME-14 EXTERIOR WALL MOUNT IN LOCKABLE METAL CASE, MODEL LX-M (8 STATIONS) OR APPROVED EQUAL		
[X]	AQUA - 1PS BRONZE BALL VALVE MATCH LINE SIZE		
[R]	RAINBIRD EFB-PC SERIES - BRASS ELECTRIC REMOTE CONTROL VALVE - SIZE PER PLAN		
[C]	RAINBIRD 44LRC - QUICK COUPLING VALVE W/ RUBBER CAP - PROVIDE KEY (1 PER VALVE)		
IRRIGATION PIPE			
---	CLASS 300 PVC NON-PRESSURIZED LATERAL LINE, 1/2" MIN. DEPTH NSF APPROVED, SIZE PER PIPE SIZE CHART		
---	8CH 40 (UP TO 2-1/2") CLASS 315 (3" AND LARGER) PVC PRESSURIZED MAINLINE, NSF APPROVED, SIZE PER PLAN, 24" MIN. DEPTH		
---	8CH 40 PVC SLEEVES, TWO (2) PER CROSSING, 3" MIN. DIAMETER		
VALVE TAG			
SYMBOL	WHERE:		
[A]	A = VALVE NUMBER		
[B]	B = VALVE SIZE (INCHES)		
[C]	C = GALLONS PER MINUTE		
[D]	D = TYPE OF CIRCUIT		
LATERAL PIPE SIZE CHART			
GPM	PIPE SIZE		
0 - 10	3/4"		
11 - 16	1"		
17 - 26	1 1/4"		
27 - 35	1 1/2"		
36 - 55	2"		
LANDSCAPE WATER USE ZONES			
DESCRIPTION	DESCRIPTION	AREA (SF)	
ZONE 'A'	TREE PLANTING	128 SF	
ZONE 'B'	SHRUB PLANTING	1076 SF	
TOTAL		1204 SF	

CITY OF CAMPBELL
LANDSCAPE WATER USE STATEMENT

Project Name: Winchester Commercial Drive
Project Address: 2222 Winchester Blvd
Campbell, CA 95008

Prepared by: JAY C. ATKINSON SA #0270
1175 Shattuck Lane # 2000
Berkeley, CA 94704
949.865.1721
jaton@jayc.com
Date: 5/24/17

PART ONE Landscape Water Allowance

Your Proposed Landscape Area: 1,204.00 SF (Box 1)
Landscape Water Allowance: 120.40 (Box 2)
Landscape Water Allowance (Gallons per Year): 35,640.00 (Box 3)

PART TWO Estimated Landscape Water Use

Landscape Area	Area (SF)	Plant Type	Water Use (GPM)	Water Use (GPD)
A	128	Trees	0.80	1,024
B	1,076	Shrubs	0.80	10,608
TOTAL	1,204		1.60	11,632



REVISIONS:

DATE	DESCRIPTION
11/23/17	MBA COMMENTS
12/15/17	CITY COMMENTS
12/15/17	SITE PLAN
12/14/18	SITE PLAN
12/15/18	SITE PLAN
12/14/18	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**

STAMP: **LANDSCAPE ARCHITECTURE**
12/23/17
STATE OF CALIFORNIA

MBA ARCHITECTS
1175 BRANHART LANE #4000
SAN JOSE, CA 95128



SHEET TITLE: **IRRIGATION PLAN**

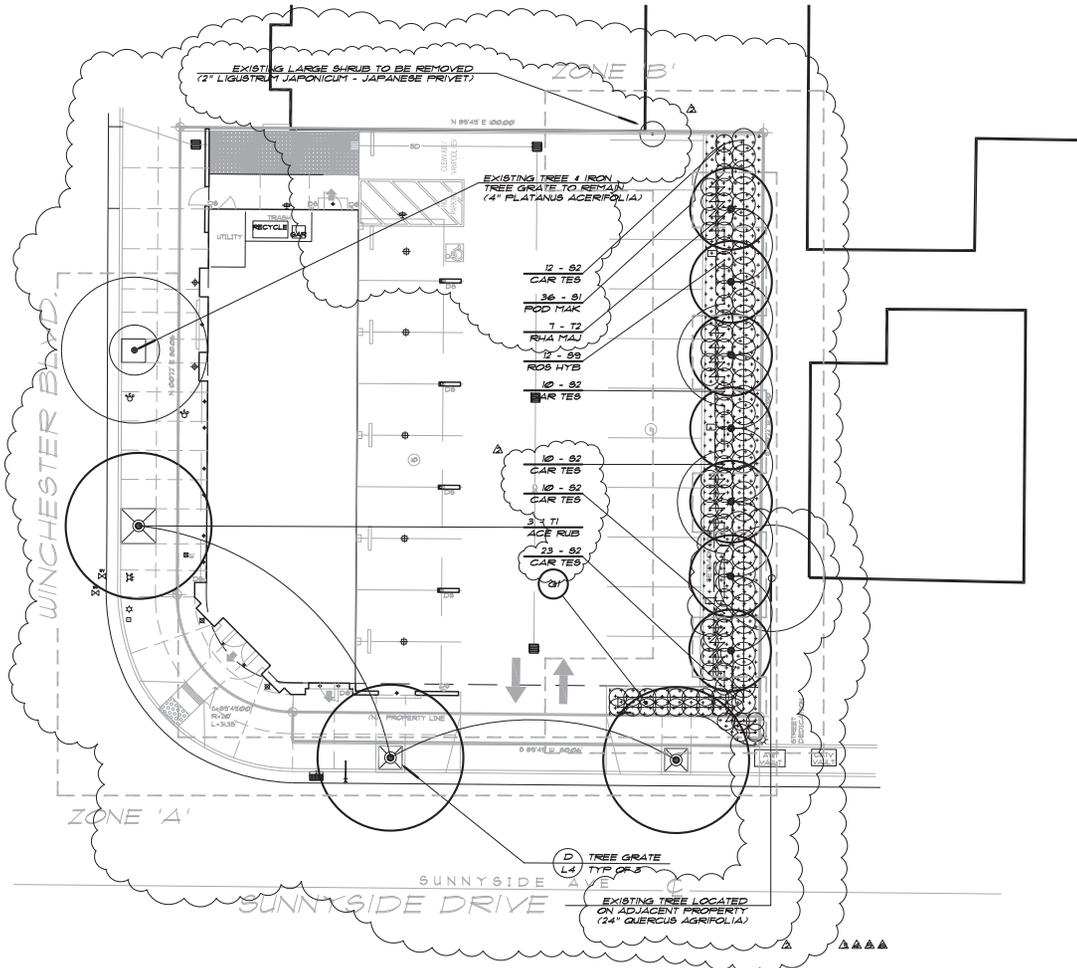
SCALE: **AS NOTED**

DATE: **11/28/16**

JOB #: **LOD 16.100**
MBA 1553

SHEET #





PLANTING NOTES

1. THESE NOTES ARE FOR GENERAL REFERENCE AND ARE TO BE USED IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, APPENDIX, AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
2. PRIOR TO INITIATING ANY CONSTRUCTION, CONTRACTOR TO BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND PROPOSED UNDERGROUND SERVICES. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800-842-2444.
3. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO PLANTING INSTALLATION.
4. FINE GRADING, HEADERBOARD INSTALLATION, AND IRRIGATION COVERAGE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY PLANTING INSTALLATION.
5. CONTRACTOR TO LAY OUT PLANT MATERIAL PER PLAN. FACE PLANT MATERIAL TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. PLANT MATERIAL NOT BE INSTALLED IN AREAS WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES OR OBSTRUCT IRRIGATION SPRAY PATTERNS. CONTACT LANDSCAPE ARCHITECT IF CONFLICTS ARISE.
7. PLANT LOCATIONS ARE DIAGNOSTIC AND MAY BE ADJUSTED IN FIELD AT THE LANDSCAPE ARCHITECT'S REQUEST PRIOR TO INSTALLATION.
8. UNLESS NOTED OTHERWISE, FINISH GRADE OF PLANTING AREAS TO BE 2" BELOW ADJACENT PAVING. TAPER 2" DEPTH BARK MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1-1/2" DEPTH) WITHIN 2' OF PAVING.
9. ALL PLANTING AREAS TO RECEIVE A 2" MINIMUM DEPTH OF BARK MULCH TOP DRESSING.
10. GROUND COVERS TO BE PLANTED EVENLY AND CONTINUOUSLY UNDER TREE AND SHRUB MASSES.
11. ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN THREE (3) HOURS OF PLANTING.
12. PROTECT ALL EXISTING TREES, SHRUBS, AND GROUND COVERS TO REMAIN. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK OR NEGLIGENCE TO BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE OWNER'S SATISFACTION.
13. CONTRACTOR TO RE-STAKE AND STRAIGHTEN TREES AS NECESSARY THIRTY (30) DAYS AFTER PLANTING.
14. REFER TO PLANTING SPECIAL PROVISIONS SECTION SHEETS L6 & L7, AND PLANTING DETAILS SHEET L4.

PLANT SCHEDULE - EXISTING TO REMAIN

TAG/SYM	CONTAINER	BOTANICAL NAME	COMMON NAME	WATER USE CLASSIFICATION
TREES:				
T1	ACE RUB 24" BOX	ACER RUBRUM	SCARLET MAPLE	M
T2	RHA MAJ 24" BOX	RHAPHOLEPIS INDICA	INDIA HAWTHORN	M
SHRUBS:				
S1	CAM JAP 5 GAL	CAMELLIA JAPONICA	CAMELLIA	M
S2	CAH TES 5 GAL	CAREX TESTACEA	ORANGE SEDGE	M
S3	FOD MAK 15 GAL	FODOCARPUS MACROPHYLLUS MAKI'	SHRUBBY YEW FINE	M
S4	ROS HYB 2 GAL	ROSA HYBRID	CARESET ROSE	M
S5	CEA GRI 5 GAL	CEANOTHUS GRISBUS HORIZ	WILD LILAC	L
GROUND COVERS:				
G1	BARK	SHREDDED BARK MULCH	BLACK BARK MULCH	-

WATER USE CLASS SYMBOLS & LEGEND
 H = HIGH
 M = MODERATE
 L = LOW
 VL = VERY LOW

TREE PROTECTION NOTES

- A. TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED PRIOR TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.
- B. A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIFLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIFLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.
- C. SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIFLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.
- D. NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIFLINE OF THE TREES.
- E. ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIFLINE OF A TREE.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.



REVISIONS:

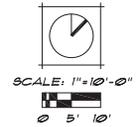
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11/23/17	MBA CNTS
12/14/18	CITY CNTS
12/19/17	SITE PLAN
12/14/18	SITE PLAN
12/19/18	SITE PLAN
12/14/18	SITE PLAN

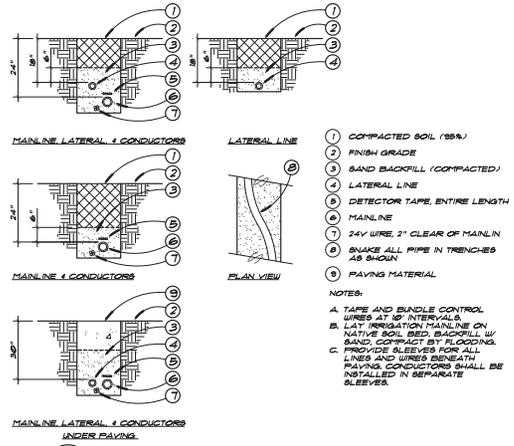
PROJECT: **COMMERCIAL RETAIL**
 2209 WINCHESTER BLVD. #116
 SAN JOSE, CA 95128
 PH: 408-460-3377 / FAX: 408-460-3378
 EMAIL: info@iloidlandscape.com



SHEET TITLE: **PLANTING PLAN**

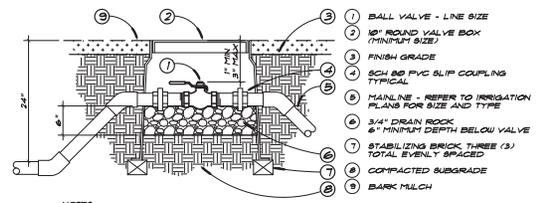
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 JOB #: **LOD 16.100**
 SHEET #: **MBA 1553**





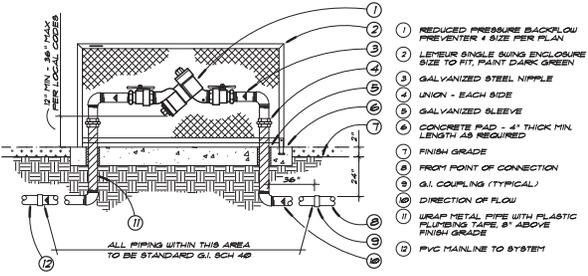
F TRENCHING

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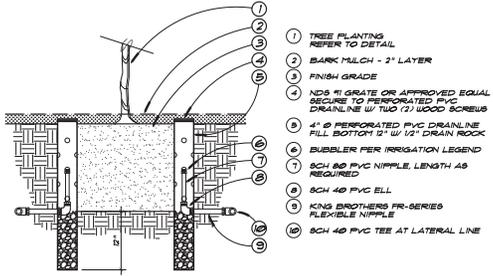
C BALL VALVE

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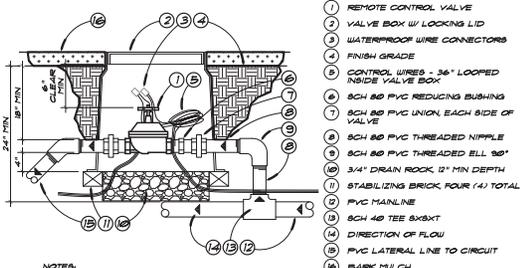
H BACKFLOW PREVENTER UNIT

SCALE: NTS



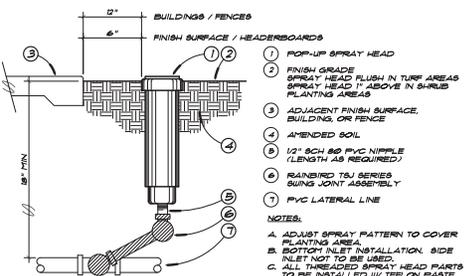
E TREE BUBBLER

SCALE: NTS



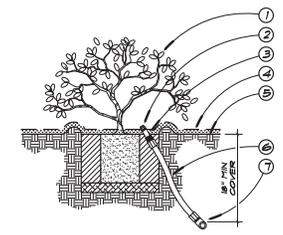
B REMOTE CONTROL VALVE

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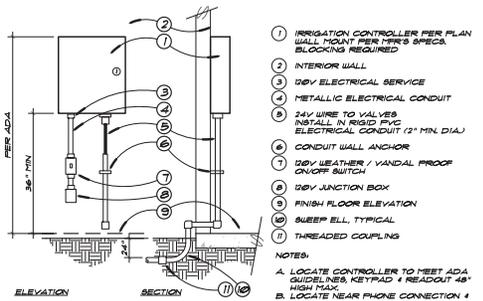
G POP-UP SPRAY

SCALE: NTS



D SHRUB BUBBLER

SCALE: NTS



A IRRIGATION CONTROLLER INTERIOR WALL MOUNT

SCALE: NTS

REVISIONS:

DATE	DESCRIPTION
11/28/17	MBA COMMENTS
12/14/17	CNTS
12/14/17	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**



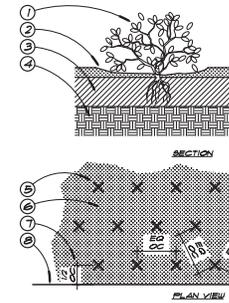
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SCALE: **AS NOTED**

DATE: **11/28/16**

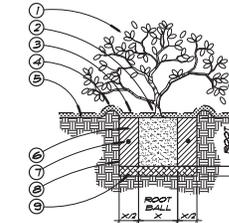
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MBA 1553

SHEET #



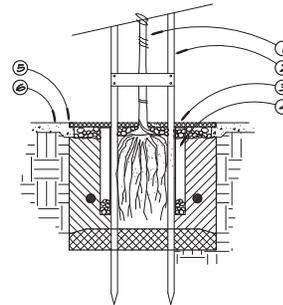
- 1 GROUND COVER PLANT SPECIES
- 2 BARK MULCH - 2" LAYER
- 3 AMENDED SOILS PER SPECIFICATIONS
- 4 SUBGRADE
- 5 GROUND COVER PLANT SPECIES EQUAL TRIANGULAR SPACINGS BETWEEN PLANTS, ON CENTER SPACING PER PLANT LEGEND
- 6 PLANTING AREA W/ BARK MULCH
- 7 SETBACK EQUAL TO 1/2 OC SPACING PER PLANT SPECIES
- 8 BACK OF WALK CURB OR HEADSBOARD

C GROUND COVER PLANTING SCALE: NTS



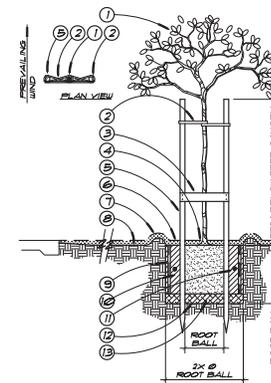
- 1 SHRUB PLANT SPECIES
- 2 SET ROOT BALL 1" ABOVE FINISH GRADE
- 3 BARK MULCH - 2" LAYER
- 4 3" HIGH BERM
- 5 FINISH GRADE
- 6 BACKFILL MIX PER SPECIFICATIONS
- 7 FERTILIZER TABLETS OMNOCOOTE OR EQUAL (2) 3 GAL. (1) 6 GAL.
- 8 SCARIFY SIDES AND BOTTOM OF FIT
- 9 LOOSEN BOTTOM 1" OF SOIL AROUND AND ROOT BALL

B SHRUB PLANTING SCALE: NTS



- 1 TREE
 - 2 TREE PLANTING 4 SUPPORT - SEE TREE PLANTING DETAIL
 - 3 TREE GRATE
 - 4 4" DIA. X 36" LENGTH FIVE DRAIN TUBE INSTALL GRATE ON TOP AND 6" DEPTH 3/4" DRAIN ROCK AT BOTTOM
 - 5 TREE GRATE FRAME CAST IN CONCRETE
 - 6 ADJACENT PAVING PER PLAN
- NOTES:
- A. TREE GRATE MODEL TO MATCH EXISTING
 - B. CONTRACTOR TO SUBMIT DRAWINGS AND SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION
 - C. TREE GRATES BY NEENAH FOUNDRY CO. AVAILABLE THROUGH METAL REPT. INC. AT 810-332-7131. FINISH TO BE NATURAL.
 - D. TREE GRATE FRAME TO BE 1-3/4" X 1-3/4" X 3/8" STEEL ANGLE FRAME GALVANIZED FRAME AVAILABLE THROUGH BAY SUPPLY 810-843-1019.

D METAL TREE GRATE SCALE: NTS



- 1 TREE
- 2 RUBBER TREE TIE SQUARE 8" PATTERN - ONE PER STAKE (2) GALVANIZED NAILS PER CONNECTION
- 3 1/4" ROUGH REDWOOD BRACE W/ (2) 3/8" GALVANIZED NAILS EACH CONNECTION
- 4 SET ROOT BALL 1" ABOVE FINISH GRADE
- 5 (2) 2" X 10" MIN. TREATED LOOSE POLE IN TREE STAKE INSTALL 6" MIN. INTO UNDISTURBED NATIVE SOIL
- 6 BARK MULCH - 2" LAYER
- 7 3" HIGH TEMPORARY BERM IN NON-TREE AREAS
- 8 FINISH GRADE
- 9 DEEP ROOT BARRIER WHERE TREE IS W/IN 6" OF ADJACENT PAVING OR CURBSIDE - 12' LENGTH
- 10 BACKFILL MIX PER SPECIFICATIONS
- 11 FERTILIZER TABLETS OMNOCOOTE OR EQUAL
- 12 SCARIFY SIDES AND BOTTOM OF FIT
- 13 LOOSEN BOTTOM 1" OF SOIL AROUND AND ROOT BALL

- NOTES:
- A. LOOSE POLE TREE STAKES 10' MIN. LENGTH. CONTRACTOR TO DETERMINE USE OF 12' OR 16' LENGTH BASED ON SIZE OF TREE SPECIMEN.
 - B. TEMP. CANOPY AS REQUIRED TO REMOVE DAMAGED OR BROKEN LIMBS.
 - C. ROOT BARRIER TO BE DEEP ROOT LB 8-0 OR APPROVED EQUAL. AT BACK OF WALK, EXTEND 6' BEYOND TREE EACH WAY.

A TREE PLANTING SCALE: NTS



REVISIONS:

DATE	DESCRIPTION
11/23/17	ISA COMMENTS
11/23/17	CITY COMMENTS
11/23/17	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**

MBA ARCHITECTS
116 ANGLIN AVENUE
SAN JOSE, CA 95096

2200 WINCHESTER BLVD. #116
SAN JOSE, CA 95128



SHEET TITLE: **PLANTING DETAILS**

SCALE: **AS NOTED**

DATE: **11/28/16**

JOB #: **LOD 16100**
MBA 1555

SHEET #

LANDSCAPE CONSTRUCTION SPECIFICATIONS

GENERAL PROVISIONS

A. DESCRIPTION AND SCOPE OF WORK

The Written Contract, general conditions and special conditions shall form a part of this contract. The work shall be performed according to the Contract Documents and to the satisfaction of the Owner. This Contract shall consist of construction of improvements as shown on the Plans and as specified herein.

Scope of work for this project shall include clearing, grubbing, removal of debris, and other work necessary to prepare the site for construction of improvements. This includes, but is not limited to, final grading, irrigation planning and maintenance, and miscellaneous appurtenant facilities relating to the improvements.

B. LAIS TO BE OBSERVED

The Contractor shall so conduct operations as to cause the least possible obstruction and inconvenience to public traffic. The Contractor shall furnish, erect and maintain such fences, barriers, lights and signs and/or advance warning signs as are necessary to give adequate warning and provide safety to the public at all times.

The use of Flash-Lite Model numbers R-2 and R-4, or approved equals, shall be permitted only in specifically approved locations and only to the extent of 50% of the total amount of necessary lighting. Other models of lesser candle power may be permitted in some approved locations at the discretion of the City Engineer.

All traffic shall be permitted to pass through the work unless otherwise designated by the Owner, regardless of the road or street shall be provided passage as far as practicable. The method of dust control utilized shall be approved by the Owner and the governing agency having jurisdiction on the Project.

No payment shall be made to the Contractor for maintaining traffic.

H. PROTECTION OF WORK

The Contractor shall provide adequate protection of all work until final completion and acceptance. Contractor shall take particular care to protect existing site elements and facilities which are to remain. All damaged or disturbed items shall be replaced or repaired prior to acceptance at no additional cost to the Owner.

I. REQUIRED NOTICE OF OPERATIONS

Forty-eight (48) hours prior to commencing operations, Contractor shall notify the Owner. After work has started and the Contractor has completed the work, Contractor shall again notify the Owner twenty-four (24) hours prior to resuming operations.

J. PROGRESS SCHEDULE

A written progress schedule shall be required of the Contractor for this project. Changes in the progress or the scheduling are necessitated by weather, supply problems, etc., an up-dated schedule shall be delivered to the Owner, weekly.

K. PURPOSE OF DOCUMENTS

The intent of the documents is to include, unless otherwise stated, the labor, materials, equipment, appliances and transportation for the proper execution of the work as required for complete construction as shown on the Plans and as specified herein. The Contractor shall be responsible for complete liability of improvements as shown on the Plans and as specified herein. Written dimensions shall take precedence over scaled dimensions. Piping and conduit layouts are schematic drawings. Final sizes shall be determined by the Contractor and appropriate action is taken by the Owner's Authorized Representative. Each plant shall be installed in locations as shown on the Plans. Plants improperly located shall be relocated at no additional cost to the Owner. Notwithstanding, it is the fact that these documents may be deficient in setting forth a complete detailed description of the work to be done. Should it be necessary that the work be done, or any matter relative thereto is not sufficiently detailed or explained in these Specifications, Plans and the Special Provisions, the Contractor shall apply to the Owner and/or Landscape Architect for such further explanations as may be necessary, and shall conform to such explanation or interpretation, so far as may be consistent with the intent of the original Plans and Specifications.

L. LAYOUT IMPROVEMENTS

The Contractor will layout the basic controls, including base lines, establish stationing, bench marks and will check configurations and elevations. The Contractor shall be responsible for complete loss of damaged during the course of construction, at no additional cost to the Owner.

M. ARCHAEOLOGICAL REQUIREMENTS

During the course of construction, should any archaeological or paleontological objects be found, all work shall be halted within a 50 meter radius of the find. The Owner shall be immediately notified of the finds and shall ascertain the nature of the find. The project shall remain in effect in addition to the above.

N. WATERING

The Contractor shall be responsible for normal water requirements during construction if water service is or is not available on the project site.

The Owner and Contractor shall agree as to who will bear the actual water costs for the project and the bill become part of their Contract.

The Owner shall arrange and pay for water meter, meter installation and when completed, the installation and service connection work shall be done by the water company servicing the Project. The Contractor shall connect flood control water meter and complete entire system as shown on Plans and Specifications.

O. SUBMITTALS AND SHOP DRAWINGS

Description: The purpose of this section is to define the submittals and shop drawings required for this Project. Should

one of these requirements be found elsewhere in the Specifications or on the Plans and not be listed herein below, it shall still be the Contractor's responsibility to provide said submittals and shop drawings. The Owner, at his/her option, may request inspection for these materials at the job site upon the Contractor's prior approval of submittal samples.

Submittals and/or Shop Drawings Required on:

1. All irrigation materials
2. All electrical materials
3. Mulch
4. Plant materials and nursery order
5. Seed
6. Soil driving site soil test results
7. Imported top soil test results
8. Jute netting

Approval of Submittals and Shop Drawings:

The Owner's Authorized Representative shall review and take appropriate action on specified Contractor submittals, including shop drawings, product data, and samples. Such action shall be taken with respect to the Contractor's submittals only for conformance with the design concept and for compliance with the information given in the Plans and Specifications. The Owner's Authorized Representative review or comment, as respects a specific item shall not indicate approval of an assembly of which the item is a component, nor shall it relieve the Contractor of his responsibilities for the means, methods, sequences, or safety of the construction.

F. DUST CONTROL

Dust control shall be the responsibility of the Contractor at no additional cost to the Owner. This must be accomplished by the Contractor whenever so directed by the City Inspector and the method of dust control utilized shall be approved by the Owner and the governing agency having jurisdiction on the Project.

G. EXISTING CONDITIONS AND CONDITIONS AFFECTING THE WORK

It shall be the responsibility of the Contractor to visit the site to familiarize himself/herself with the existing conditions, both surface and subsurface and to verify at the site the locations and depths of existing facilities within the project area. If necessary, the Contractor shall expose underground utilities and/or structures so they may be accurately located by survey. This will be performed at no additional cost to the Owner.

Relevant soil reports and other subsurface data are on file with the Owner. The information is made available in order that the Contractor may have ready access to it before commencing work. The Contractor shall be responsible for the accuracy of the information available to the Owner and the Landscape Architect and is not part of the Contract.

The Contractor shall promptly notify the Owner in writing of subsurface or latent physical conditions at the site differing from those indicated in this Contract and previously approved in writing by the Owner. The Contractor shall be responsible for the accuracy of the information available to the Owner and the Landscape Architect and is not part of the Contract.

Whenever feasible, said notice shall be submitted to the Owner before such conditions are disturbed and the Owner shall be given the opportunity to investigate the conditions. If such are found to exist, and will affect the Contract completion, the completion time will be equitably adjusted (see section J, Progress Schedule).

Changes made to the Plans, Specifications, or to the materials, workmanship, etc., or any other departure from the method and means as described in the Plans, Specifications, or the Contract without the written consent of the Landscape Architect and the Owner's Authorized Representative shall be unauthorized and shall relieve the Landscape Architect and the Owner of liability and responsibilities for all consequences resulting therefrom as a result of such changes.

By executing this Contract, the Contractor represents that he has, by examination satisfied himself as to the nature and location of the work, the character, kind and quality of equipment and facilities needed for the prosecution of and completion of the work, the general and local conditions and all other matters which can in any manner affect the work under this Contract.

R. PUBLIC UTILITIES

The Contractor shall notify in writing all necessary public utility companies of the approximate time that the work set forth in these specifications will start, with a copy forwarded to the Owner.

Unless previously given, such notification shall be made at the time of execution of the agreement.

In order to avoid the removal or disturbance of the proposed improvements, the Contractor shall cooperate with the utility companies and allow such companies sufficient time to construct, reconstruct, or extend their facilities before sub-grades or surfaces are disturbed or constructed.

The Contractor shall be responsible for ascertaining the locations and elevations of existing utilities (Contact: underground utility service call at 1-800-487-4874). The Contractor shall locate and marking prior to any excavation. The Contractor shall also conduct his own investigation to determine the location and marking prior to any excavation. The Contractor shall be fully responsible for any damage caused by his work and his sub-contractors, to any existing site element during construction. The Contractor shall completely repair or replace any item damaged with its equivalent at no additional cost to the Owner.

Water, Gas, Electric, Cable TV, and Telephone Services: Caution shall be exercised in the prosecution of the work so that no underground utilities will be disturbed. The Contractor shall notify the appropriate utility companies at least twenty-four (24) hours in advance of such time that excavation or other work is to be done along the location of the work in order that said companies may do such work as required to maintain uninterrupted service to the premises.

S. TEMPORARY SUSPENSION OF WORK

The Owner shall have the authority to suspend work wholly or in part for such period as he may deem necessary, due to unstable weather, or to such other conditions as are considered unfavorable for the suitable prosecution of work, or for such time as he may deem necessary due to the failure of any part of the work, or to any other cause. The Contractor shall perform all provisions of the work as the Contractor shall immediately obey such orders of the Owner and shall not resume the work until ordered in writing by the Owner.

T. CONTROL OF MATERIALS

Samples and Tests: At the option of the Owner, the sources of

supply of much of the materials shall be approved by the Owner before delivery is started and before such material is used in the work. The Contractor's responsibility to provide said submittals and shop drawings. The Owner, at his/her option, may request inspection for these materials at the job site upon the Contractor's prior approval of submittal samples.

All tests of materials furnished by the Contractor shall be made in accordance with commonly recognized standards of national organizations and approved methods and tests as first prescribed in these Specifications. The Contractor shall furnish such samples of materials as are requested by the Landscape Architect and shall be responsible for the cost to the Owner. Materials shall be used until it has been approved by the Owner. Samples will be removed or tested whenever necessary to determine the quality of material.

Defective Materials: All materials not conforming to the requirements of these Specifications shall be considered as defective and all such materials, whether in place or not, shall be rejected and shall be removed immediately from the site of the work unless otherwise permitted by the Owner. No rejected materials, the defects of which have been subsequently corrected, shall be used until approved by the Owner.

Owner's cost for testing materials furnished in lieu of materials which have failed the initial testing procedure shall be deducted from monies due the Contractor.

Removal of Defective Work: All work which is defective in its construction or deficient in any of the requirements of the Plans and Specifications shall be rejected or removed and replaced by the Contractor in an acceptable manner at no additional cost to the Owner.

Upon failure on the part of the Contractor to comply forthwith with any order of the Owner made under the provisions of this article, the Owner shall have authority to suspend all work until the Contractor has rectified or removed and replaced, and unauthorized work is removed.

U. TERMINATION

The Owner may terminate this Contract without cause upon ten (10) days prior written notice, and in such event, the Owner shall pay to the Contractor the reasonable value of Contractor's prior performance.

V. LIENS

The Contractor shall promptly pay all indebtedness for labor, materials, and equipment used in the performance of the work. The Contractor shall be responsible for any liens or claims which attach to the work, the premises, or the construction loan funds, and shall have the responsibility to defend and satisfy the same. The Contractor hereby agrees to indemnify, defend and hold harmless to the Owner, the Construction Lender, the Landscape Architect and the premises against all liability and expenses incidental thereto, including reasonable attorney's fees connected therewith.

W. EQUAL AND/OR APPROVED EQUAL

Whenever the terms "or equal" and/or "approved equal" are used following a brand name or the mention of any patented product in the Plans and/or Specifications, they shall be deemed to mean "or equal in quality and utility".

X. LANDSCAPE ARCHITECT

Whenever the term LANDSCAPE ARCHITECT is used throughout the Plans and Specifications, it shall mean LAND Ouser Designs, Inc., PO Box 36310, San Jose, CA 95136-0310, 1-408-460-7371.

Y. OWNERSHIP OF DOCUMENTS

The Plans and Specifications, as instruments of service, are and shall remain the property of the Landscape Architect, whether the project for which they are made is executed or not. The Owner shall be permitted to retain copies, including all information and reference in connection with the Owner's use and occupancy. The Plans and Specifications shall not be used by the Owner on other projects. For additions to the Plans and Specifications, the Contractor shall have an agreement in writing and provided the Landscape Architect is not in default under this Agreement, with appropriate consideration to the Landscape Architect.

SITE PREPARATION SPECIAL PROVISIONS

A. DESCRIPTION

Work under this item consists of:

1. Clearing and grubbing
2. General:

The clearing, grubbing and removal of debris from the site shall include the removal of existing site elements as called for on the Plans, but shall not necessarily be limited to those items listed on the Plan documents and specified herein. Should the Contractor encounter any existing site element or appearance during excavation, demolition or another activity, the Contractor shall immediately notify the Owner. Plans the Owner shall be notified immediately prior to any excavation or other work to be done along the location of the work in order that said companies may do such work as required to maintain uninterrupted service to the premises.

The Contractor shall visit the site to familiarize himself with the existing conditions and all site appearances which are indicated on the Plans and specified herein as to be removed. The site elements listed on the Plans to be removed shall be removed and the location of the work shall be marked on the Plans and the governing agencies having jurisdiction over the work by the Contractor at no additional cost to the Owner.

All modifications as indicated on the Plans will be performed as to minimize the disturbance of all all site appearances which are to remain. Any existing site elements which are damaged during the work shall be replaced by the Contractor at no additional cost to the Owner.

C. CLEARING AND GRUBBING

Clearing and grubbing shall consist of clearing the area within the limit of work of all objectionable plant material, to include roots, snags, brush, grass, weeds, and similar undesirable vegetation and any other debris found at the site not shown on the Plans and Specifications to be included as part of this project. Trees and shrubs include the complete stump, and any roots and limbs extending beyond the site boundary. Following this procedure, each area shall be returned to original condition and the Contractor shall be responsible for the removal of all debris from the site and disposal of by the Contractor in a manner acceptable to the Owner.

In addition to the clearing of vegetable growth, the area shall

be grubbed to a depth of one (1) inch below finished grade, of debris and rocks over one inch (1") in size. Said material shall be removed from the site and disposed of in a manner acceptable to the Owner. The Contractor may upon written approval of the Owner, request on-site disposal of such material. On-site disposal shall not exceed one (1) cubic foot in size and shall be placed a minimum of thirty-six (36) inches below finished grade in approved locations.

IRRIGATION SPECIAL PROVISIONS

A. DESCRIPTION

It is the intention of these Specifications to operate in an efficient and satisfactory manner according to the underlining standards established for sprinkler operation. Notwithstanding the fact that these Specifications may be deficient in setting forth a complete detailed description of the work to be done, it shall be the responsibility of the Contractor to install the irrigation system in such a manner that it shall operate efficiently and with full coverage. Work included under this section shall consist of construction a complete new and operating irrigation system.

Work includes all elements relating directly to the irrigation system from the point of connection to the most distant sprinkler head and includes furnishing and/or paving for all materials, labor, tools, transportation and services required. Details of installation and construction shall conform to the Plans and Specifications, and referenced documents found on Page 1 "General Provisions".

Before proceeding with any work, the Contractor shall carefully investigate the site conditions and shall report any variations to the Owner's Authorized Representative as called for in Item 2. The Contractor shall be responsible for the cost of any static water pressure test at the point of connection prior to installation of any portion of the irrigation work. Should the Contractor encounter any existing site element or appearance during excavation, demolition or another activity, the Contractor shall be notified immediately prior to any excavation or other work to be done along the location of the work in order that said companies may do such work as required to maintain uninterrupted service to the premises.

Included in the work shall be furnishing and installing:

1. Trimming and backfilling
2. Static pressure mains pipe
3. Branch irrigation lines (laterals)
4. Pipe riser and/or drop pipe
5. Remote control valves
6. Electrical power distribution system to remote control valves
7. Quick coupling valves
8. Sprinkler heads (including adjustments, and reasonable amount of heads as required to give complete coverage)
9. Gate valves
10. Automatic irrigation controller
11. Flushing lines
12. Testing lines
13. Backflow prevention device
14. Irrigation controller housing
15. All other items and miscellaneous appurtenances relating to this section of the work.

The system shall efficiently and evenly irrigate all areas and shall be complete in every respect, and shall be left ready for operation.

B. MATERIALS

General: All valves and fittings shall be designed for and shall meet the requirements for service at an operating pressure of 100 pounds per square inch, unless otherwise specified.

All valves and fittings shall have connections compatible with the pipe and fittings as selected by the Contractor. Mechanical joints or slip-type joints are used, the Contractor shall furnish and install necessary Portland Cement Concrete Class II, 4000 psi, blocks as specified by the Owner's Authorized Representative.

Polyvinylchloride (PVC)

All Plastic pipe shall be continuously and permanently marked with the following information: Manufacturer's name, kind of pipe material, size, NSF approved, and class/grade type.

The manufacturer shall also mark the date of extrusion on the pipe. This dating shall be done in conjunction with records to be held by the Contractor for two years, covering quality control tests, raw material batch numbers and any other information deemed material by the manufacturer.

Guarantee shall cover workmanship of materials from the plastic pipe manufacturer for all plastic pipe and fittings. Static pressure irrigation main lines shall be Class 35 PVC Type 100-1200 for 1-1/2" size and larger, Schedule 40 PVC Type 100-1200 for 2" size and smaller. Lateral irrigation lines (non-pressure) shall be class 200 PVC Type 100-1200. PVC pipe and fittings shall be NSF approved. Pipe length shall be Schedule 40 PVC Type 100-1200 1-1/4" minimum.

Risers

Shall be Schedule 80 PVC (gray) unless otherwise indicated on the Plans.

Pipe Fittings

Pipe fittings shall be of the same materials as pipe where applicable and recommended by the pipe manufacturer for the particular type of pipe to which they are to be connected, unless otherwise indicated on the details. Fittings shall conform to the requirements of one of the following specifications.

PVC joints shall be sealed with materials as provided or recommended by the pipe manufacturer.

Treated fittings shall be factory-made; no field threading will be allowed.

All slip-joint PVC fittings shall be Schedule 40 PVC Type 1 Grade I solvent weld type fittings or Schedule 80 PVC Type 1 Grade I solvent weld fittings as shown on the details.

Connections between mains and remote control valves shall be made with Schedule 80 PVC (gray) (cross-linked both ends) nipples and valves, cocks, stops, etc.

Provide and install all valves as indicated on the piping systems in which they are incorporated. All main shut-off valves

shall be brass or bronze (Valves two and one-half (2-1/2) inches and larger shall be bronze or IBM3). A valve box and locking cover of adequate size to allow maintenance needed shall be installed over each main shut-off valve in the system. Valve boxes shall be Caston, Brooks or approved equal with locking cover. See Plan Details for proper box installation.

Manual Angle Control Valves: Valves shall be as indicated on the Plans.

Automatic Controllers: The automatic controller will be the brand and model number as indicated on the Plans, and shall include:

1. The Controller Unit;
2. Installation of the Unit;
3. Connection of control wires for remote control valves;
4. All other appurtenances and tests necessary to complete installation of Unit.

Automatic controller shall operate on 120 volt, single phase, alternating current and shall be connected to a transformer which will supply a 24 volt current for operation of the electric remote control valve. The Owner's Authorized Representative shall provide 120 volt service and connection to the controller. In addition, the controller shall be equipped with or shall be capable of the following:

1. Full automatic operation capable of operating a complete fourteen (14) day minimum irrigation program.
2. Switch control on face of control panel for 'on-off' and manual automatic operation.
3. Fuse or circuit breaker protection for the controller and the remote control valve.
4. Variable timing to a maximum of sixty (60) minutes at each station.
5. Omitting any station by simple adjustment.
6. Manual operation of any single adjustment.
7. Resetting to start of irrigation system at any time and advancement from one position to another.
8. Permit any remote control valve to remain in operation until manually turned off with a controller in manual operation.
9. Repeating the entire cycle of operation upon completion of the initial cycle.
10. Timing adjustments and clock settings capable of being made in 15 minute increments. The system shall only be operated between the hours specified by City Engineer. Plans and specifications shall be established (within the initial installation maintenance period).

Backflow Prevention Device: Shall be as indicated on the Plans and shall conform to all applicable codes, rules, regulations and ordinances, as required by governing agencies having jurisdiction.

Remote Control Valves:

Remote control valves will be the brand and model number as indicated on the Plans and shall conform to the requirements of one of the following specifications:

1. Remote control valves shall have a body with globe or angle thread (as shown on the Plans) and shall be normally closed. Valves shall be completely serviceable from the top with a wheel or nut type manual adjustment with packing gland. Each valve shall be equipped with a pressure gauge. The adjustment shall remain in set position when the valve is operated manually or automatically. The adjustment feature shall be automatic, requiring no adjustment to the valve for four (4) seconds. Each valve solenoid shall be designed for operation on 120 volt AC circuit, 1/8 watt minimum. Remote control valves and controller components shall be compatible.
2. Included as part of this item for each valve will be a Caston R-10 box, Caston R-3 box or Brooks No. 3 box (each with lockable lid); or approved equal, gravel bed, applying to control wires and remote control, tee or saddle and all other fittings for connection to main, and all other items necessary to complete this item as shown on the Plans. Boxes subject to vehicular traffic shall be concrete and have heavy duty steel covers approved prior to installation.

Quick Coupling Valves: Shall be two (2) piece bronze construction one (1) inch angle slot type with locking metal cap, capable of withstanding working pressure of 100 PSI without leakage. Quick coupling valves to be installed on swing joint assembly (as shown on the Plans).

Sprinkler Heads: Shall be as specified on the Plans.

Underground Control Wires:

Control wire shall be solid copper single conductor, Type UF, 18 AWG with a minimum length of 100 feet. The Contractor will be responsible for length of run, as per manufacturer's specifications. Common wire shall be No. 12 gauge minimum and pilot wire shall be No. 14 gauge minimum.

The insulation shall be 4/64 inch thick minimum covering of an approved thermoplastic compound for positive waterproof protection on the Plans. The Contractor will be responsible to withstand a crush test of 5000 PSI. Common or neutral conductors shall be white.

Other control wires to the remote control valves shall be red.

Underground Control Wire Connectors:

Underground control wire connectors shall be Rain Bird "Snap-Tite" 87-824L for wire sizes #4, #2, #4, #6, and #8 or approved equal for both.

C. CONSTRUCTION METHODS

GENERAL

The Contractor shall install the specified pipe, valves, fittings, wiring, switches, controls and appurtenances at the locations indicated on the Plans. The Contractor will be responsible to coordinate with the General Contractor and/or Owner, the installation of pipe elevating that is to pass under paving not yet installed.



DATE	DESCRIPTION
11/27/16	FINAL CONTRACT
11/27/16	CITY COMMENTS
12/14/16	SITE PLAN

PROJECT: COMMERCIAL RETAIL
 2200 WILSHIRE BLVD. #116 SAN JOSE, CA 95131
 2200 WILSHIRE BLVD. #116 SAN JOSE, CA 95131

STAMP: I-LOID LANDSCAPE OVERSEEING ARCHITECTS
 12377
 STATE OF CALIFORNIA

SHEET TITLE: LANDSCAPE SPECIFICATIONS
 SHEET #

SCALE: AS NOTED
 DATE: 11/28/16
 JOB #: LDB 16-100
 MOB 1555

SHEET #

SCALE: AS NOTED
 DATE: 11/28/16
 JOB #: LDB 16-100
 MOB 1555

SHEET #

REVISIONS	BY

ALVAREZ & ASSOCIATES
 1400 CAPITOL AVE
 SAN JOSE, CA 95127
 (408) 272-7929

TOPOGRAPHIC SURVEY
 2220 WINCHESTER BLVD
 CAMPBELL, CA



DECEMBER 07, 2015
 JOB # = 15-148
 MAP SCALE 1"=10'
 DRAWN BY = TP
 FIELD SURVEY BY = HA
 APN = 412-04-049

BASIS OF BEARINGS

THE BEARING N 89°49'00" E OF THE MONUMENT LINE OF SUNNYSIDE AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 672 OF MAPS AT PAGES 17-19 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, CALIFORNIA WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

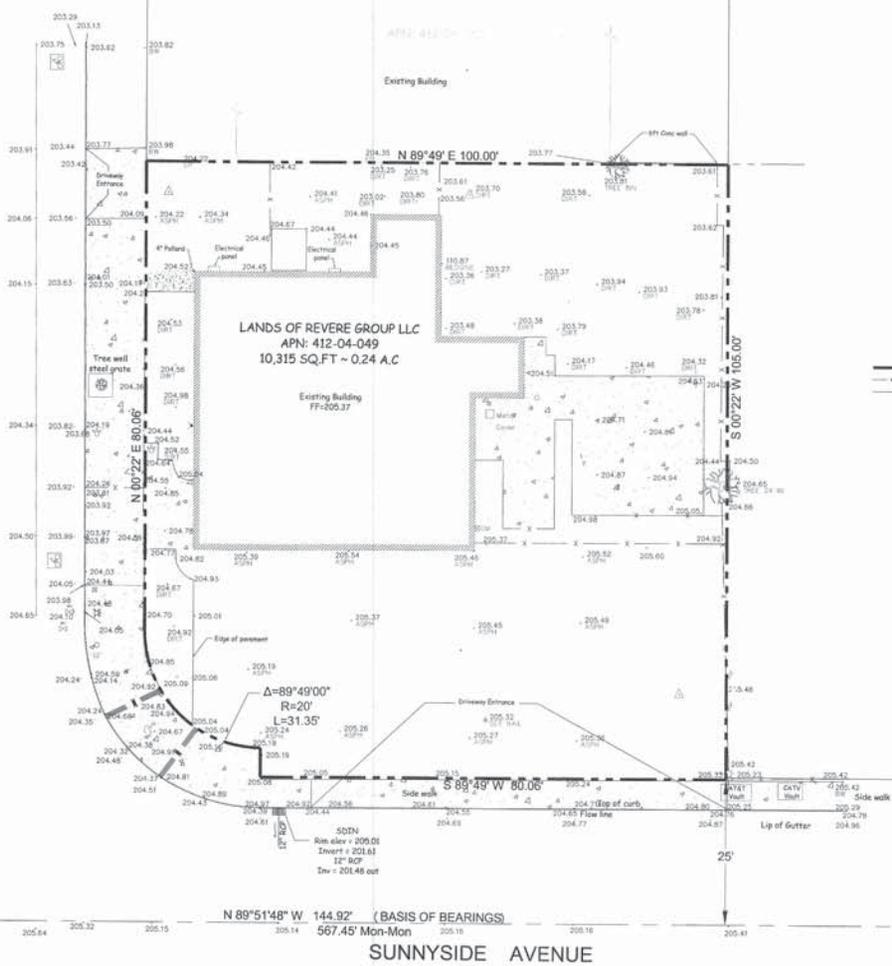
LEGEND:

- PROPERTY LINE
- - - CENTER LINE
- - - FENCE LINE
- FOUND STANDARD STREET MONUMENT
- △ CONTROL POINT
- ▽ HANDICAP RAMP
- ▭ SIDE WALK
- ▲ HOSE BIB
- ⊕ GUY WIRE
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ GAS METER
- ⊕ FIRE HYDRANT
- ⊕ CATCH BASIN
- ⊕ SEWER CLEAN OUT
- ⊕ ELECTRODE
- ⊕ POWER POLE
- ⊕ STREET LIGHT BOX
- ⊕ TREES WITH TRUNK DIAMETER NOTED
- TRM TEMPORARY BENCHMARK
- ASPH ASPHALT
- SW BACK OF WALK
- FL FLOW LINE
- SWN STORM DRAIN INLET

SCALE 1 INCH = 10 FEET



WINCHESTER BLVD
 N 00°22' E 80.00'



Held City of Campbell Vertical Datum
 Benchmark # 39 - 25" Brass Disk
 Elevation = 205.37