



CITY OF CAMPBELL
Community Development Department

August 31, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 11, 2018**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public hearing to consider the application of Jeffrey Mar for a Major Modification (PLN2018-213) to a previously approved Planned Development Permit (PD 82-09) to allow construction of a 550 square-foot accessory structure within the Heritage Village Apartments on property located at **23 Heritage Lane**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

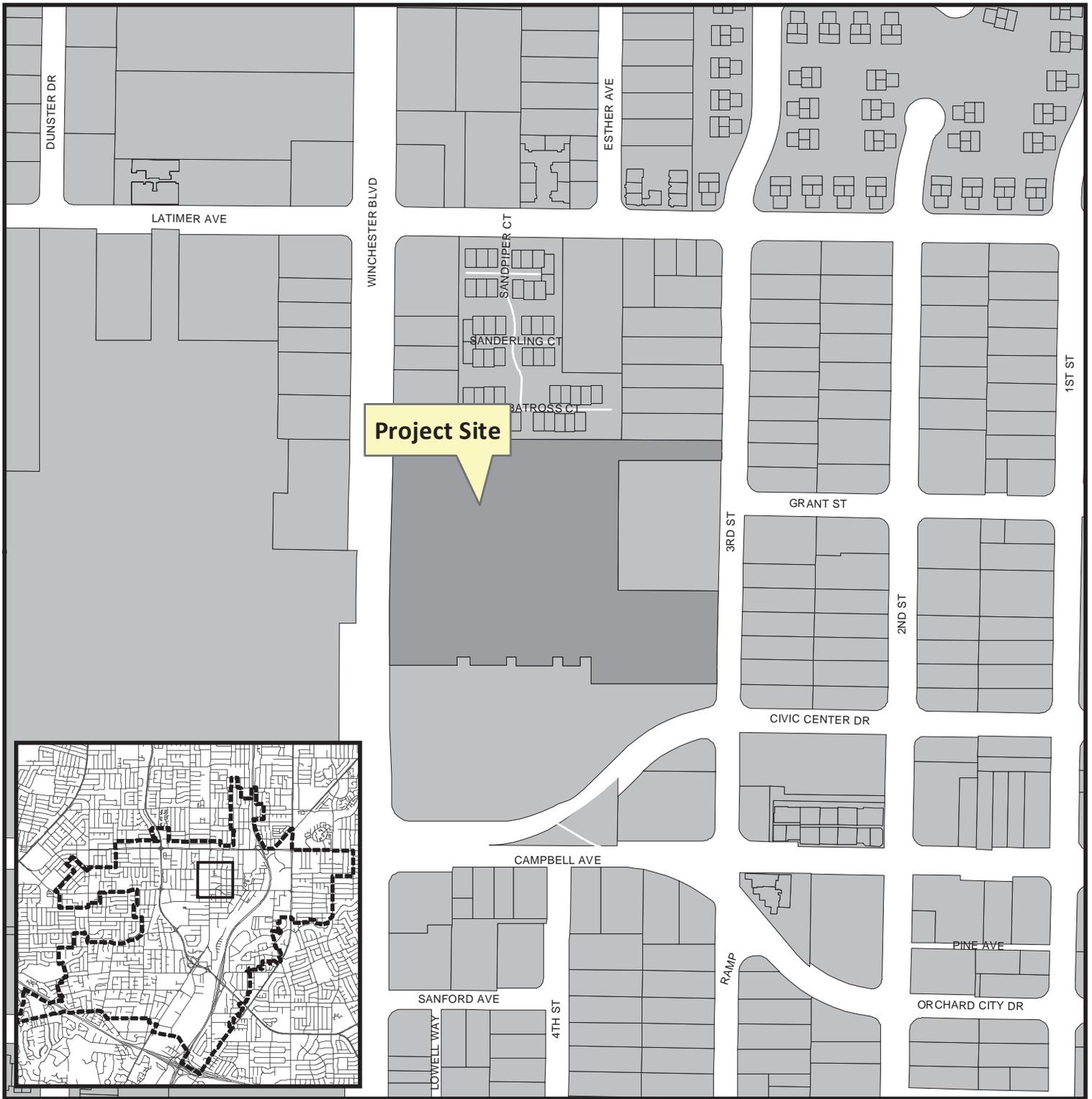
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

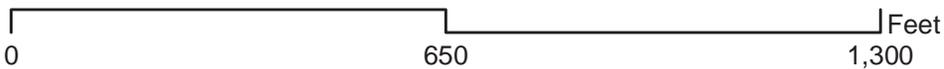
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **23 Heritage Lane**

Project Location Map



Project Location: 23 Heritage Ln.
Application Type: P-D Permit Modification
Planning File No.: PLN2018-23



Community Development Department
Planning Division

HERITAGE VILLAGE APARTMENTS STORAGE BUILDING ADDITION

22 HERITAGE VILLAGE LN, CAMPBELL, CA 95008

HERITAGE
VILLAGE
APARTMENTS
STORAGE
ADDITION

23 HERITAGE VILLAGE LN
CAMPBELL, CA 95008

COVER
SHEET

JULY 30, 2018



REVISIONS:
PLANNING SUBMITTAL 06-25-2018
PLANNING RESUBMITTAL 07-31-2018



* SCHEMATIC RENDERING
CARPENTRY OMITTED FOR CLARITY

PROJECT INFORMATION

ADDRESS: 23 HERITAGE VILLAGE LANE
CAMPBELL, CA 95008

APN: 279-511-45

OWNER: JEFFREY MAR
51 E. CAMPBELL AVE. #200
CAMPBELL, CA 95008

ZONING: P-D

USE: MULTI-RESIDENTIAL R-2

MULTI-RESIDENTIAL UNITS: 144 @ 6.23/ACRE
(HIGH DENSITY RESIDENTIAL 21-27 D.U./ACRE)

(E) BLDG S.F.: 110,508 S.F.

(E) SITE AREA: 6.23 ACRES (271,777 S.F.)

(E) F.A.R.: 0.4066

(E) PARKING: 257 STALLS (NO CHANGE)

(E) TOTAL BLDG FOOTPRINT: 55,350 S.F.
(20.37% SITE COVERAGE)

(E) TOTAL LANDSCAPE AREA: 76,670 S.F.
(28.21% SITE COVERAGE)

(E) TOTAL PAVED AREA: 139,757 S.F.
(51.42% SITE COVERAGE)

(N) STORAGE ADDITION: 550 S.F.

(N) CONCRETE WALK ADDITION: 274 S.F.

(N) TOTAL BLDG FOOTPRINT: 55,900 S.F.
(20.57% SITE COVERAGE)

(N) TOTAL LANDSCAPE AREA: 75,846 S.F.
(27.91% SITE COVERAGE)

(N) TOTAL PAVED AREA: 140,031 S.F.
(51.52% SITE COVERAGE)

(N) F.A.R.: 0.4086 [(E)110,508 + (N)550] / (E) 271,777

SCOPE OF WORK

TO ADD +/- 550 S.F. OF STORAGE BUILDING ON EXISTING LANDSCAPING AREA AT AN EXISTING MULTI-RESIDENTIAL SITE. SCOPE ALSO INCLUDES DRIVEWAY RECONSTRUCTION ON WINCHESTER BOULEVARD (CLOSEST TO NEW STORAGE BUILDING) PER PUBLIC WORKS REQUEST.

NEW STORAGE WILL AID OVERFLOW OF MAINTENANCE EQUIPMENT CURRENTLY STORED AT POOL HOUSE AND PROVIDE STORAGE SPACE FOR ONGOING FACILITIES MAINTENANCE.

PROJECT TEAM

OWNER:
JEFFREY MAR
51 E. CAMPBELL AVE. #200
CAMPBELL, CA 95008
TEL: 408-376-5003
jmar@heritagerg.com

ARCHITECT:
ILIN SHIEH
5660 CALMOR AVE. #2
SAN JOSE, CA 95123
TEL: 408-768-2613
ilin.shieh@gmail.com

SHEET LIST

- A0.0 COVER SHEET
- A0.1 TRACT MAP
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FLOOR PLAN & ROOF PLAN
- A2.1 PROPOSED SITE ELEVATIONS
- A2.2 PROPOSED BUILDING ELEVATIONS
- A3.1 PROPOSED PERSPECTIVES & SECTIONS
- A4.0 EXISTING SITE PHOTOS

PRELIMINARY BUILDING CODE ANALYSIS

- (E) USE: R-2 MULTI-RESIDENTIAL
- (E) BUILDING TYPE: V-B NON-SPRINKLERED
- (E) STORY: 2 STORIES RESIDENTIAL
- (E) HEIGHT: +/- 25 FEET
- (N) PROPOSED USE: S-1 STORAGE

CODE REQUIREMENTS:

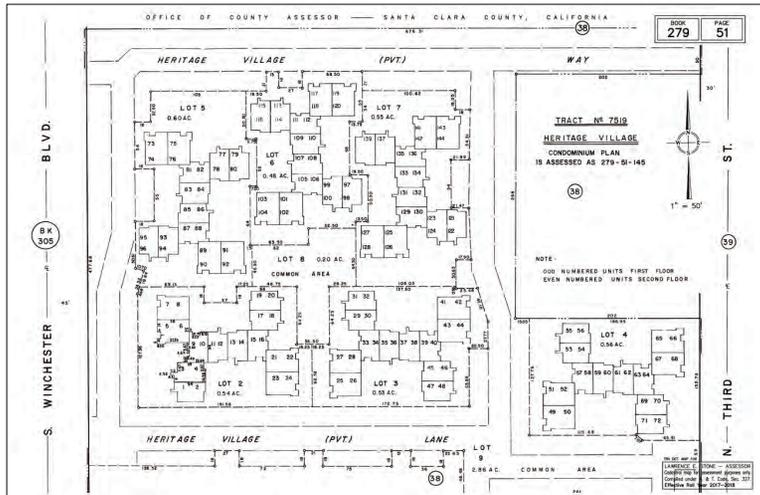
- S-1 ALLOWABLE BUILDING HEIGHT
40 FEET FOR TYPE V-B, NS, (PER CBC TABLE 504.3)
- S-1 ALLOWABLE NUMBER OF STORIES
1 STORY FOR TYPE V-B, NS, (PER CBC TABLE 504.4)
- S-1 ALLOWABLE FLOOR AREA
9,000 S.F. FOR TYPE V-B, NS, (PER CBC TABLE 506.2)

PROPOSED:

- S-1 STORAGE BUILDING HEIGHT
21'-11" TO RIDGE < 40 FEET MAX.
- S-1 STORAGE NUMBER OF STORIES
1 STORY ≤ 1 STORY MAX.
- S-1 STORAGE FLOOR AREA
550 S.F. < 9,000 S.F. MAX.

BUILDING SEPARATION

- 10' TO INTERIOR P.L., 15% UNPROTECTED OPENING MAX.
(PER CBC TABLE 705.8)

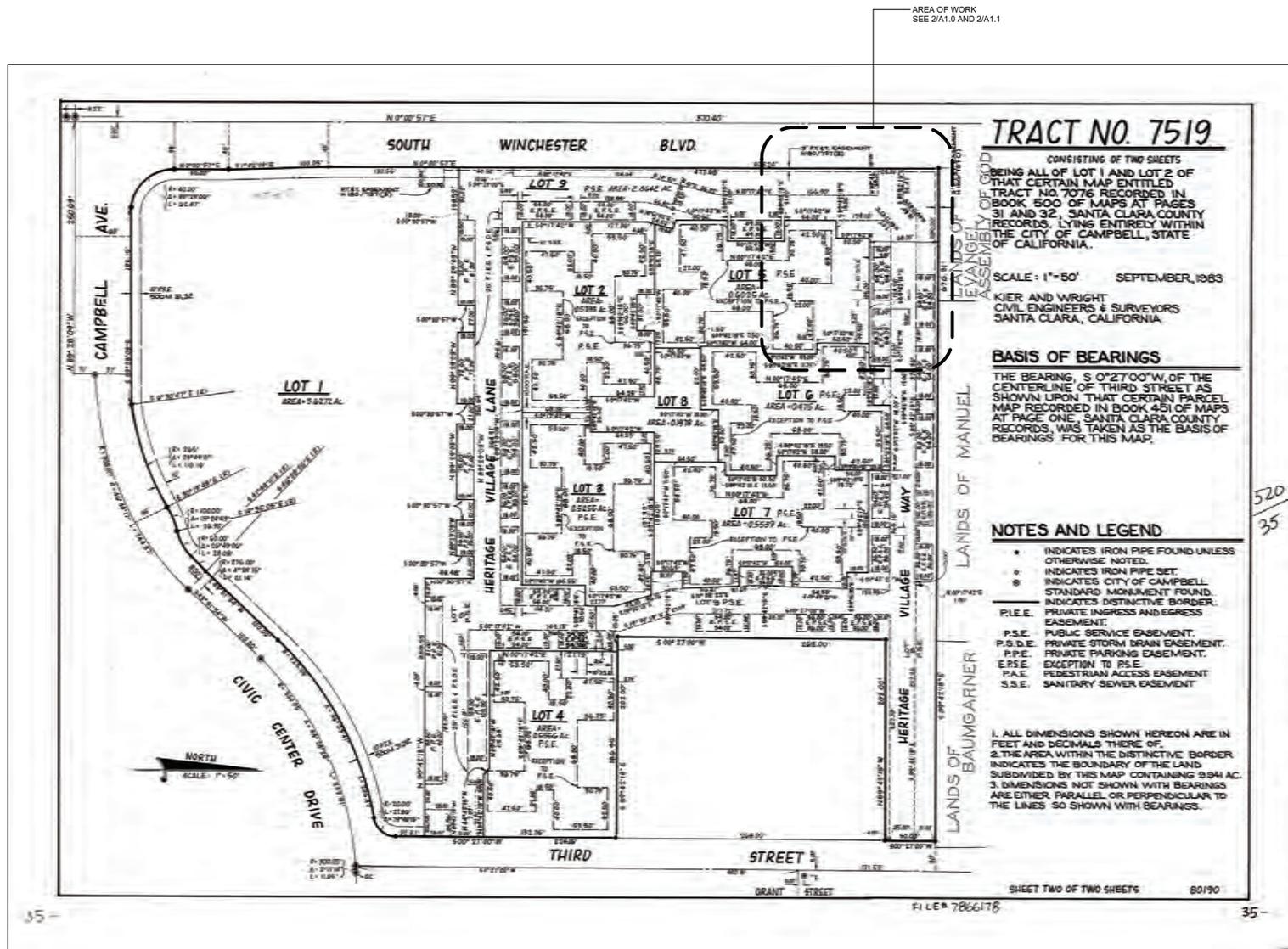




REVISIONS:

PLANNING SUBMITTAL 06-25-2018
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TRACT MAP FOR REFERENCE ONLY



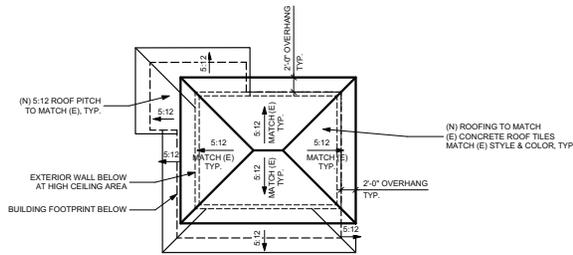
City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

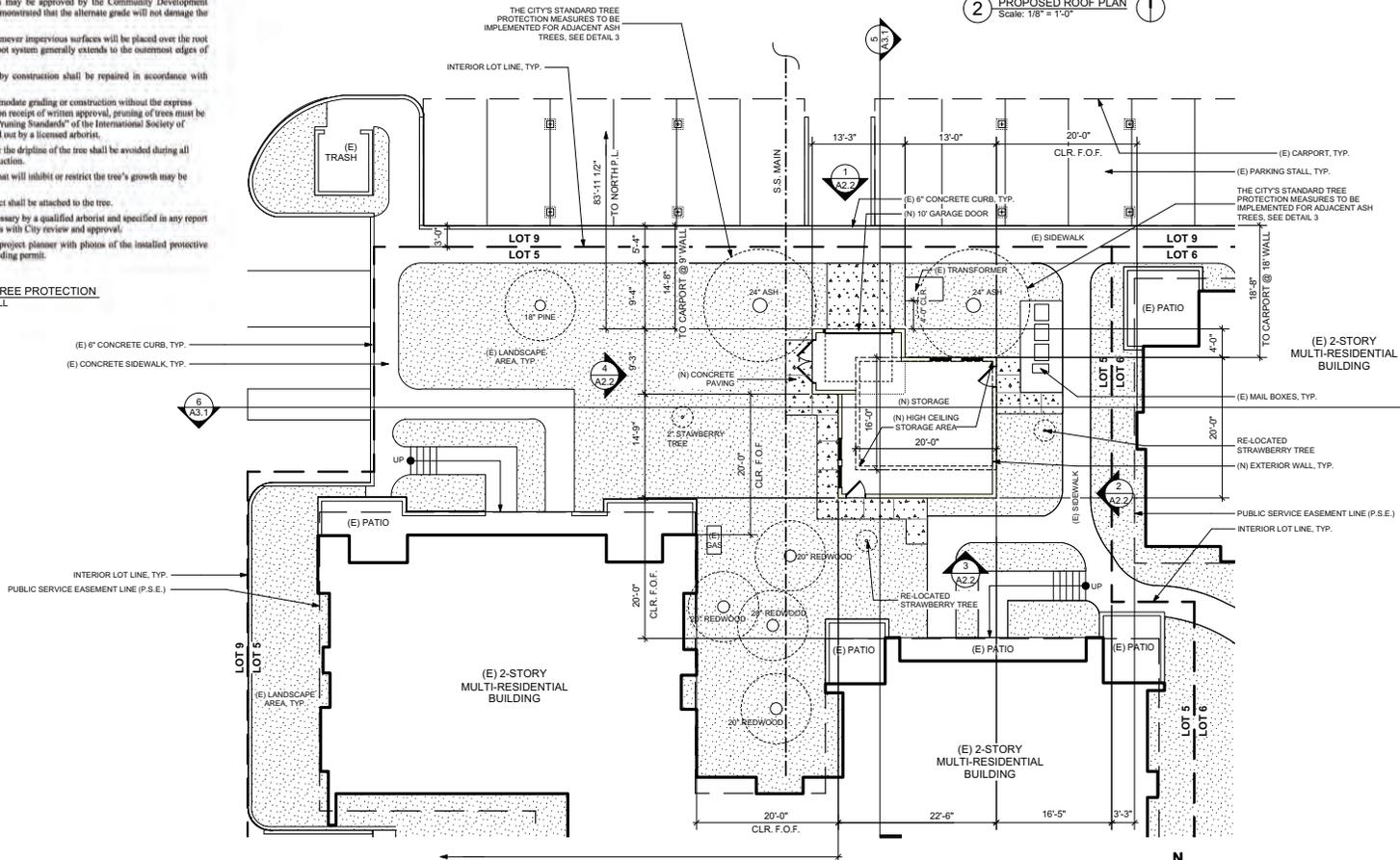
Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:

1. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - A. The fence shall be a minimum of six feet in height and shall be set securely in place.
 - B. The fence shall be chain link without slats to allow visibility to the trunk for inspection and safety.
 - C. There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - D. The fence may be adjusted as necessary to accommodate work approved within the dripline provided any excavation is done in accordance with instructions directed by a qualified arborist.
2. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
3. Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
4. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
5. Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
6. Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
7. No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
8. No signs, wires or any other object shall be attached to the tree.
9. Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
10. The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.

3 STANDARDS FOR TREE PROTECTION PER CITY OF CAMPBELL



2 PROPOSED ROOF PLAN
Scale: 1/8" = 1'-0"



1 PROPOSED FLOOR PLAN
Scale: 1/8" = 1'-0"



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HERITAGE
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APARTMENTS
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ADDITION

23 HERITAGE VILLAGE LN
CAMPBELL, CA 95008

PROPOSED
SITE
ELEVATIONS

JULY 30, 2018



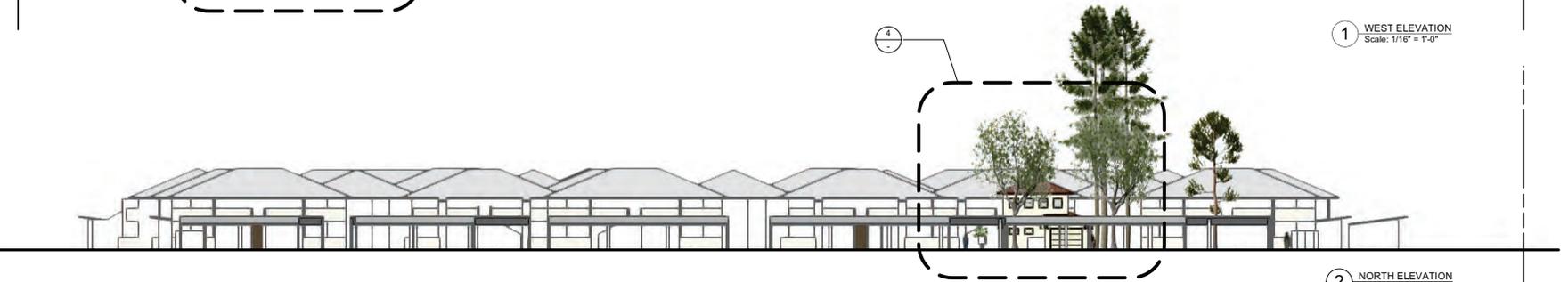
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A2.1



1 WEST ELEVATION
Scale: 1/16" = 1'-0"



2 NORTH ELEVATION
Scale: 1/16" = 1'-0"



4 NORTH ELEVATION
Scale: 1/8" = 1'-0"



3 WEST ELEVATION
Scale: 1/8" = 1'-0"

HERITAGE VILLAGE APARTMENTS STORAGE ADDITION

23 HERITAGE VILLAGE LN CAMPBELL, CA 95008

PROPOSED BUILDING ELEVATIONS

JULY 30, 2018

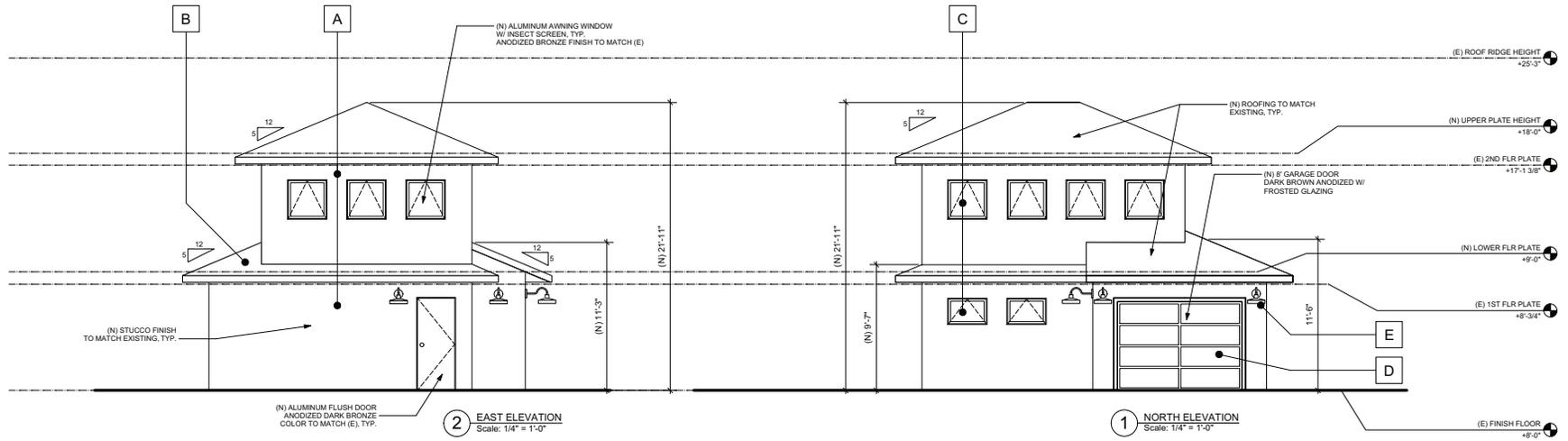


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A2.2



A STUCCO FINISH TO MATCH (E) COLOR TO MATCH (E)



B CONCRETE TILES TO MATCH (E) COLOR TO MATCH (E)



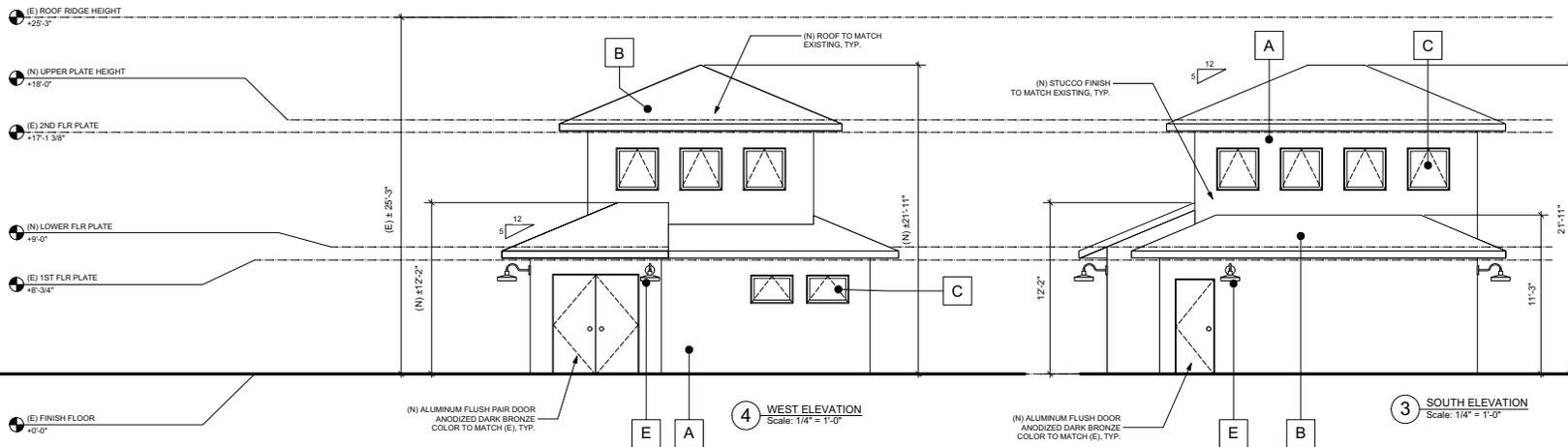
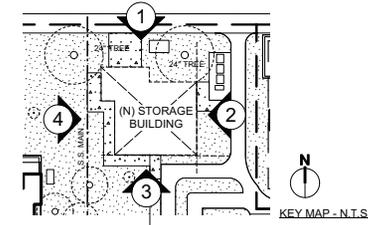
C ALUMINUM WINDOW ANODIZED DARK BRONZE TO MATCH (E)



D ALUMINUM GARAGE DOOR W/ FROSTED GLAZING ANODIZED DARK BRONZE FRAME TO MATCH (E)



E LED GOOSENECK LIGHTING BLACK POWDER COATED FINISH



HERITAGE VILLAGE APARTMENTS STORAGE ADDITION

23 HERITAGE VILLAGE LN
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PROPOSED PERSPECTIVES & SECTIONS

JULY 30, 2018



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A3.1



1 PERSPECTIVE 1
Scale: 1/4" = 1'-0"



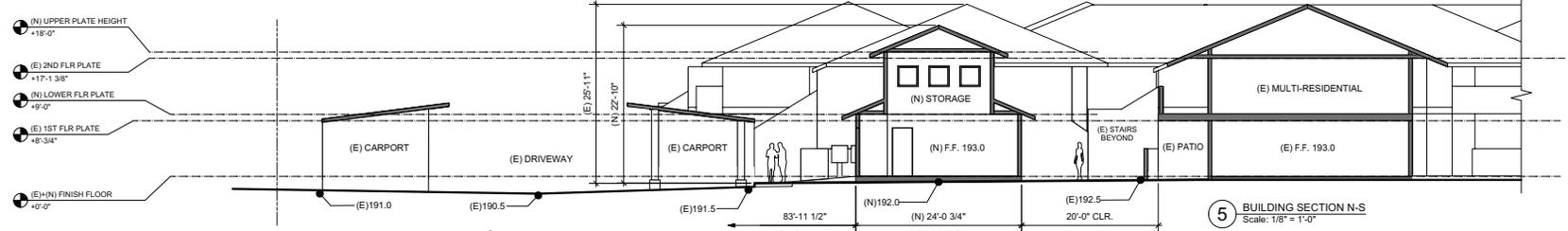
4 PERSPECTIVE 4
Scale: 1" = 50 ft



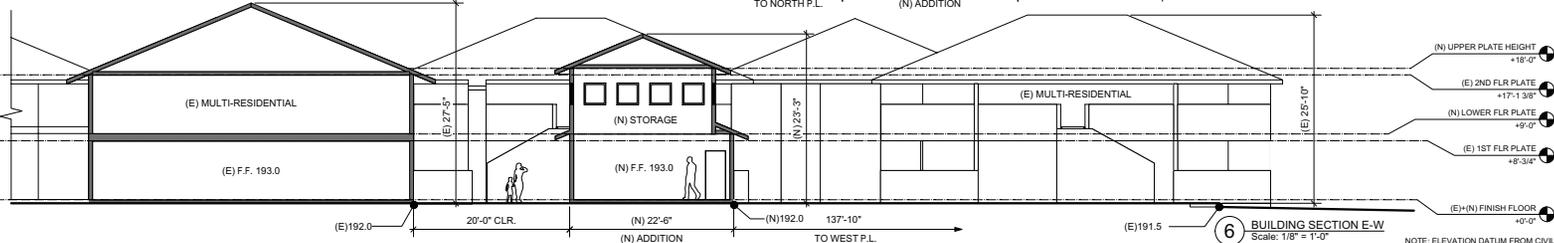
3 PERSPECTIVE 3
Scale: 1" = 50 ft



2 PERSPECTIVE 2
Scale: 1" = 50 ft



5 BUILDING SECTION N-S
Scale: 1/8" = 1'-0"



6 BUILDING SECTION E-W
Scale: 1/8" = 1'-0"

NOTE: ELEVATION DATUM FROM CIVIL DRAWINGS DATED 10-15-1983, TYP. FOR REFERENCE ONLY.
PLANS ARE TO SCALE ONLY IF PRINTED ON 24X36 PAPER

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EXISTING
PHOTOS

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