



CITY OF CAMPBELL
Community Development Department

June 29, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, July 10, 2018, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gordon Chang for a Site and Architectural Review Permit (PLN2018-32) to allow the construction of a two-story approximately 5,000 square-foot single-family residence on property located at **1317 Burrows Road**. Staff is recommending that this project be found Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1317 Burrows Road**

Project Location Map



Project Location: 1317 Burrows Rd.
Application Type: Site and Arc. Review Permit
Planning File No.: PLN2018-32



Community Development Department
Planning Division



LA CASA
 1317 BURROWS RD.
 CAMPBELL, CA 95005
 APN: 403-16-110

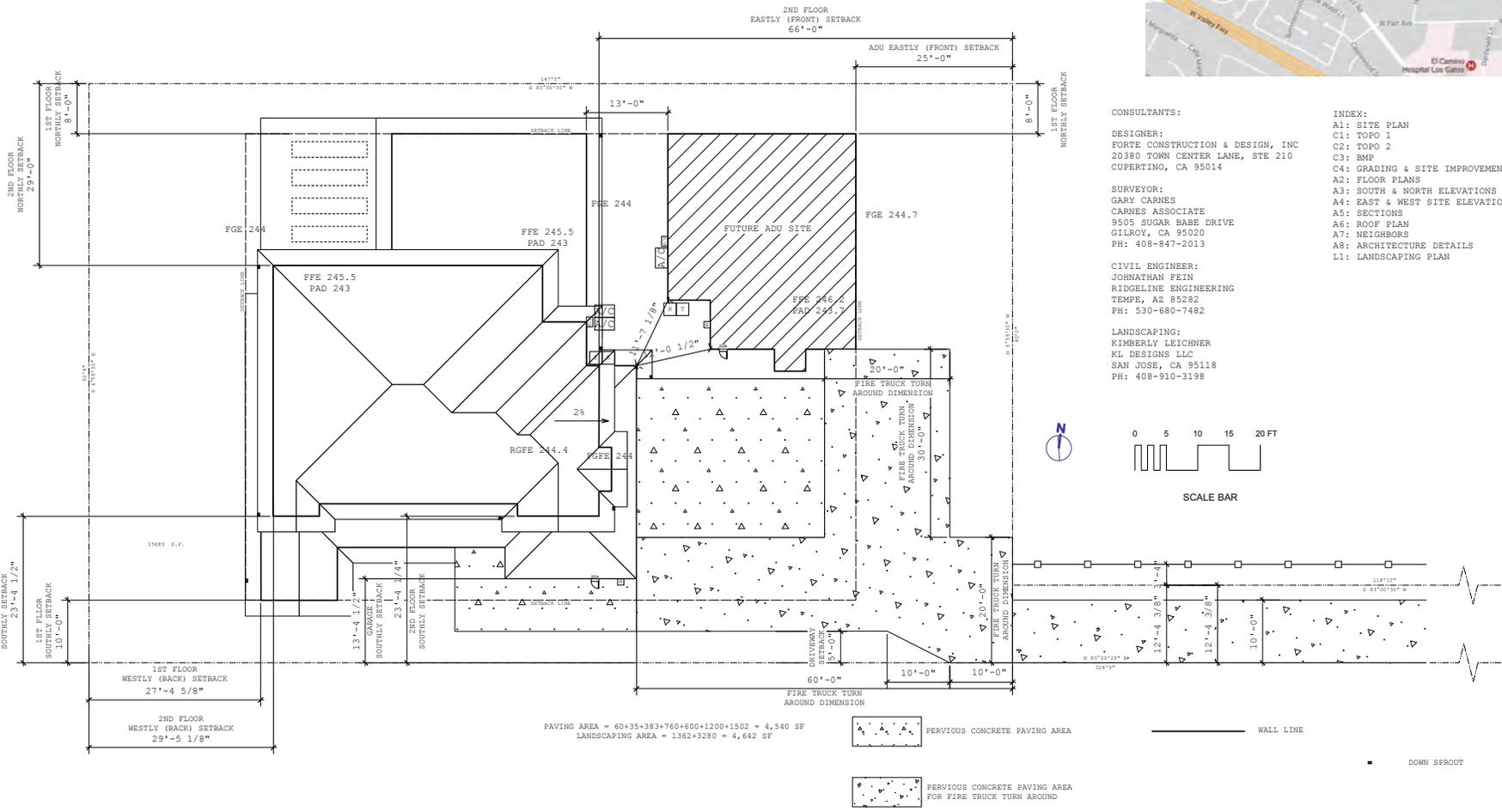
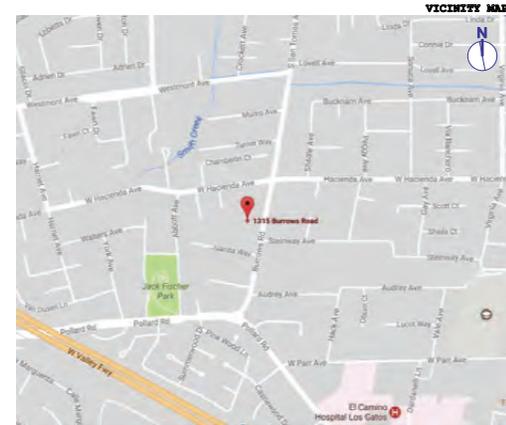
GROSS LOT SIZE AREA	= 15,682 SQ. FT.		
NET LOT SIZE AREA	= 13,614 SQ. FT.		
MAX. ALLOWABLE F.A.R.	= 45%	= 6,126.3 SQ. FT.	
PROVIDED F.A.R.	= 36.5%	= 4,977 SQ. FT.	
MAX. ALLOWABLE LOT COVERAGE	= 35%	= 4,764.9 SQ. FT.	
PROVIDED LOT COVERAGE	= 28%	= 3,816 SQ. FT.	
1ST FLOOR & GARAGE AREA	3,284 SQ. FT.	1ST FLOOR & GARAGE AREA	3,284 SQ. FT.
2ND FLOOR AREA	1,693 SQ. FT.	VERANDAH	532 SQ. FT.
TOTAL PROVIDED F.A.R.	4,977 SQ. FT.	TOTAL PROVIDED LOT COVERAGE	3,816 SQ. FT.

NOTE:

THIS SITE PLAN IS BASED ON THE RECORDED PARCEL MAP DOC. NO. 22831302

PLEASE REFER TO TOPO DRAWING FOR THE WHOLE SITE VIEW, INCLUDING THE STREET FRONT.

FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD FOR ALL STRUCTURES.



CONSULTANTS:

DESIGNER:
 FORTE CONSTRUCTION & DESIGN, INC
 20380 TOWN CENTER LANE, STE 210
 CUPERTINO, CA 95014

SURVEYOR:
 GARY CARNES
 CARNES ASSOCIATE
 9505 SUGAR BABE DRIVE
 GILROY, CA 95020
 PH: 408-847-2013

CIVIL ENGINEER:
 JOHNNATHAN FEIN
 RIDGELINE ENGINEERING
 TEMPE, AZ 85282
 PH: 530-680-7482

LANDSCAPING:
 KIMBERLY LEICHTNER
 KL DESIGNS LLC
 SAN JOSE, CA 95118
 PH: 408-910-3198

ISSUE NOTES	
Date	11/1/2017
Revision	Revision 0
Project ID	LA CASA
Drawing Code	
CAD File Name	
Print Date	00/00/00
No.	
Date	
Design Firm	FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699
Project Title	LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008
Scale	Sheet Scale
Drawing No.	A1 of 8
SITE PLAN	



APN: 403-16-083

APN: 403-16-056

N83°00'30"E 167.39'

PARCEL 2
893.14
APN: 403-16-110

PARCEL 1
APN: 403-16-109

APN: 403-16-103

LEGEND

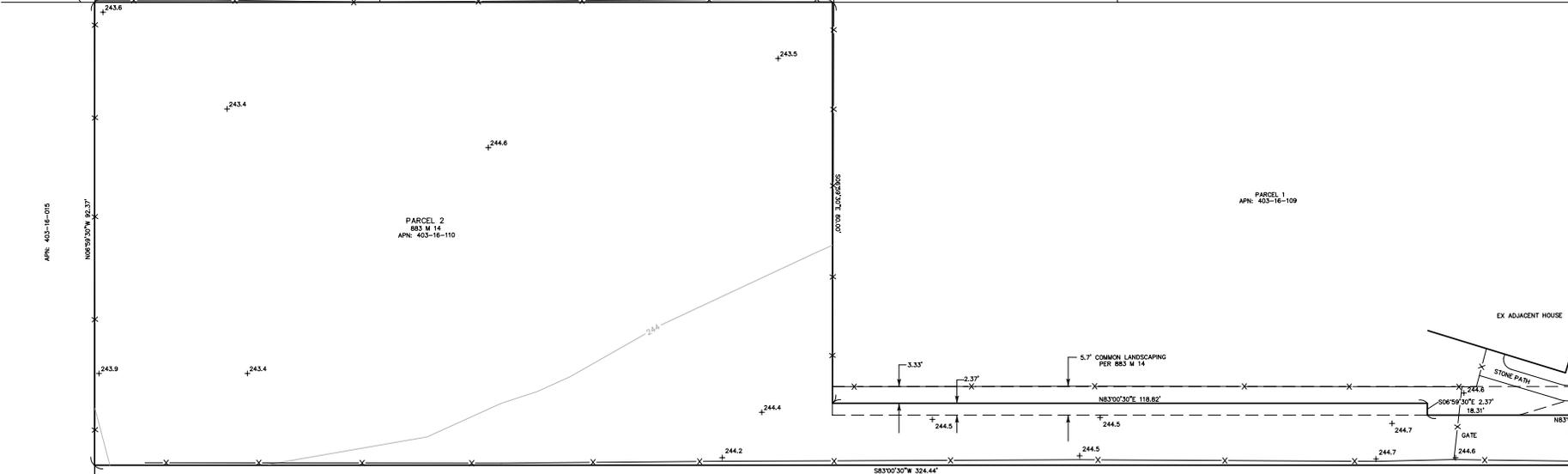
- PROPERTY BOUNDARY
- LOT LINE
- TIE LINE
- - - EASEMENT
- X- EXISTING FENCE
- SS- SAN SEWER LINE
- SD- STORM DRAIN LINE
- FLOW LINE
- ELECTRIC SERVICE
- GAS SERVICE
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- STREET LIGHT
- AREA LIGHT

ABBREVIATIONS

- DI DRAIN INLET
- CB CATCH BASIN
- SSCO SANITARY SEWER CLEANOUT
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- C&G CURB & GUTTER
- AC AIR CONDITIONER
- D DRAIN
- ASP ASPHALT
- ICV IRRIGATION CONTROL VALVE
- EB ELECTRIC BOX
- PE POOL EQUIPMENT
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MAN HOLE

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND GRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



CARNES & ASSOCIATES
 9505 SUGAR BABE DRIVE
 GILROY, CALIFORNIA 95020
 408-847-2013

NO.	DATE	REVISION

TOPOGRAPHIC MAP
GORDON CHANG
1317 BURROWS ROAD
CITY OF CAMPBELL, CA.

SHEET	DATE	SCALE	DRAWN BY	PROJ. MANAGER
2	1-5-18	1" = 10'	C.L.	D.E.
OF				
2				
Job No. 17186				
Drawn: PONTRE.TWPC				



APN: 403-16-056

PARCEL 2
883 M 14
APN: 403-16-110

PARCEL 1
APN: 403-16-109

APN: 403-16-103

LEGEND

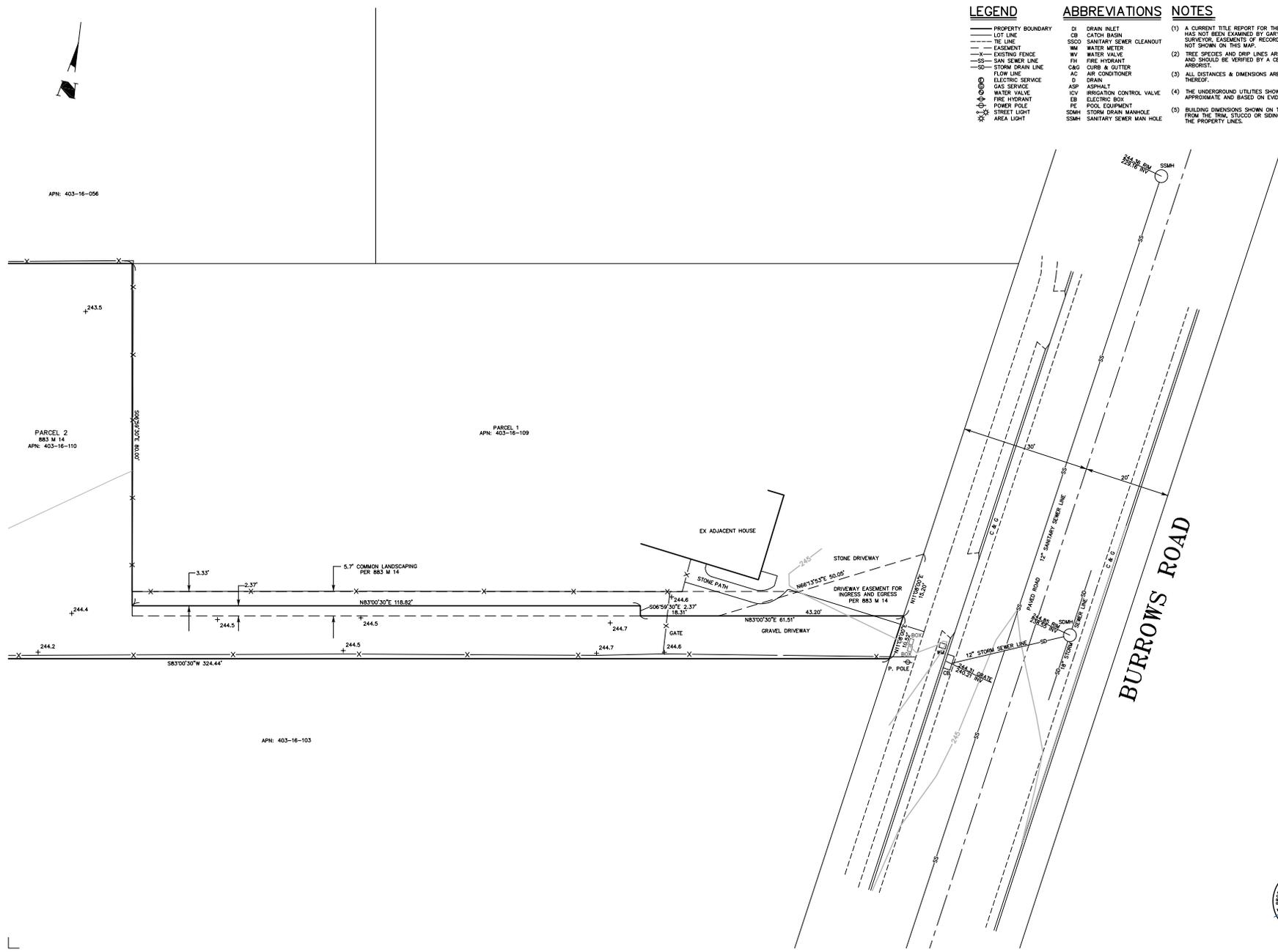
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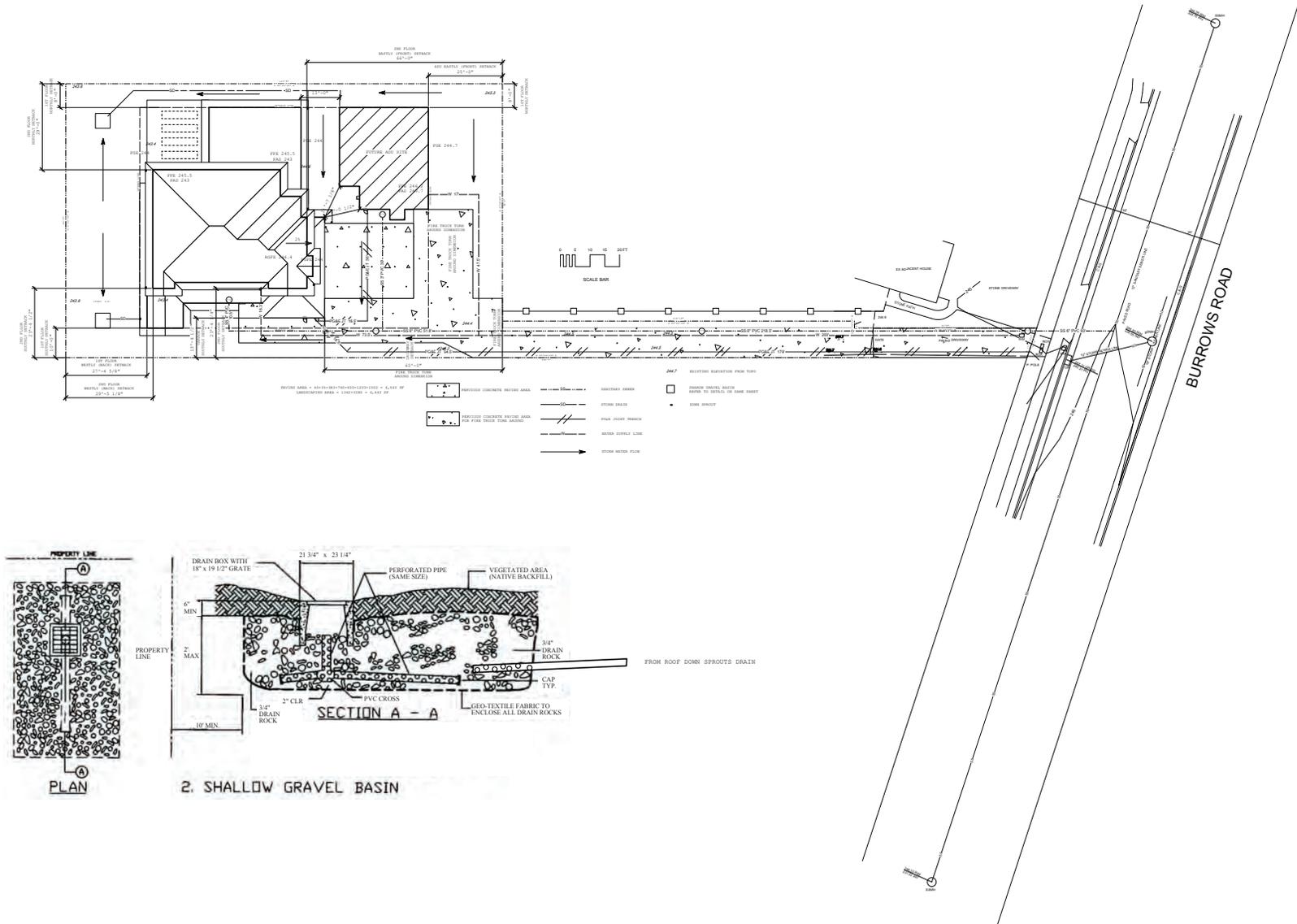
NO.	DATE	REVISION

**TOPOGRAPHIC MAP
 FOR FORTE CONSTRUCTION
 PARCEL 2, 883 M 14
 CITY OF CAMPBELL, CA.**

DATE :	1-5-18
SCALE :	1" = 10'
DRAWN BY :	C.L.
PROJ. MANAGER :	
JOB No. 17186	
DRP: FORTE.TWC	D.R.

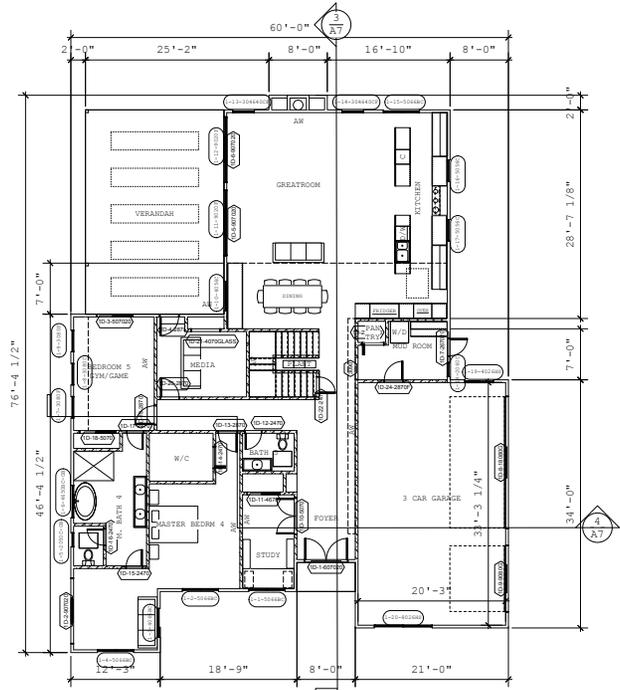


<p>FRESH CONCRETE AND MORTAR APPLICATION BEST MANAGEMENT PRACTICES FOR:</p> <ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Paint construction workers Construction inspectors General contractors Home builders Developers 	<p>LANDSCAPING, GARDENING, AND POOL MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers 	<p>POOL/FOUNTAIN/SPA MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Never discharge pool or spa water to a street or storm drain. OR When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area. 	<p>LANDSCAPING/GARDEN MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. Dispose of unused pesticide as hazardous waste. Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste. Do not place yard waste in gutters. Do not blow or rake leaves, etc. into the street. 	<p>HEAVY EQUIPMENT OPERATION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Vehicle and equipment operators Site supervisors General contractors Home builders Developers 	<p>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> Painters Paperhangers Plasterers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers 	<p>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream. For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer. For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.
<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind. Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams. 	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> When breaking up paving, be sure to pick up all the pieces and dispose properly. Recycle large chunks of broken concrete at a landfill. Dispose of small amounts of excess-dry concrete, grout, and mortar in the trash. Never bury waste material. 	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting. Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Schedule grading and excavation projects for dry weather. Use temporary check dams or ditches to divert runoff away from storm drains. Protect storm drains with hay bales or other erosion controls. Revegetation is an excellent form of erosion control for any site. 	<p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p>SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE</p> <ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clear up spills immediately when they happen. 	<p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. 	<p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle/reuse leftover paints whenever possible. Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.
<p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Don't mix up more fresh concrete or cement than you will use in a day. Set up and operate small mixers on tarps or heavy plastic drop cloths. 	<p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or ditches are toxic to fish and the aquatic environment. Disposing of these materials to the street or creeks causes serious problems and is prohibited by law.</p>	<p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or ditches are toxic to fish and the aquatic environment. Disposing of these materials to the street or creeks causes serious problems and is prohibited by law.</p>	<p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or ditches are toxic to fish and the aquatic environment. Disposing of these materials to the street or creeks causes serious problems and is prohibited by law.</p>	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Never hose down streets to clean up tracked dirt. Never hose down driveways to clean up tracked dirt. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>
<h1>Blueprint for a Clean Bay</h1> <h2>BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.</h2> <p>SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM</p>						
<p>EARTH MOVING ACTIVITIES BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Bulldozers, backhoes, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers 	<p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p>	<p>ROADWORK AND PAVING BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk/parking lot construction crews Seal coat contractors Operators of grading equipment paving machines concrete mixers Construction inspectors General contractors Developers 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Never hose down streets to clean up tracked dirt. Never hose down driveways to clean up tracked dirt. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>MATERIALS/WASTE/HANDLING</p> <ul style="list-style-type: none"> Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the reference list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed. 	<p>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</p> <p>In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bays. Many common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that pour off or spill into a street or storm drain.</p>	<p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>
<p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Remove existing vegetation only when absolutely necessary. Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned. Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Cover stockpiles and excavated soil with secured tarps or plastic sheeting. 	<p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash 	<p>ROADWORK AND PAVING BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk/parking lot construction crews Seal coat contractors Operators of grading equipment paving machines concrete mixers Construction inspectors General contractors Developers 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Never hose down streets to clean up tracked dirt. Never hose down driveways to clean up tracked dirt. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>MATERIALS/WASTE/HANDLING</p> <ul style="list-style-type: none"> Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the reference list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed. 	<p>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</p> <p>In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bays. Many common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that pour off or spill into a street or storm drain.</p>	<p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>
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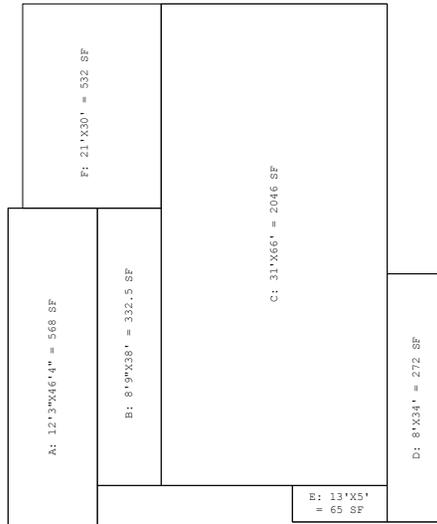


2. SHALLOW GRAVEL BASIN

Design Firm FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN., STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699		Date 1/21/2018		Issue Notes	
Designer GORDON CHANG		Revision Revision 0		No.	
Checked By LA CASA		Project ID LA CASA		Date	
Reviewed By		Drawing Code		No.	
Submitted By		CAD File Name		Date	
Project Manager		Project Date		No.	
Project Title LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008		Drawing Title Gading & Drainage Plan Site Improvement Plan		Date	
Scale Sheet Scale		Drawing No.		Date	
Drawing No. C4 of 8		Drawing Title		Date	



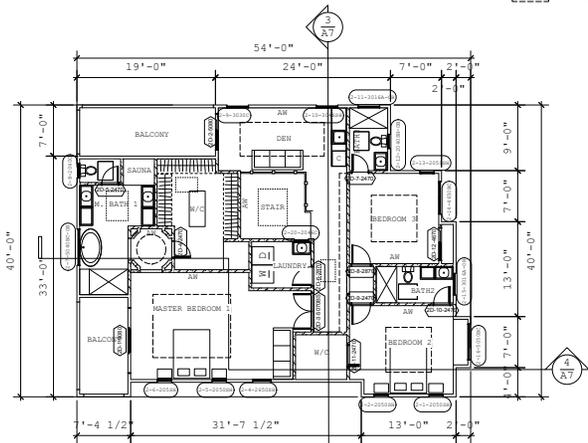
MAIN HOUSE: 1ST FLOOR PLAN



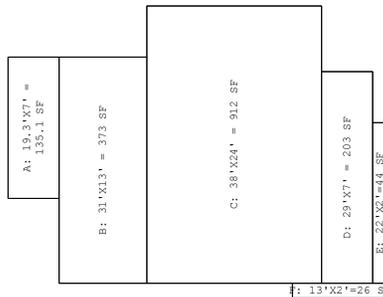
1ST FL TOTAL = A+B+C+D+E = 568+332.5+2046+272+65 = 3,284 SF
 VERANDAH = F = 532 SF



SKYLIGHT
 CUT-IN CEILING



MAIN HOUSE: 2ND FLOOR PLAN



2ND FL TOTAL = A+B+C+D+E+F = 135+373+912+203+44+26 = 1,693 SF

MAIN HOUSE FLOOR AREA: 3,284+1,693=4,977 SF
 VERANDAH: 532 SF

Project Title LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008	Design Firm FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0899	Design By GORDON CHANG	Date 11/12/17	No. 00/00/00	Date	Issue Notes
		Drawn By REVISION 0	Revision 11/12/17			
Drawing Title FLOOR PLANS	Scale 1:96	Checked By LA CASA	Project ID LA CASA	Project Manager 00/00/00	Date	Issue Notes
		Submitted By	Drawing Code			
Drawing Size A2		CAD File Name		Date		Issue Notes
Drawing No. 8		Project Name		Date		Issue Notes



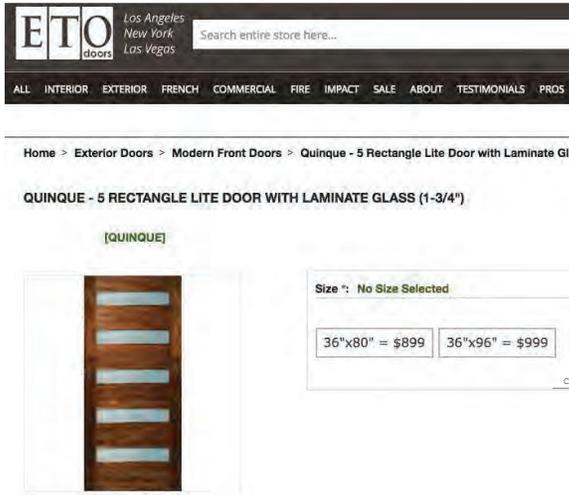
Date		11/12/2017		No.		00/00/00		Issue Notes	
Designed By		GORDON CHANG		Date					
Drawn By				Revision		Revision 0			
Checked By				Project ID		LA CASA			
Reviewed By				Drawing Code					
Submitted By				CADD File Name					
Project Manager				Plot Date					
Design Firm				FORTE CONSTRUCTION & DESIGN					
Address				20380 TOWN CENTER LN, STE 210					
City				CUPERTINO, CA 95014					
Tel:				(408) 667-0899					
Project Title				LA CASA					
Address				NEW CUSTOMER HOME					
City				1317 BURROWS RD.					
City				CAMPBELL, CA 95008					
Scale				Sheet Scale					
Drawing No.				A4					
				of					
				8					
East & West Site Elevations									

SAMPLE BOARD:

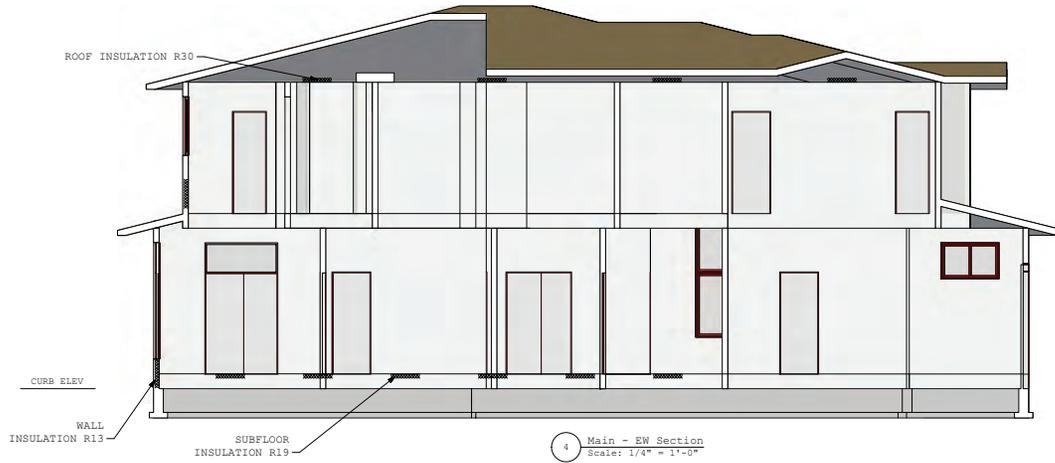
4: GARAGE DOOR COLOR



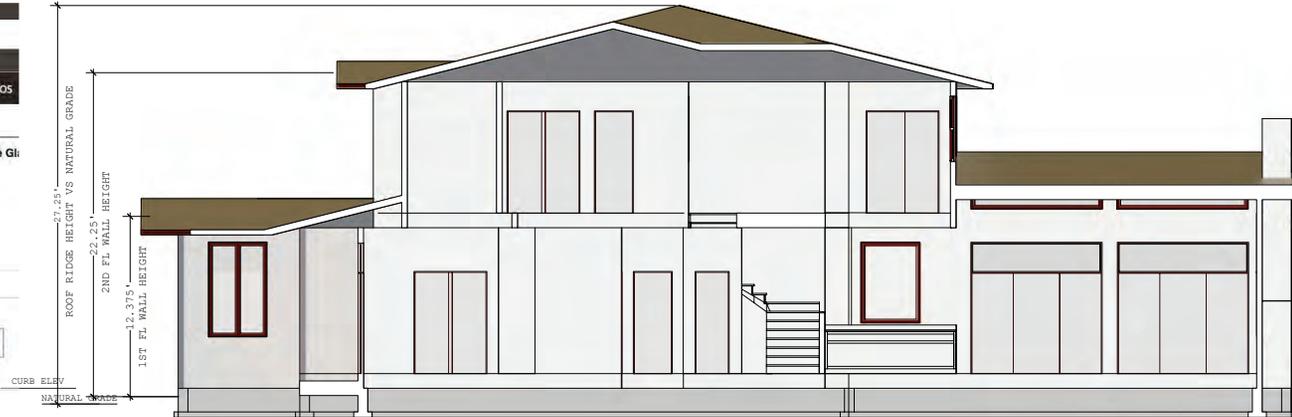
5: ENTRY DOOR COLOR



CONTINUE ON A6

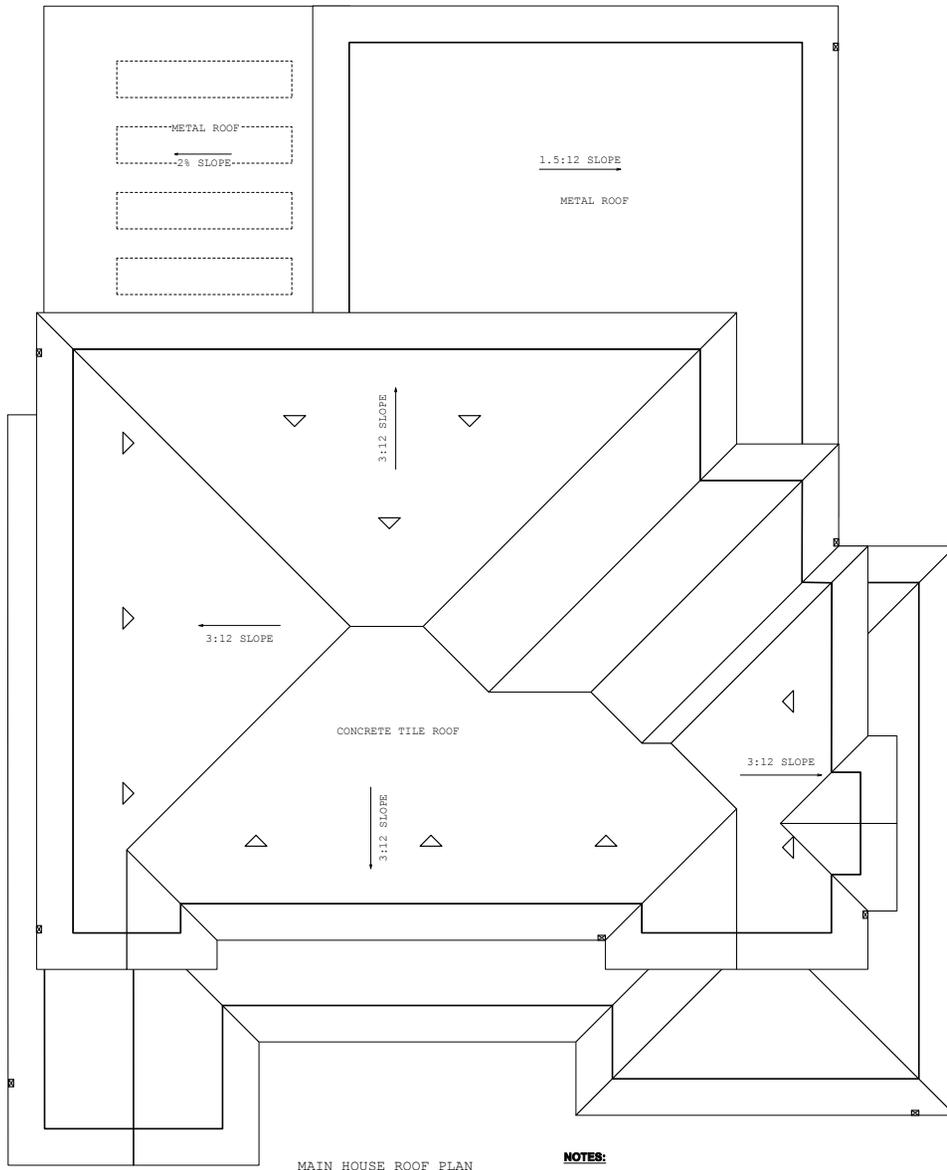


4 Main - EW Section
Scale: 1/4" = 1'-0"



3 Main - SN Section
Scale: 1/4" = 1'-0"

Issue Notes		Date		No.	
Date		Revision		Project ID	
11/11/2017		Revision 0		LA CASA	
Designed By		Checked By		Submitted By	
GORDON CHANG		LA CASA		C.A.D. File Name	
Drawn By		Reviewed By		Proj. Date	
GORDON CHANG		GORDON CHANG		00/00/00	
Project Manager		Project Manager		Project Manager	
Project Title		Scale		Drawing No.	
LA CASA		Sheet Scale		A5	
NEW CUSTOMER HOME		A5		of	
1317 BURROWS RD.		A5		8	
CAMPBELL, CA 95008		A5		8	
Consultant		SECTION		SECTION	
Design Firm		FORTE CONSTRUCTION & DESIGN		FORTE CONSTRUCTION & DESIGN	
20380 TOWN CENTER LN, STE 210		CUPERTINO, CA 95014		Tel: (408) 667-0899	



NOTES:

- 38) PROVIDE ROOF COVERING CLASS "A" MINIMUM.
- 39) PROVIDE CUTOUT @ ROOF SHEETING WHERE CALIFORNIA FRAMING OCCURS TO ALLOW AIR FLOW TO VENTED ATTIC SPACE EQUAL TO 1 S.F. AT EVERY 150 S.F. OF ATTIC SPACE.

SAMPLE BOARD:



PRODUCT TYPES



Project Title		Date		Revision		No.		Issue Notes	
L.A. CASA		11/1/2017		Revision 0		No.		Date	
NEW CUSTOMER HOME		GORDON CHANG		Project		00/00/00		Date	
1317 BURROWS RD.		Checked By		Project ID		Project Date		Date	
CAMPBELL, CA 95008		Reviewed By		Drawing Code		Project Manager		Date	
Roof Plans		Submitted By		CAD File Name		Project Manager		Date	
Design Firm		FORTE CONSTRUCTION & DESIGN		20380 TOWN CENTER LN., STE 210		CUPERTINO, CA 95014		Tel: (408) 667-0699	
Project Title		L.A. CASA		Sheet Scale		Drawing No.		A6	
Scale		Sheet Scale		Drawing No.		A6		of	
Drawing No.		A6		8		8		8	



1315 Burrows Rd.



1325 Burrows Rd.



1359 Juanita Way



1360 Hacienda Ct.



1302 W. Burrows Ave.



Neighborhood

NOTES:

THE SUBJECTED SITE AT 1317 BURROWS RD. IS A VACANT LAND WITH NO LARGE TREE AND SURROUNDED BY RESIDENTIAL HOMES. THIS SITE HAS NO CULTURAL, HISTORICAL, AND SCENIC ASPECTS. THIS SITE HAS FLAT LAND, AND NO STRUCTURES ON IT.

THE NEIGHBORING SITES ARE ALL RESIDENTIAL WITH SIMILAR ASPECTS AS THE SUBJECTED SITE, EXCEPT THAT 1325 BURROWS RD. MIGHT HAVE HISTORICAL ASPECT.

Date: 11/12/2017 Revision: Revision 0 Project: LA CASA Drawing Code: CAD File Name: Print Date: 00/00/00		No. 0000/00 Date: Issue Notes:
Designed By: GORDON CHANG Drawn By: Checked By: Reviewed By: Submitted By: Project Manager:	Design Firm: FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN., STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699 Consultant:	
Project Title: LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008	Drawing Title: Neighbors	
Scale: Sheet Scale	Drawing No.: A7 of _____ 8	

NOTES:

NO EXISTING TREE IS > 12" IN DIAMETER AT 4' HEIGHT

The landscaping plan is compliant with the State Water Efficient Landscape Requirements (California Code of Regulations, Title 23, Ch. 2.7, Div. 2), adopted as the City of Campbell Water Efficient Landscape Guidelines. (CMC 21.26.030.F)

PLANT SCHEDULE

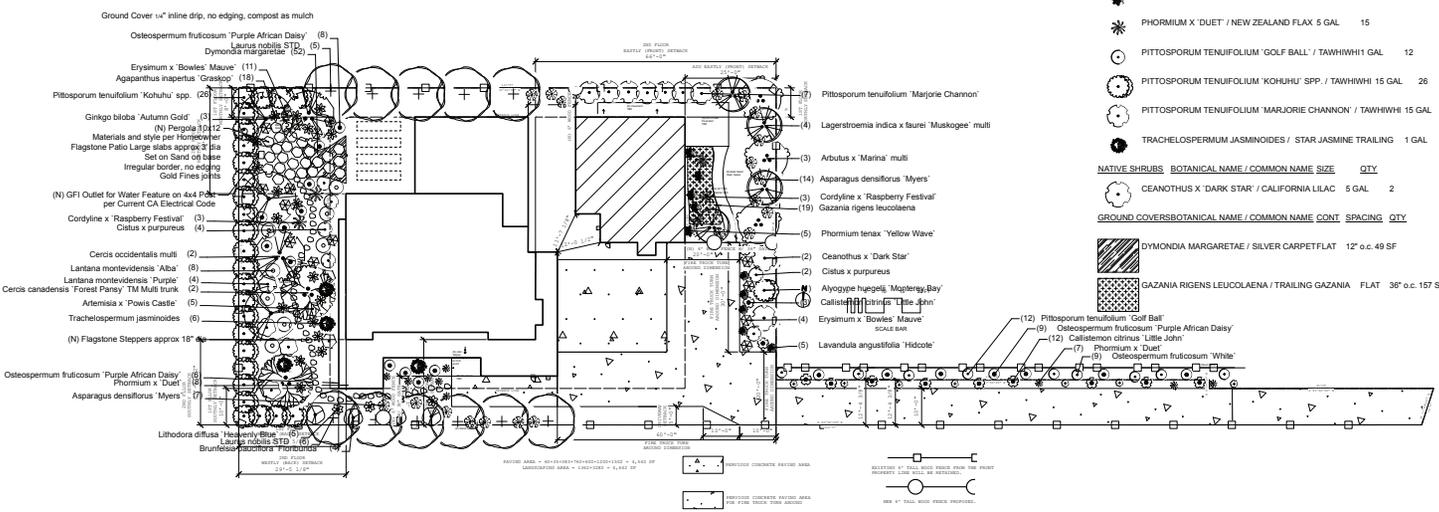
TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ARBUTUS X 'MARINA'	MULTI / STRAWBERRY TREE	15 GAL 3
	CERCIS CANADENSIS 'FOREST PANSY'	TM MULTI TRUNK / FOREST PANSY REDBUD	15 GAL 2
	GINKGO BILOBA 'AUTUMN GOLD' / MAIDENHAIR TREE (MALE ONLY)	24"BOX	3
	LAGERSTROEMIA INDICA X FAUREI 'MUSKOGEE'	MULTI / MUSKOGEE GRAPE MYRTLE MULTI	15 GAL 4
	LAURUS NOBILIS STD / SWEET BAY	15 GAL	11

NATIVE TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	CERCIS OCCIDENTALIS MULTI / WESTERN REDBUD MULTI-TRUNK	15 GAL	2

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	AGAPANTHUS INAPERTUS 'GRASKOP' / GRASKOP LILY OF THE NILE	1 GAL	18
	ALYOGYNE HUEGELII 'MONTEREY BAY' / BLUE HIBISCUS	1 GAL	1
	ARTEMISIA 'POWIS CASTLE' / POWIS CASTLE ARTEMISIA	1 GAL	5
	ASPARAGUS DENSIFLORUS 'MYERS' / MYERS ASPARAGUS	1 GAL	21
	BRUNFELSIA PAUCIFLORA 'FLORIBUNDA' / YESTERDAY, TODAY AND TOMORROWS	1 GAL	4
	CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH	1 GAL	15
	CISTIS X PURPUREUS / ORCHID ROCKROSE	1 GAL	6
	CORDYLIN X 'RASPBERRY FESTIVAL' / BABY DOLL TI	5 GAL	6
	ERYSIMUM X 'BOWLES' MAUVE' / WALLFLOWER	1 GAL	15
	LANTANA MONTEVIDENSIS 'ALBA' / WHITE TRAILING LANTANA	1 GAL	8
	LANTANA MONTEVIDENSIS 'PURPLE' / TRAILING LANTANA	1 GAL	4
	LAWANDULA ANGSTIFOLIA 'HIDCOTE' / HIDCOTE LAVENDER	1 GAL	5
	LITHODORA DIFFUSA 'HEAVENLY BLUE' / BLUE LITHODORA	1 GAL	5
	OSTEOSPERMUM FRUTICOSUM 'PURPLE AFRICAN DAISY' / AFRICAN DAISY	1 GAL	23
	OSTEOSPERMUM FRUTICOSUM 'WHITE' / AFRICAN DAISY	1 GAL	9
	PHORMIUM TENAX 'YELLOW WAVE' / NEW ZEALAND FLAX	5 GAL	5
	PHORMIUM X 'DUET' / NEW ZEALAND FLAX	5 GAL	15
	PITTIOSPORUM TENUIFOLIUM 'GOLF BALL' / TAWHIWHI	1 GAL	12
	PITTIOSPORUM TENUIFOLIUM 'KOHUHU' SPP. / TAWHIWHI	15 GAL	26
	PITTIOSPORUM TENUIFOLIUM 'MARJORIE CHANNON' / TAWHIWHI	15 GAL	7
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRAILING	1 GAL	6

NATIVE SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	CEANOTHUS X 'DARK STAR' / CALIFORNIA LILAC	5 GAL	2

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	DYMONDIA MARGARETAE / SILVER CARPET	FLAT	12" o.c.	49 SF
	GAZANIA RIGENS LEUCOLAENA / TRAILING GAZANIA	FLAT	36" o.c.	157 SF



DATE		1/20/2018	ISSUE NOTES	
REVISION		Revision 0	Date	
PROJECT ID		LA CASA	No.	
DRAWING CODE			00/00/00	
CADD FILE NAME			Date	
PROJECT MANAGER			No.	
DESIGNED BY		GORDON CHANG	Date	
CHECKED BY			No.	
REVIEWED BY			Date	
SUBMITTED BY			No.	
PROJECT MANAGER			Date	
Design Firm: FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699				
Project Title: LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008				
Drawing Title: Landscaping Plan & Fence				
Scale: Sheet Scale				
Drawing No.: L1 of 8				