



CITY OF CAMPBELL
Community Development Department

June 26, 2018

NOTICE OF FENCE EXCEPTION APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Fence Exception for the following project proposal:

File No.:	PLN2018-200
Applicant:	Robert & Jeanne Moore
Project Address:	96 E Rincon Avenue
Property Owner:	Robert & Jeanne Moore
Zoning District:	P-D (Planned Development)
General Plan:	Low-Medium Density Residential (6-13 Units/Gr. Acre)
Project Description:	Fence Exception request for 6-foot tall side and rear yard fences with a 1-foot lattice

This application will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application will begin on June 26, 2018 and end on July 6, 2018. Comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **July 6, 2018**, as a decision will be rendered after this time. No additional notice will be provided. A copy of the Fence Exception application, and all associated documents, are available for review from 8:00 a.m. to 5:00 p.m. at the Community Development Department, City Hall, 70 North First Street, Campbell, California and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'.

Decisions by the Community Development Director are final in 10 calendar days following the decision date, unless an appeal is received in writing (including email) at the Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee.

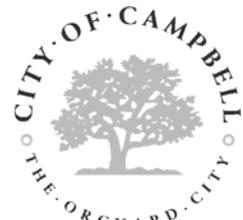
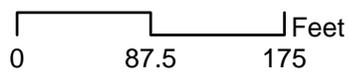
Questions or comments regarding this application may be addressed to Kristina Paulauskaite, Planning Technician, Community Development Department at (408) 866-2732 or kristinap@cityofcampbell.com.

Project Location Map



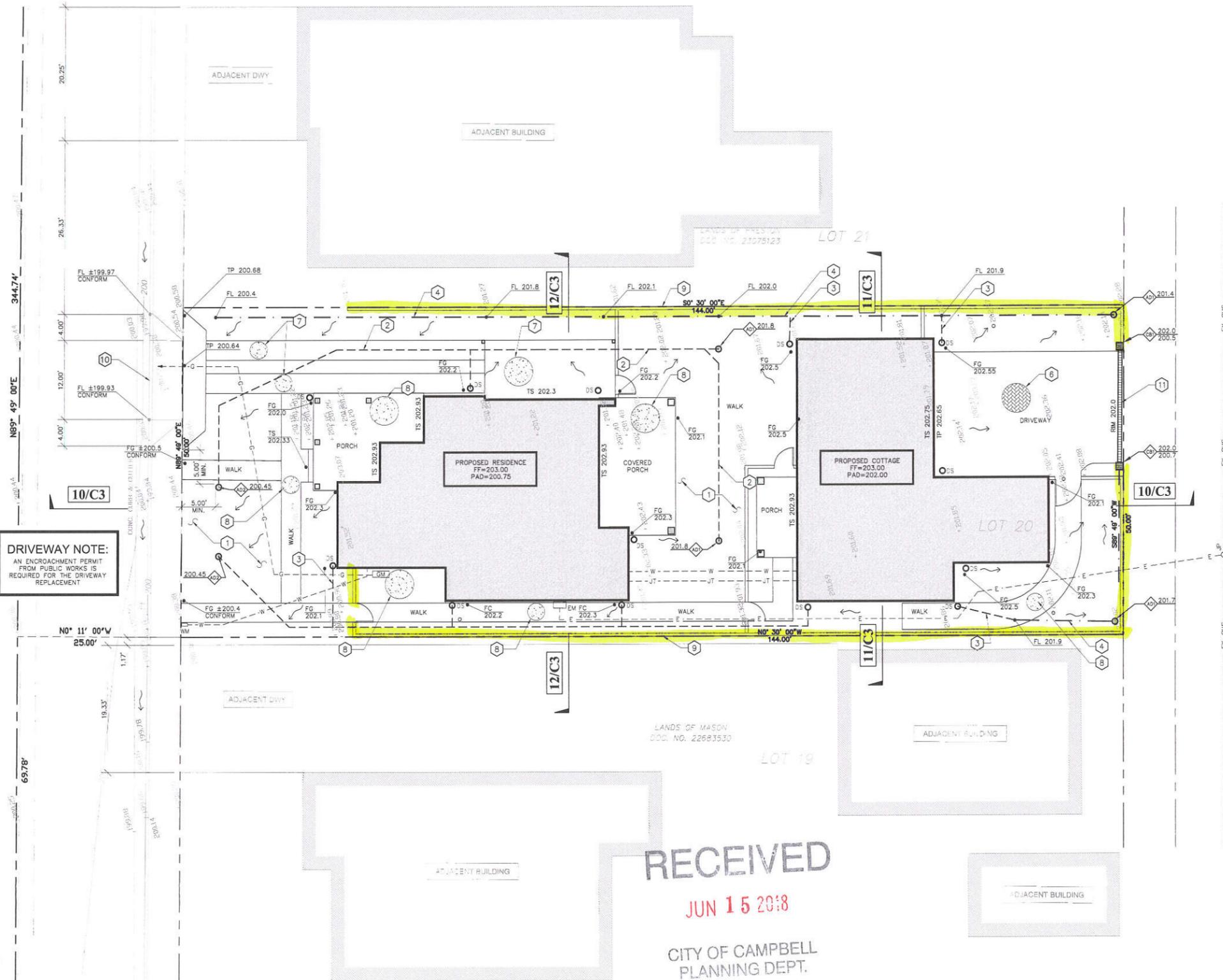
Project Site

Project Location: 96 E Rincon Avenue
Application Type: Fence Exception
Planning File No.: PLN2018-200
Description: Request for 6-foot tall side and rear yard fences with a 1-foot lattice

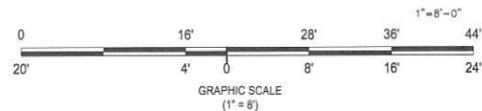


Community Development Department
Planning Division

EAST RINCON AVENUE



GRADING & DRAINAGE PLAN



GRADING QUANTITIES:

	CUT	FILL
QUANTITY	0 YD	45 YD
IMPORT	45 YD	
EXPORT	0 YD	

IMPERVIOUS AREA:

	PRE	POST
IMPERVIOUS AREA (SF)	2751	3762
TOTAL DISTURBED AREA (SF)	7200	

LEGEND:

- ==== CURB & GUTTER
- CENTERLINE STREET
- PROPERTY LINE
- OHS --- OVERHEAD SERVICE
- JT --- UNDERGROUND JOINT TRENCH
- SS --- SANITARY SEWER LINE
- SD --- STORM SEWER LINE
- W --- WATER LINE
- G --- GAS LINE
- E --- EARTHEN SWALE PER 3/C4
- DS ROOF DOWNSPOUT AND SPLASH BLOCK PER 1/C3
- DESC. ELEV. FINISH GRADE/FINISH ELEVATION
- DIRECTION OF SURFACE FLOW
- KEYED GRADING NOTE PER PLAN
- ◇ RIM ELEVATION INVERT ELEVATION LANDSCAPE AREA DRAIN PER 8/C4
- ◇ RIM ELEVATION INVERT ELEVATION BUBBLER PER 6/C4
- ◇ RIM ELEVATION INVERT ELEVATION CATCH BASIN WITH SLUMP PER 9/C4
- 1/C3 GRADING SECTION

ABBREVIATIONS

- TC TOP OF CURB
- CW CONCRETE
- TW TOP OF WALL
- TP TOP OF PAVEMENT
- TS TOP OF SLAB
- INV INVERT
- WM WATER METER
- S.L.D. SEE LANDSCAPE DRAWINGS
- FG FINISHED GRADE
- BW BOTTOM OF WALL
- FL FLOW LINE
- GM GAS METER
- EM ELECTRICAL METER/PANEL
- SDCO STORM DRAIN CLEAN OUT
- S.A.D. SEE ARCHITECTURAL DRAWINGS

NOTES:

- THE TOPOGRAPHIC MAP AND SURVEY WAS PROVIDED BY KEVIN SMITH LAND SURVEYING, DATED NOVEMBER 2015, JOB NO. K15045.
- ARNOLD ENGINEERING ASSOCIATES, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS.
- ARNOLD ENGINEERING ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF THEIR DESIGN CONTAINED HEREIN.
- ALL DRAIN PIPE SHALL BE SDR35 OR STRONGER. FLEX PIPE IS NOT PERMITTED.
- ALL ELEVATIONS ARE IN FEET AND DECIMALS THEREOF.

KEYED NOTES:

- S.L.D. FOR ALL EXTERIOR PLANTING AND HARDSCAPE.
- 4" DIAMETER SDR35 DRAIN PIPE WITH 2% MIN. SLOPE PER PLAN.
- DOWNSPOUT SHALL BE CLOSE PIPED/DAYLIGHTED TO SWALE.
- BIO RETENTION SWALE PER 3/C4.
- APPROXIMATE LOCATION OF (N) UTILITIES, GENERAL CONTRACTOR MAY LOCATE ALL (N) UTILITIES TO AVOID (E) FIELD CONDITIONS AND (N) IMPROVEMENTS AS REQUIRED AND AT THE DISCRETION OF THE BUILDING OFFICIAL.
- INTERLOCKING PERVIOUS PAVERS PER 5B/C3, S.A.D.
- CONCRETE PAVING PER 5A/C3 S.A.D.
- CONCRETE WALK/PATIO, S.L.D., SEE 6/C3.
- S.L.D. FOR EX. AND PROPOSED FENCES.
- DRIVEWAY APRON SEE CAMPBELL PUBLIC WORKS STANDARD DETAIL D-15 SEE 3/C3. ENCROACHMENT PERMIT REQUIRED.
- TRENCH DRAIN AT DRIVEWAY, SEE 7/C4.
- STAMPED CONCRETE.

ALL CONTRACTORS WILL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A. AT (800-227-2600) 48 HOURS BEFORE DIGGING, AND OBTAIN AN IDENTIFICATION NUMBER (SECTION 4210.1 OF THE GOVERNMENT CODE).

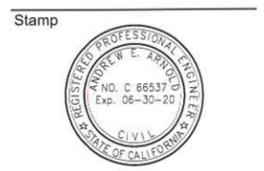
BUILDING PAD NOTE:

SEE ALSO ARCHITECTURAL AND STRUCTURAL DRAWINGS AND ADJUST AS REQUIRED

UTILITIES NOTE:

ALL NEW AND EXISTING UTILITIES SHALL BE PLACED UNDERGROUND WITH NO EXCEPTION

Engineer
ARNOLD ENGINEERING ASSOCIATES, INC.
 585 MANDANA BOULEVARD, SUITE 6
 OAKLAND, CALIFORNIA 94610
 T: 510-922-1200
 email: info@aaaengineering.com
 web: www.aaaengineering.com



Project Title
MOORE RESIDENCE
96 EAST RINCON AVENUE
CAMPBELL, CALIFORNIA 95008

Client
ROBERT & JEANNE MOORE
 40 HERNANDEZ AVENUE
 LOS GATOS, CA 95030

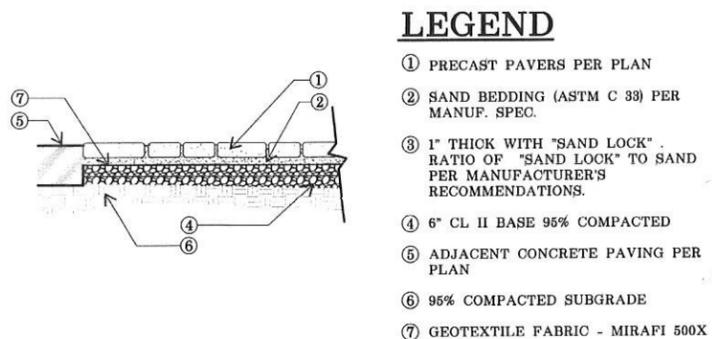
Issues and Revisions

No.	Description	Date
	Submittal	11/11/16
	Submittal	06/26/17
	Building PC1	08/10/17
	As-Built Update	06/12/18

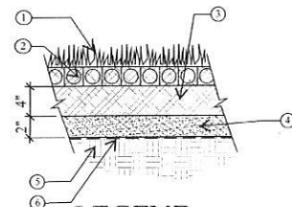
Project No. 41-16
 Drawn By SC/AA
 Reviewed By AA
 Scale AS SHOWN
 Date June 12, 2018
 Sheet Title

GRADING & DRAINAGE PLAN

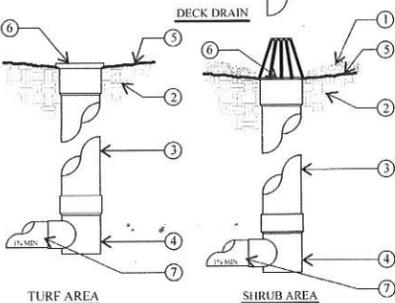
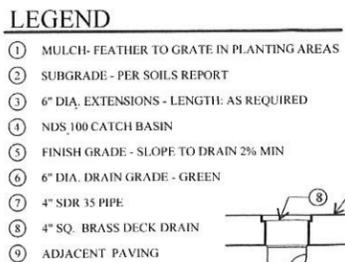
Sheet #



F PAVER *Stamped Concrete*

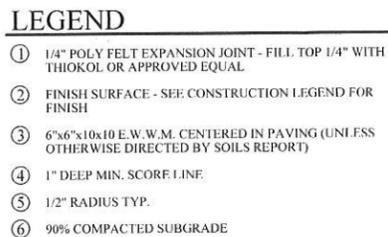
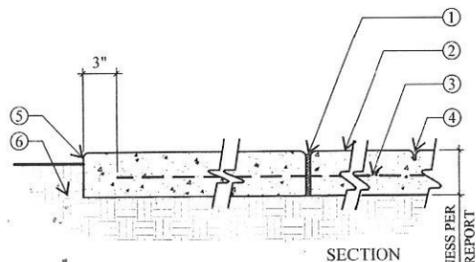


G TURF CELL

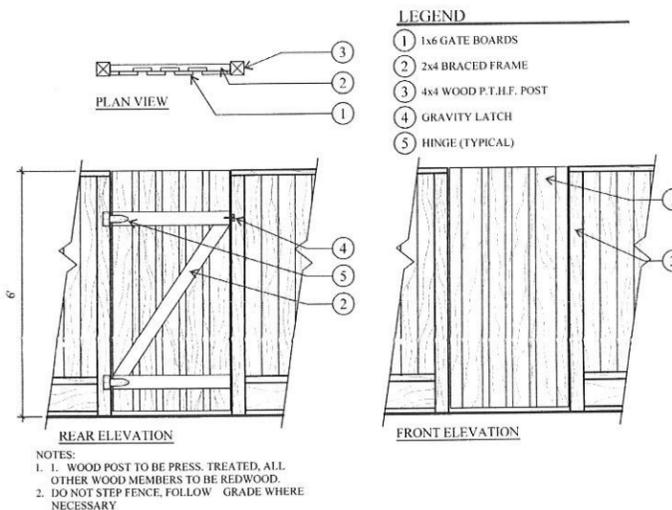


D AREA DRAINS

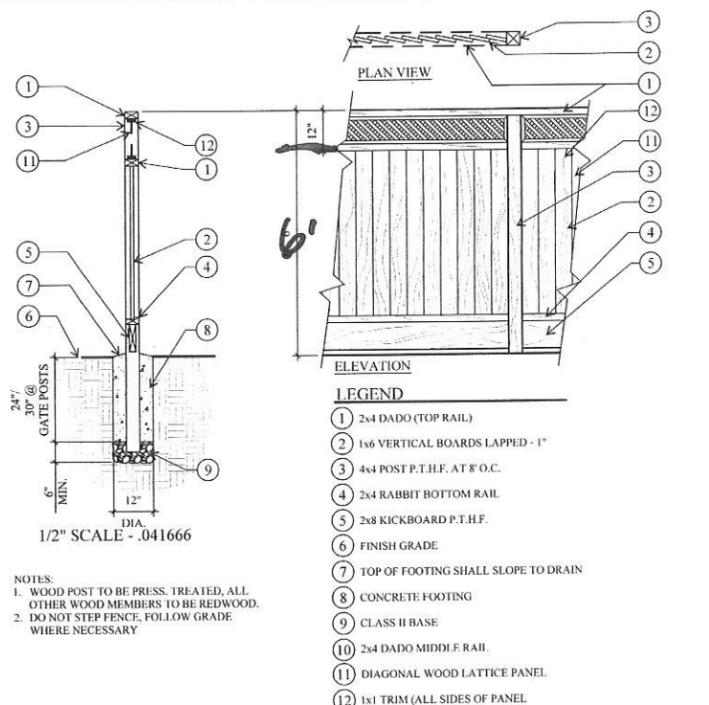
SCORE LINE AND EXPANSION JOINT SCHEDULE
4" WALKS - SCORE @ 4' O.C. W/ EXP. JTS. @ 20' O.C.



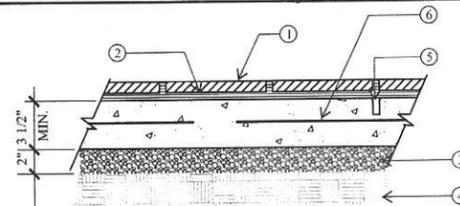
E CONCRETE PAVING



A SIDE YARD GATE



B WOOD FENCE - *all locations*



C TILE / STONE / BRICK PAVING

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SJA
landscape architecture
land planning

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96 RICON AVE, CAMPBELL
SAN JOSE
-- --
MOORE RESIDENCE

REVISIONS	
REVISION	DATE

SCALE	-
DRAWN	ML
DESIGNED	RJ
CHECKED	
DATE	06-07-17
JOB NO.	--
JOB TYPE	RESIDENCE

SHEET TITLE
CONSTRUCTION
DETAILS

SHEET 3 **OF** 11

96 E Rincon Ave
Campbell, CA 95008
June 14, 2018

City of Campbell
Planning Department
70 N First Street
Campbell, CA 95008

Re: APN 412-05-077
BLD 2017-00742

Dear Planning/Building Department;

We are applying for a Fence Exception for our home located at 96 E Rincon Ave. We would like to add one (1) foot of lattice to the already approved fence at the side and rear yards. We will be matching the existing fence of our neighbors.

We have spoken with the adjacent property owners and they have given us their approval. Along with the required filing fee, three (3) sets of 11" x 17" plans, and a CD, we are submitting the Neighbor Notifications Forms.

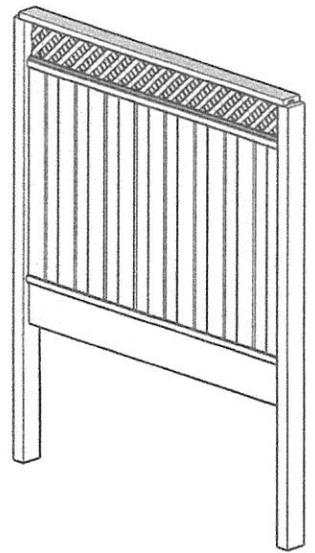
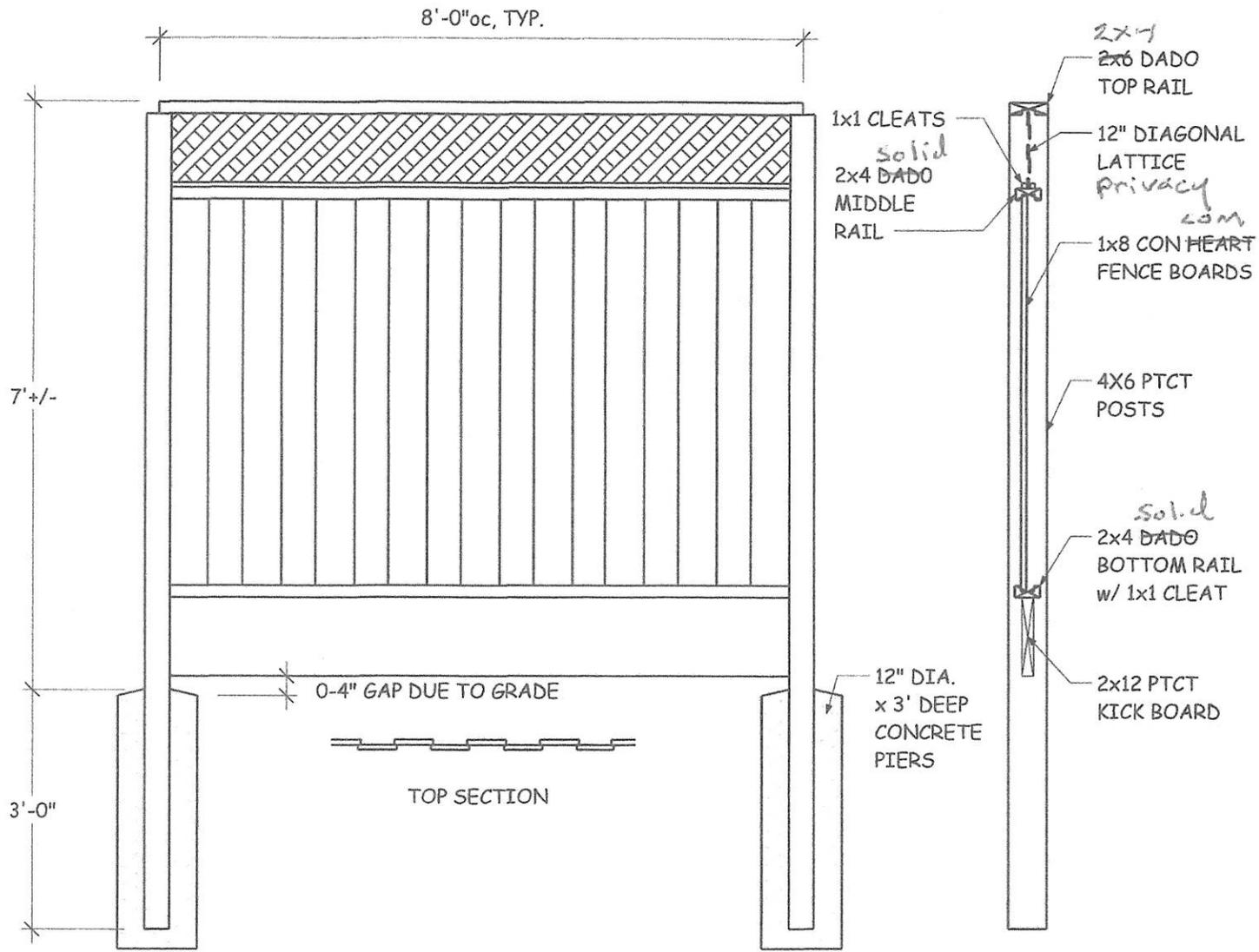
The addition of the lattice to the approved fence will not impair pedestrian or vehicular safety. With the additional lattice it will result in a more desirable site layout for our home and that of our neighbors. This additional lattice will not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood. The extra one (1) foot of lattice also will not be detrimental or injurious to property and improvements in my neighborhood or to the general welfare of the City of Campbell.

Thank you for reviewing our application. We look forward to completing our home and moving in.

Sincerely,

Handwritten signatures of Robert and Jeanne Moore. The signature on the left is Robert Moore and the signature on the right is Jeanne Moore.

Robert and Jeanne Moore



NOTES:
 1. ALL MATERIAL IS CONST. COMMON REDWOOD, U.N.O.

FRONT VIEW
 Scale: 1/2" : 1'

SIDE SECTION
 Scale: 1/2" : 1'

6'+1' DIAGONAL LATTICE BOARD ON BOARD FENCE

COASTAL LUMBER
 99 Pullman Way
 San Jose, CA 95111
 (408) 995-0791
 Redwood Fencing Contractor & Lumber Supplier

STANDARD DETAIL

REVISIONS		
	MM/DD/YY	REMARKS
1	10/18/17	Initial Release
2	___/___/___	...
3	___/___/___	...
4	___/___/___	...
5	___/___/___	...

01
 Sh