



CITY OF CAMPBELL
Community Development Department

May 4, 2018

**NOTICE OF CONDITIONAL USE AUTHORIZATION AND
ARCHITECTURAL MODIFICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Conditional Use Authorization and Architectural Modification pursuant to the Pruneyard Master Use Permit for the following project proposal:

File No.: PLN2018-71
Applicant: CraftWorks Restaurants and Breweries, Inc.
Project Address: 1875 S. Bascom Ave., Ste. 700 –
Rock Bottom Restaurant and Brewery
Property Owner: Ellis Partners
Zoning District: C-2-O (General Commercial / Overlay District)
General Plan: General Commercial
Project Description: Exterior improvements to the Rock Bottom Brewery façade and patio, including a new barrier, lighting, furniture, and mechanical screening; and expansion of the patio area and use of lounge-style furniture.

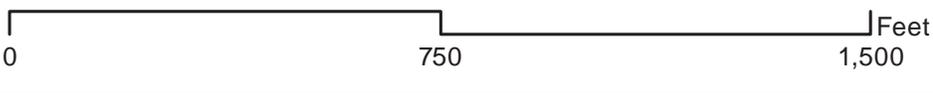
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on May 4, 2018 and ends on May 14, 2018. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 14, 2018**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map



Project Location: 1875 S. Bascom Blvd., Ste. 700
Application Type: Conditional Use Authorization and Architectural Modification
Planning File No.: PLN2018-71

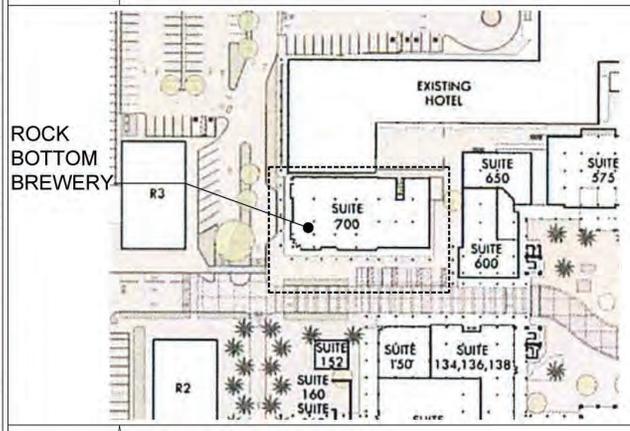


Community Development Department
Planning Division

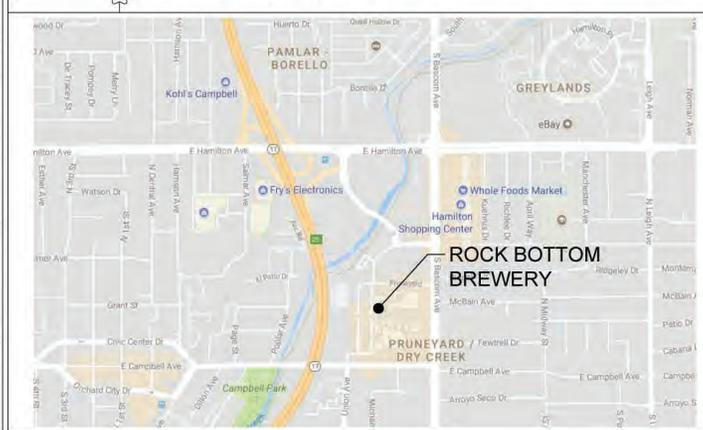


THE PRUNEYARD SHOPPING CENTER
 1875 S. BASCOM
 SUITE # 700
 CAMPBELL, CA 95008

SITE LOCATION MAP



AREA LOCATION MAP



DRAWING INDEX

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G102	CALIFORNIA GREEN BUILDING STANDARDS	03.23.18	
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STRUCTURAL			
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S102	STRUCTURAL DETAILS	03.23.18	
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E402	LIGHTING DETAILS	03.23.18	

CONTACTS

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 Email: kwilford@craftworks.com
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KITCHEN DESIGNER
 Timoth Hokenberg
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 Dallas, CO 80221
 Phone: (720) 458-3288
 Contact: David Burton
 Email: david@hokenberg.com

CODE ANALYSIS

APPLICABLE CODES:

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE
PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE
ELECTRIC CODE: 2016 NATIONAL ELECTRICAL CODE
MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE
FIRE CODE: 2016 CALIFORNIA FIRE CODE
ENERGY CODE: 2016 CALIFORNIA ENERGY CODE / CALIFORNIA GREEN BUILDING STANDARDS CODE
ACCESSIBILITY CODE: TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS

RESTAURANT AREA INFORMATION

BUILDING SQUARE FOOTAGE	AREA
EXISTING 1ST FLOOR	8,502 SQ.FT
PROPOSED 1ST FLOOR	8,492 SQ.FT
EXISTING MEZZANINE	1,232 SQ.FT
EXISTING PATIO	1,912 SQ.FT
PROPOSED PATIO	2,057 SQ.FT

CODE SUMMARY

CODE ITEMS	PROPOSED	ALLOWED
ZONING CLASSIFICATION	C-2	
USE GROUP	A-2	
TYPE OF CONSTRUCTION	V-B FULLY SPRINKLED	
NUMBER OF STORIES	SINGLE	3 (SPRINKLED)
MAXIMUM BUILDING HEIGHT	EXISTING	75 FT. (SPRINKLED)
CLIMATE ZONE	3	

OCCUPANT LOAD FACTOR - SEE G101 FOR OCCUPANCY CALCULATIONS

LOAD TYPE	OCCUPANTS
INTERIOR OCCUPANT LOAD (PATIO NOT INCLUDED)	302 OCCUPANTS
EXTERIOR OCCUPANT LOAD (PATIO)	110 OCCUPANTS
TOTAL BUILDING AND PATIO OCCUPANT LOAD	412 OCCUPANTS

INTERIOR OCCUPANT LOAD ACCESSIBLE EXIT REQUIREMENTS

OCCUPANT LOAD	WIDTH/PER PERSON	WIDTH REQUIRED	WIDTH PROVIDED
302	2 in.	60.4 in.	184.5 in. (CLEAR WIDTH)

PLUMBING FIXTURE COUNT REQUIREMENT:

PER 2018 CALIFORNIA PLUMBING CODE: TABLE 422.1 & TABLE A (OCCUPANT LOAD FACTOR)

GROUND LEVEL INTERIOR SQ. FT.	REQUIRED
8,492 SQ.FT.	1,232 SQ.FT.
2,057 SQ.FT.	2,057 SQ.FT.
8,492 + 2,057 =	11,781 SQ.FT.

11,781/30 = 393 OCCUPANTS

TOTAL OCCUPANT LOAD	REQUIRED LAVATORY	REQUIRED WATER CLOSET	REQUIRED URINAL	PROVIDED LAVATORY	PROVIDED WATER CLOSET	PROVIDED URINAL
393	2	3	1	2	2	3
MEN	197	2	3	1	2	3
WOMEN	197	2	4	N/A	2	5

INTERIOR & EXTERIOR FINISHES

INTERIOR WALL & CEILING FINISH CLASSIFICATIONS:

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED INDEX 0-450
 CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED INDEX 0-450
 CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED INDEX 0-450

SMOKE DEVELOPED INDEXES OF INTERIOR MATERIALS: 0-450

USE GROUP	VERTICAL EXITS & EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C
SPRINKLED	N/A TO PROJECT	N/A TO PROJECT	ALL AREAS

REQUIRED SPECIAL INSPECTIONS & TESTING

STRUCTURAL SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS ARE REQUIRED FOR SPECIFIC BUILDING ELEMENTS. REFER TO STRUCTURAL DRAWINGS FOR THE LIST OF WORK REQUIRING SPECIAL INSPECTIONS. AN APPROVED SPECIAL INSPECTION SERVICE IS REQUIRED. THE NAME OF THE SPECIAL INSPECTION AGENCY AND CONTACT INFO SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT ONCE CONTRACTED. REPORTS SHALL BE SUBMITTED TO VERIFY CONFORMANCE WITH THE DRAWINGS.

DEFERRED/SEPARATE SUBMITTALS

- BUILDING SIGNAGE

SCOPE OF WORK

REPLACE ALL LIGHTING WITH TITLE 24 COMPLIANT LIGHTING. REPLACE ALL INTERIOR AND EXTERIOR FURNITURE. REPLACE AND/OR PAINT INTERIOR "FRONT OF HOUSE" FINISHES. REPLACE EXISTING RESTROOM PLUMBING FIXTURES AND FINISHES AND RECONFIGURE THE FLOOR PLAN TO BE AS CLOSE TO FULL ACCESSIBILITY COMPLIANCE AS POSSIBLE. INSTALL PLANTERS AND NEW PATIO RAILING. SQUARE THE EXISTING ANGLED ENTRY AND RECONFIGURE THE EXISTING STEPS. CREATE AN EXTERIOR WAITSTATION ALCOVE. REMOVE EXISTING STONE FROM BASE OF THE EXISTING EXTERIOR WALLS AND REPLACE WITH STUCCO TO MATCH REMAINDER OF WALL. REPLACE THE EXISTING BAR AND BAR EQUIPMENT. REPAIR DAMAGED SHEATHING AND FINISH MATERIALS IN THE SERVING TANKS ROOM. UPGRADE THE EXISTING ROOF SCREEN. OTHER MISCELLANEOUS ITEMS SHOWN IN THE CONSTRUCTION DOCUMENTS THAT ARE NOT INCLUDED IN THIS BRIEF DESCRIPTION.



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ROCK BOTTOM BREWERY
 THE PRUNEYARD SHOPPING CENTER
 1875 S. BASCOM, SUITE #700
 CAMPBELL, CA 95008



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS. NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR
 TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER
170369

SHEET NUMBER
G100

ORIGINAL ISSUE DATE - 03.23.18

PRINTED BY: R02078
 DRAWING NAME: 170369-G100-170369.DWG
 DATE: Mar 23, 2018 - 2:46pm



ROCK BOTTOM BREWERY
 THE PRIMEYARD SHOPPING CENTER
 1875 S. DAWSON, SUITE #700
 CAMPBELL, CA 95008



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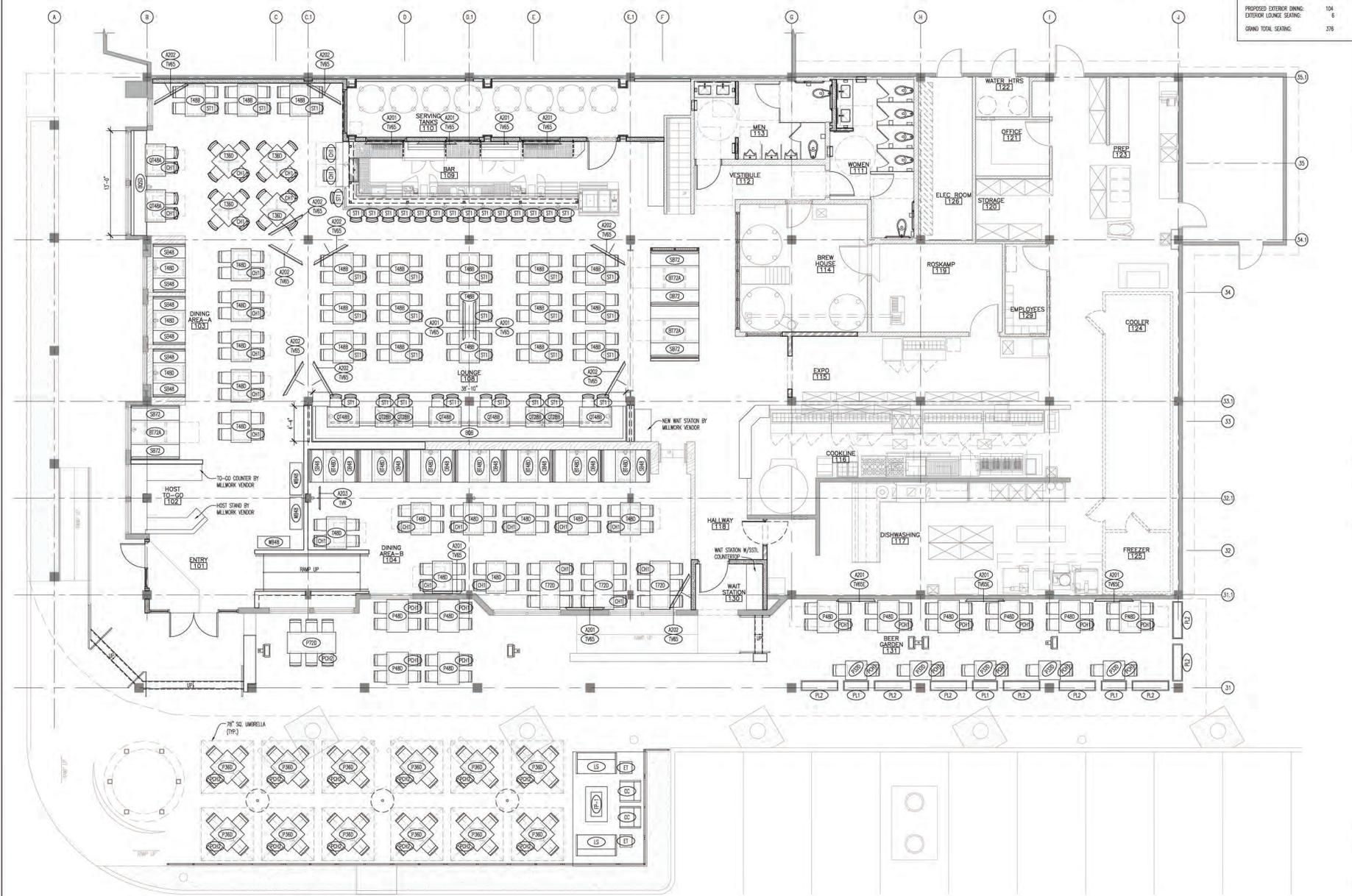
A112

ORIGINAL ISSUE DATE - 03.23.18

SEATING TABULATIONS

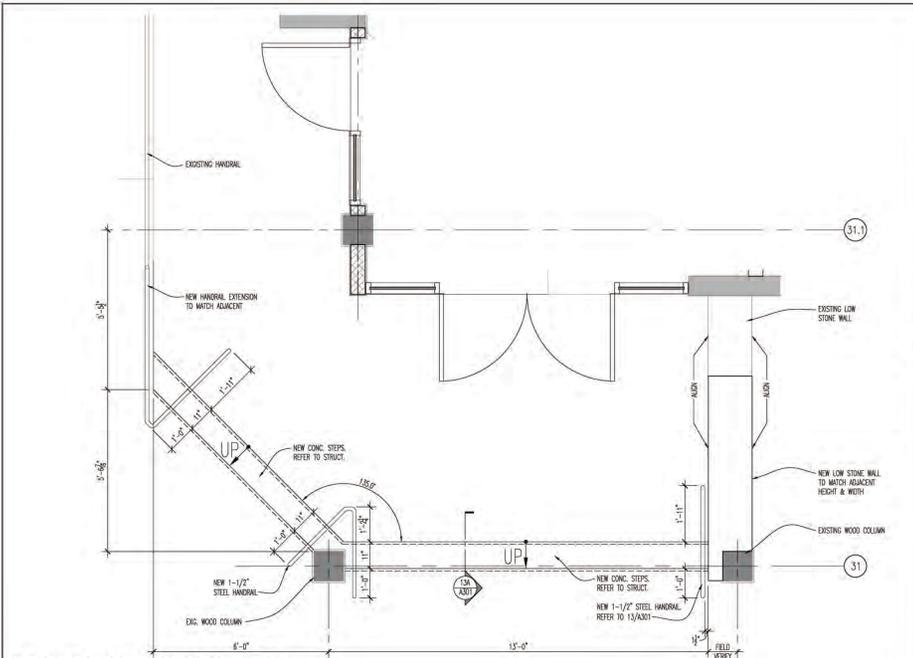
EXISTING EXTERIOR SEATING:	271
EXISTING INTERIOR SEATING:	116
PROPOSED EXTERIOR SEATING:	266
PROPOSED INTERIOR SEATING:	104
EXTERIOR LOUNGE SEATING:	6
GRAND TOTAL SEATING:	376

GENERAL NOTES:
 - REFER TO SHEET #A11 FOR FURNITURE SCHEDULE
 - EXTERIOR SEATING IS LESS THAN SIZE OF TOTAL SEATING

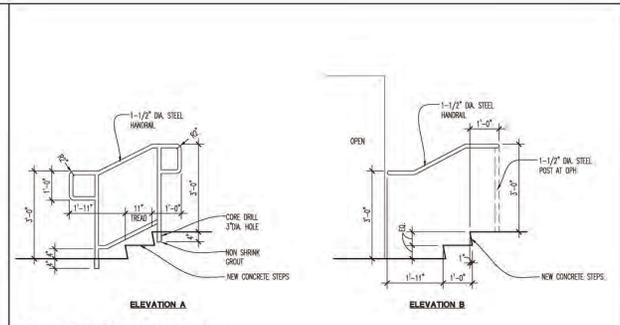


01 FURNISHINGS PLAN
 SCALE: 3/16"=1'-0"

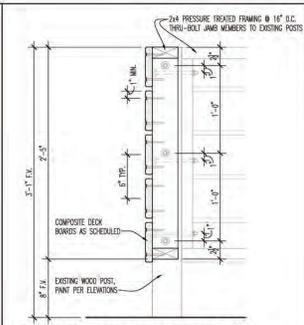
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 DATE: MAR 23, 2018 - 2:48pm



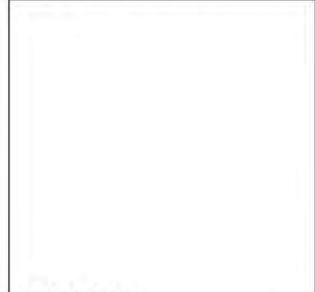
02 ENLARGED MAIN ENTRY PLAN
SCALE: 1/2"=1'-0"



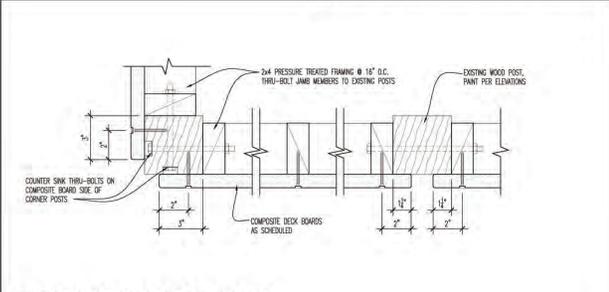
13 HANDRAIL DETAILS
SCALE: 1/2"=1'-0"



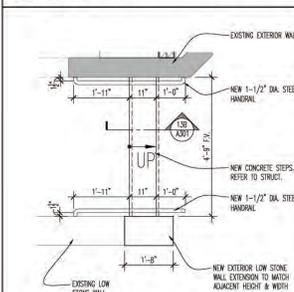
21 ROOF SCREEN SECTION
SCALE: 1 1/2"=1'-0"



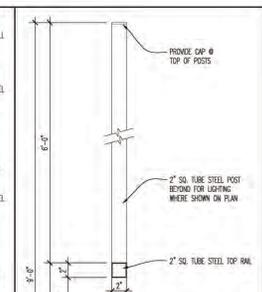
14 NOT USED
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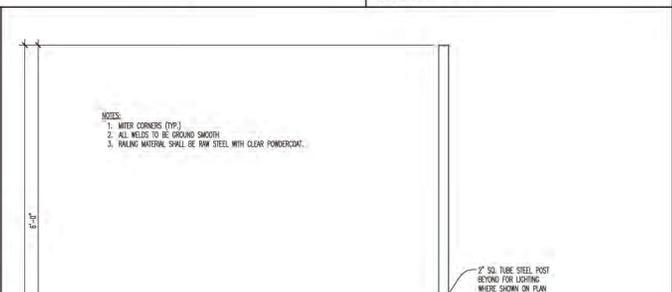
18 ROOF SCREEN PLAN DETAIL
SCALE: 3"=1'-0"



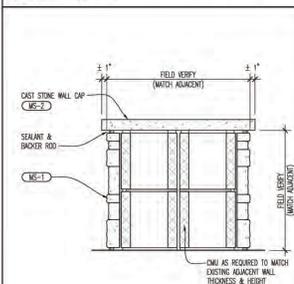
03 ENLARGED STEPS PLAN
SCALE: 1/2"=1'-0"



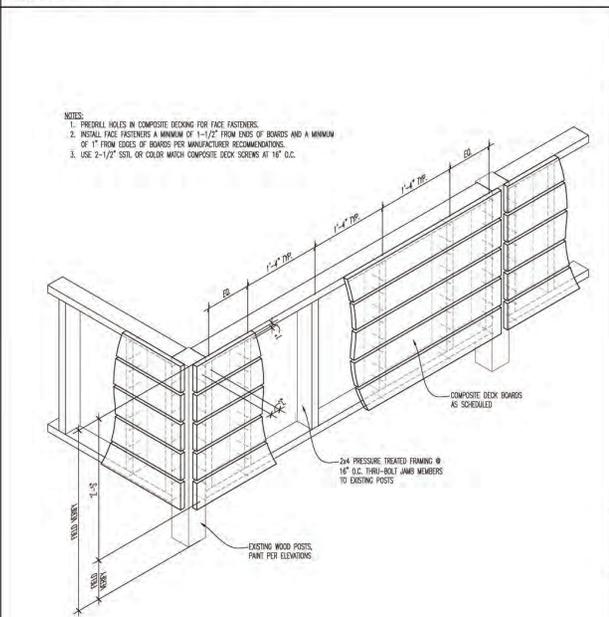
08 PATIO RAILING SECTION
SCALE: 1 1/2"=1'-0"



12 PATIO RAILING ELEVATION
SCALE: 1"=1'-0"



04 STONE LOW WALL
SCALE: 1 1/2"=1'-0"



20 ROOF SCREEN ISOMETRIC
SCALE: 1"=1'-0"



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REMODEL
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