

PLANNING COMMISSION

City of Campbell, California

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June 9, 2020

Tuesday

7:30 p.m.

On-line Zoom Meeting

AGENDA

ROLL CALL

APPROVAL OF THE MINUTES February 11, 2020 (*the meetings of February 25, March 10, March 24, April 14, April 28, May 12 and May 26 2020 were cancelled.*)

COMMUNICATIONS

AGENDA MODIFICATIONS OR POSTPONEMENTS

ORAL REQUESTS

This is the point on the agenda where members of the public may address the Commission on items of concern to the Community that are not listed on the agenda this evening. People may speak up to 5 minutes on any matter concerning the Commission.

PUBLIC HEARINGS

1. **City-Initiated** Public Hearing to consider the **City of Campbell 2021-2025 Capital Improvement Plan (CIP)** for citywide projects for consistency with the Campbell General Plan. Staff is recommending that the project be deemed exempt under CEQA. Tentative City Council Meeting Date: June 25, 2019. *Project Planner: Daniel Fama, Senior Planner*
2. **PLN2019-215** Public Hearing to consider the application of Antje Paiz for a Site and Architectural Review Permit (PLN2019-215) to allow the construction of an approximately 3,800 square-foot one-story single-family residence and an increase to the allowable fence height, on property located at **596 Emory Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Daniel Fama, Senior Planner*.

REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR

ADJOURNMENT

Adjourn to the next regularly scheduled Planning Commission meeting of **June 23, 2020**, at 7:30 p.m., likely to be conducted using Zoom.

Americans with Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, listening assistance devices are available for meetings held in the Council Chambers. If you require accommodation to participate in the meeting, please contact Corinne Shinn at the Community Development Department, at corinnes@cityofcampbell.com or (408) 866-2140.

CITY OF CAMPBELL PLANNING COMMISSION

MINUTES

7:30 P.M.

TUESDAY

FEBRUARY 11, 2020
CITY HALL COUNCIL CHAMBERS

The Planning Commission meeting of February 11, 2020, was called to order at 7:30 p.m., in the Council Chambers, 70 North First Street, Campbell, California by Chair Krey and the following proceedings were had, to wit:

ROLL CALL

Commissioners Present: Chair: Michael Krey
Commissioner: Adam Buchbinder
Commissioner: Nick Colvill
Commissioner: Terry Hines
Commissioner: Andrew Rivlin

Commissioners Absent: Vice Chair: Maggie Ostrowski
Commissioner: Stuart Ching

Staff Present: Community
Development Director: Paul Kermoyan
Senior Planner: Daniel Fama
City Attorney: William Seligmann
Recording Secretary: Corinne Shinn

APPROVAL OF MINUTES

Motion: Upon motion by Commissioner Buchbinder, seconded by Commissioner Hines, the Planning Commission minutes of the meeting of January 28, 2020, were approved as submitted with a typo correction to page 8 from “feed” to “feet”. (4-0-2-1; Commissioners Ostrowski and Ching were absent and Commission Rivlin abstained).

COMMUNICATIONS

None

AGENDA MODIFICATIONS OR POSTPONEMENTS

None

ORAL REQUESTS

Mr Buddhadeb Basu, Resident on Redding Road:

- Said he would like to speak to the issue of the ADU Ordinance.
- Reported that he currently has a Code Enforcement Code underway for which City staff has been helping him quite effectively.
- Reported that there was a regional seminar on November 21, 2019, as part of the CalAPA Conference on the intent of the State to create more housing supply during the existing housing crisis.
- Suggested that the members of the Commission take a look at that seminar tape.
- Added that he hopes to see this Commission act as to what the State is intending in terms of ADUs.
- Pointed out that there are lots of existing but illegal ADUs.
- Cautioned that people (property owners) need to feel welcome to come into the City to work to get those unpermitted ADUs legalized.
- Stated that he would also approach the Council.
- Asked that Campbell be proactive in allowing ADUs.
- Thanked the Commission for the opportunity to address them on this issue.

Chair Krey reminded that the City has just adopted its newly updated ADU Ordinance.

Commissioner Buchbinder asked if there is a process to deal with existing illegal ADUs.

Planner Daniel Fama:

- Advised that there is a five-year delayed enforcement provision for those existing ADUs with Building Code violations.
- Said that while those with Building Code violations could be so deferred, that does not apply to Zoning violations.
- Added that if desired, Council could initiate the discussion of expanding the deferment to Zoning violations.

Commissioner Colvill asked staff he is able to address the Oral Request speaker.

Director Paul Kermoyan replied no. He added that the speaker (Mr. Basu) is currently going through a process that will formally bring him to the Planning Commission at a future date.

PUBLIC HEARINGS

Chair Krey read Agenda Item No. 1 into the record as follows:

1. **PLN2019-238** Public Hearing to consider the application of Robson Homes for a Major Modification (PLN2019-238) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at **100-300 Haymarket Court** (formally 880 and 910 Harriet Avenue). Staff is recommending that this item be deemed Categorically Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Daniel Fama, Senior Planner*

Mr. Daniel Fama, Senior Planner, provided the staff report.

Chair Krey asked if there were questions for staff.

Chair Krey asked what the difference is between allowing an extended FAR for an existing ADU versus an extended FAR for the construction of a new ADU.

Director Paul Kermoyan replied that there is latitude with Planned Development zoning such as in this request under consideration this evening.

Commissioner Hines said that SARC had similar question and learned that these developers could build their project without the desired ADUs and then simply build them after one year with a building permit.

Chair Krey said that seems to be a quirk in our rules.

Director Paul Kermoyan:

- Explained that, per a Planning standpoint, it is best if this project unfolds as the developer wants rather than these ADUs be done later and piecemeal.
- Added that it will be a better development for the community and this neighborhood.

Commissioner Colvill asked how often an ADU is build on top of a garage.

Planner Daniel Fama replied that these are the first ones.

Commissioner Colvill stated that this proposal is fantastic and will help set the tone. He is in support as long as what is proposed adheres to Code standards.

Commissioner Hines provided the Site and Architectural Review Committee report as follows:

- SARC was supportive of the design and proposed architecture of these added ADUs.
- Added that they found this to be consistent with the overall design of the original project.

- Stated that SARC questioned why including ADUs was not done before and learned that the new ADU Ordinance that would allow this had not yet been adopted.
- Advised that the project also received STACC (San Tomas Area Community Coalition) support including via a letter distributed this evening.
- Concluded that the proposed ADUs fit within the standards and it is best to build them up at the same time as the main residential structure(s) rather than later on.

Chair Krey opened the Public Hearing for Agenda Item No. 1.

Richard Yee, Project Representative, Robson Homes:

- Stated that they are very excited to be here.
- Admitted that they always had the vision for including ADUs as part of their project.
- Said he is available for any questions and hopes for approval.

Commissioner Buchbinder asked why just three ADUs rather than one for all six residences under construction.

Richard Yee replied that having one for the remaining three homes would compromise the rear yards as far as usable outdoor space while it was a natural fit atop the three units with detached garages.

Commissioner Colvill:

- Stated that this inclusion is great. Just phenomenal.
- Added that developers are responsible for so much of the development of our City.
- Stated that this developer is doing everything right and he applauds them for what they are doing.

Chair Krey pointed out that the value of the property goes up with the addition of an ADU on these three homes. He asked what the difference in sales price might be between one without an ADU and one with an ADU.

Richard Yee:

- Stated that he doesn't have that information at this time.
- Agreed that the lots with an ADU would have an impact in value.
- Admitted that his concentration is on project design rather than sales price.
- Concluded that allowing these ADUs will help the City to provide a more diverse housing product as intended by State law.

Chair Krey thanked Mr. Richard Yee.

Chair Krey closed the Public Hearing for Agenda Item No. 1.

Commissioner Buchbinder:

- Said that he likes the proposed design.
- Added that the developer has gone out of their way to fit these ADUs within the design of the main homes.
- Reminded that STACC is supportive of this request

- Pointed out that it is what we had in mind with the ADU Ordinance.
- Concluded that this change will increase this project from the original six to nine units of housing.

Commissioner Hines:

- Stated his agreement with the comments of Commissioner Buchbinder.
- Reported that Robson Homes worked diligently with the City and community to process an ADU design that meets the requirements of the City and the State.

Commissioner Colvill:

- Said the he loves this proposal.
- Declared that it would set the bar and tone moving forward for other developers.
- Agreed with previous statements that there is a great demand for housing.
- Reiterated that this is a great project for Campbell.

Commissioner Rivlin stated his support as proposed.

Chair Krey:

- Said he too supports this request.
- Admitted his concern about the second story with no enhanced (off-set) setback.
- Concluded that this proposal is a good fit here.
- Stated his loves the input received.

Motion: **Upon motion of Commissioner Hines, seconded by Commissioner Rivlin, the Planning Commission adopted Resolution No. 4560 recommending that the City Council approve a Major Modification (PLN2019-238) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at 100-300 Haymarket Court (formally 880 and 910 Harriet Avenue), by the following roll call vote:**
AYES: **Buchbinder, Ching, Colvill, Hines, Krey and Rivlin**
NOES: **None**
ABSENT: **Ostrowski**
ABSTAIN: **None**

Chair Krey advised that this item would be considered by the City Council for final action at its meeting on March 3, 2020.

Chair Krey read Agenda Item No. 2 into the record as follows:

NEW BUSINESS**2. Discussion about Planning Commission and City Council decision making.**

Chair Krey said that this item is a follow up to the discussion held at the end of the last meeting during the Director's Report.

Director Paul Kermoyan:

- Stated that this item was agendaized to provide the Planning Commission with an opportunity to speak in open session about concerns members may have.
- Explained that when evaluating a project to bring forth to the Planning Commission, staff looks at the project against codes and not what public input it receives.
- Added that issues of consideration are whether a site can support a proposed use or development as well as evaluate whether there are any potential impacts.
- Assured that staff has no preference one way or the other. It's not winning votes.
- Said that Council can take other issues into consideration including the weight of public preference.
- Added that hopefully staff is not putting too much pressure on the PC. What staff provides to PC is its recommendations. Staff follows Code and policy direction. Nothing else.
- Suggested that the Commissioners talk amongst themselves.
- Advised that the Commission can reach out to Council suggesting a joint CC/PC Study Session.
- Said that one means of outreach would be for a member to attend a Council meeting and address the Council under Oral Request/Public Comment.
- Stated that there are different avenues for the PC if there is an issue of concern to the Commission.

Commissioner Buchbinder:

- Said that one of his original general concerns was the boundaries of Commissioners to request items of discussion.
- Reminded that he had requested parking information as part of the review of the new brewery tasting room application. It was provided by staff via an intern.
- Questioned what might be considered outside of the Commission's mandate. Is it out of mandate to talk to a member of Council about an issue or topic? What is the extent of what we can discuss here and send on to Council?

Director Paul Kermoyan said that tonight the Commission's agenda description is a discussion about Planning Commission and City Council decision making.

Commissioner Buchbinder asked when we should go to Council versus raising an issue here at a Planning Commission meeting.

Director Paul Kermoyan assured the members of the PC that they are free individually to reach out to members of Council.

Commissioner Buchbinder said it seems more meaningful if the PC comes to a recommendation and brings it forward to Council. Gave input on the General Plan Update as one timely issue.

Director Paul Kermoyan:

- Said he was just trying to appease a simple request when he went ahead and had an intern research additional parking information requested by Commissioner Buchbinder for that Use Permit application. It was a simple request and a relevant assignment for our intern.
- Stated the greater question seems to be how the PC can forward items to Council.
- Suggested continuing tonight with their discussion on what types of items the PC seeks to bring to the attention of Council and in what form.

Commissioner Buchbinder said one issue he feels is important is the ADU Ordinance and taking on the amnesty option supported by the State and raised under Oral Request this evening.

Director Paul Kermoyan said that all comments made this evening are on the record and included in the meeting minutes. He added that as most Council Members watch the PC meetings, it is likely they have heard the comments of the last meeting.

Commissioner Buchbinder asked again how much discretion a Commissioner/the Commission has to forward items to Council.

Director Paul Kermoyan:

- Clarified that as an individual, each Planning Commissioner has total autonomy to reach out to members of Council.
- Added that if the PC is asking staff to prepare some form of formal document (manifesto) to forward a statement to Council memorializing a PC opinion or request, the PC is more confined.
- Advised that the “charge” of this Planning Commission is development and project review, Ordinance recommendations, and appeals of administrative decisions. That is the primary purpose for the PC.

Commissioner Buchbinder said that the Commission continues to run into issues where the existing General Plan is not in keeping with the current Codes. What are our options?

Director Paul Kermoyan:

- Said that the way to be effective is through meaningful communication.
- Added that it seems that one solution might be for the Planning Commission to recommend that the City Council convene an annual or bi-annual joint session together with the Planning Commission.
- Stated that those joint sessions tend to be broad discussions of issues.

Commissioner Buchbinder said that is a great idea.

Commissioner Hines agreed.

Director Paul Kermoyan:

- Said that if all Commissioners agree, staff can send a note to Council recommending such a meeting(s) be considered.
- Stated that would be the correct approach.

City Attorney William Seligmann added that the Commission should agendaize an item on a future PC meeting at which time they can form a motion to pass this recommendation for annual joint PC/CC sessions on to Council.

Commissioner Hines:

- Pointed out that three very significant projects have gone through this Planning Commission on to Council at which time the Council decision was counter to the PC recommendation for all three.
- Reminded that a lot of Commission and staff time was spent reviewing those projects including feedback from the public. It reflects a lot of time spent.
- Added that it seems Council is not in the same mindset as Council.
- Stated that he would like to have (build) on each body's mindset rather than resulting on so many counter decisions.
- Admitted he is not sure that a joint session is the answer.
- Said that rather than a joint session he'd rather understand Council's thought process so the PC can also take that into consideration during its review and forwarding of recommendations.

Director Paul Kermoyan said that in the event that Council is supportive of establishing Joint PC/CC Study Sessions, what is discussed will depend on the quality of the agenda prepared for that joint meeting.

Commissioner Rivlin:

- Reminded that this Commission works on the General Plan and updates to other Codes.
- Added that the Council may or may not have to adhere to the same standards but rather are able to take other information into consideration.
- Said that the PC went with the General Plan rather than with its own personal preferences for what is supportable or not coming before the PC.
- Concluded that the PC serves at the behest of the City Council.

City Attorney William Seligmann added that one member of the PC could meet with up to two members of Council at any given time. To do otherwise risks representing "serial" meetings that are against the provisions of the Brown Act.

Commissioner Hines said that as has been the case over his career in high tech to be sync with his bosses, as a Planning Commission he also wants to be aligned with his "Boss" which in this case is the City Council.

Commissioner Rivlin said that there is some frustration on the part of this Commission and desire to get to what is the root of our concerns given all of the items forwarded and overturned were carefully considered by this PC at multiple meetings.

Commissioner Colvill:

- Said that there seems to be a disconnect between the Planning Commission and City Council so having perhaps an annual Joint PC/CC Study Session is a fantastic idea.
- Stated that the PC is doing its best to work together with Council, but it feels like decisions go in a direction they shouldn't.
- Supported the idea of agendizing the concept of joint meetings and make a resolution to move that idea forward to the Council for consideration.
- Said he realizes we have to be more assertive to make motions and resolutions.
- Referenced Chapter 21 and the areas for which the PC has jurisdiction.
- Suggested that they discuss things we don't like on our own and pass it on to Council. Perhaps things that are not on their (Council's) radar.

Chair Krey said that both the possibility of including amnesty period for existing non-conforming ADUs and the issue of parking for the Downtown were both in context with items the PC was looking at.

Director Paul Kermoyan:

- Said that he gets the idea that what the PC is proposing represents new assignments for staff to undertake that have not been assigned or authorized by Council.
- Cautioned that at the present time, Planning is tapped out.
- Stated that he has no problem doing more but he needs more staff to get it done.

Commissioner Hines:

- Stated that the Council is tapped out as well. They have a lot of activities they have to do in relation to their service on Council.
- Added that he is not trying to add more work to staff's load but rather is seeking to understand how the PC is going to be better aligned with the standards of the Council.
- Said he wants the PC to take Council's direction into consideration in its own decision making.
- Pointed out that he is not asking for another Study Session, which would just overload everybody even more than they already are.

Director Paul Kermoyan:

- Suggested that annual Joint Sessions could represent a built-in mechanism to provide a check-in process.
- Added that he thought at least once a year a joint session is important.
- Stated that with that one session, the PC would get their Council's perspective.

Commissioner Buchbinder pointed out that some members of Council watch the PC meetings yet sometimes come up with something that doesn't make sense due to the work put into forwarding the PC recommendation on to Council.

Director Paul Kermoyan said that since the group all feel it is important to have at least one joint study session a year, he suggested one member make a motion and staff will deliver that message on to Council via the City Manager. He agreed that it was likely some if all Councilmembers could be watching this PC meeting right now.

Chair Krey suggested that members of the PC should perhaps watch some of the Council meetings to see how they debate items.

Commissioner Colvill:

- Stated that everyone is overburdened.
- Added that when looking into the Municipal Code, it advises that members of the PC should go to the Community Development Director for guidance and he is effective at providing it.
- Said that it is important for us to go to staff without feeling that we are over-burdening them.

Motion: Upon motion of Commissioner Colvill, seconded by Commissioner Buchbinder, the Planning Commission took minute action to forward a suggestion on to the City Council that they consider establishing an Annual or Bi-Annual Joint PC/CC Study Session. (5-0-2; Commissioners Ostrowski and Ching were absent).

Director Paul Kermoyan said staff would put this message together and get it to the City Manager. He added that the reason to meet is to discuss the Planning Commission’s role and how we apply Code to review and decision making.

Commissioner Hines said he agrees with Director Kermoyan that the goal is to discuss process.

REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR

Director Paul Kermoyan had no additions to his written report.

ADJOURNMENT

The Planning Commission meeting adjourned at 8:22 p.m. to the next Regular Planning Commission Meeting of **March 10, 2020** as the Regular Planning Commission Meeting of February 25, 2020 is cancelled.

SUBMITTED BY: _____
Corinne Shinn, Recording Secretary

APPROVED BY: _____
Michael Krey, Chair

ATTEST: _____
Paul Kermoyan, Secretary

Resolution No. 4560

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE APPROVING A MAJOR MODIFICATION (PLN2019-328) TO A PREVIOUSLY-APPROVED PLANNED DEVELOPMENT PERMIT (PLN2018-178) TO ALLOW THREE ACCESSORY DWELLING UNITS (ADUS) WITHIN AN APPROVED SIX-LOT SINGLE-FAMILY RESIDENTIAL PLANNED DEVELOPMENT, FOR PROPERTIES LOCATED AT **100, 200, AND 300 HAYMARKET COURT** (FORMALLY 880 AND 910 HARRIET AVE).

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Major Modification (PLN2019-328):

Environmental Finding

1. The Proposed Project falls within the scope of a previously adopted Mitigated Negative Declaration (MND) as ADUs are considered incidental to a single-family residence under State law.

Evidentiary Findings

1. The Project Site is zoned P-D (Planned Development) on the City of Campbell Zoning Map.
2. The Project Site is designated *Low Density Residential* (Less than 6 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The Project Site is three parcels located on a private street know as Haymarket Court located east of Harriet Avenue.
4. The Project Site is subject to a Planned Development Permit (PLN2018-178) approved by the City Council on December 4, 2018 by Resolution No. 12384.
5. The Proposed Project is an application to modify the previously approved Planned Development Permit (PLN2018-178) to allow 435 square-foot accessory dwelling units (ADUs) atop of the three detached garages located on Lots 4, 5, and 6 within the Project Site.
6. The proposed project constitutes a "Major Modification" to the previously approved Planned Development Permit because it "proposes to add additional square footage or substantially alter the design or specifications approved by the site plan..." as specified Campbell Municipal Code (CMC) Sec. 21.12.030.H.3.b.

7. Although CMC Section 21.23.030.D specifies that an ADU may exceed the applicable Floor Area Ratio (FAR) to the extent necessary to allow an accessory dwelling unit no larger than 800 square feet, the Community Development Director has determined that this provision may only be exercised in association with existing homes and is therefore inapplicable for the Proposed Project.
8. The Proposed Project would increase the FAR of the affected lots beyond the 0.45 maximum specified by the San Tomas Area Neighborhood Plan (STANP), up to 0.514.
9. Notwithstanding the inapplicability of CMC Section 21.23.030.D, the Proposed Project may nonetheless still exceed the maximum FAR specified by the STANP pursuant to CMC Section 21.23.100 which allows developers to seek “less restrictive standards” as means to promote ADU production, which may be approved by the City Council by ordinance.
10. The Proposed Project would be consistent with the General Plan Land Use Goal LUT-3 and Housing Element Policy H-5.3:

 Goal LUT-3: Options in ownership and rental housing in terms of style, size, and density that contribute positively to the surrounding neighborhood

 Policy H-5.3: Secondary Dwelling Units: Provide for the infill of modestly priced rental housing by encouraging secondary units in residential neighborhoods.
11. In review of the Proposed Project, the Planning Commission considered the site circulation, traffic congestion, and traffic safety effects of the project, including the effect of the site development plan on traffic conditions on abutting streets; the layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exit driveways, and walkways; the arrangement and adequacy of off-street parking facilities to prevent traffic congestion; the location, arrangement, and dimensions of truck loading and unloading facilities; the circulation patterns within the boundaries of the development, and; the surfacing and lighting of the off-street parking facilities.
12. The Planning Commission further considered the landscaping design of the proposed project, including the location, height, and material of fences, walls, hedges, and screen plantings to ensure harmony with adjacent development or to conceal storage areas, utility installations, and other unsightly aspects of the development; the planting of groundcover or other surfacing to prevent dust and erosion, and the preservation of existing healthy trees.
13. The Planning Commission further considered the proposed project's architectural and site layout, including the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to the surrounding neighborhood; the exterior design in relation to adjoining structures in terms of area, bulk, height, openings, and breaks in the facade facing the street; and appropriateness and compatibility of the proposed uses in relation to the adjacent uses and the area as a whole.

14. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed development or uses clearly would result in a more desirable environment and use of land than would be possible under any other zoning district classification;
2. The proposed development would be compatible with the general plan and will aid in the harmonious development of the immediate area;
3. The proposed development would not be detrimental to the health, safety or welfare of the neighborhood or of the city as a whole.
4. The establishment will not create a nuisance due to litter, noise, traffic, vandalism or other factors;
5. The establishment will not significantly disturb the peace and enjoyment of the nearby residential neighborhood; and
6. This project is Categorically Exempt under Section 15303 (Class 3) of the California Environmental Quality Act (CEQA) Guidelines pertaining to the construction of accessory (appurtenant) structures

THEREFORE, BE IT RESOLVED that the Planning Commission recommends that the City Council adopt an ordinance (**Exhibit A**) approving a Major Modification (PLN2019-328) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at **100, 200, and 300 Haymarket Court** (formally 880 and 910 Harriet Ave).

PASSED AND ADOPTED this 11th day of March, 2020, by the following roll call vote:

AYES: Commissioners: Buchbinder, Ching, Colvill, Krey, Hines, and Rivlin

NOES: Commissioners:

ABSENT: Commissioners: Ostrowski

ABSTAIN: Commissioners:

APPROVED: _____

Michael Krey, Chair

ATTEST: _____

Paul Kermoyan, Secretar

ORDINANCE NO. _____

BEING AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CAMPBELL APPROVING A MAJOR MODIFICATION (PLN2019-328) TO A PREVIOUSLY-APPROVED PLANNED DEVELOPMENT PERMIT (PLN2018-178) TO ALLOW THREE ACCESSORY DWELLING UNITS (ADUS) WITHIN AN APPROVED SIX-LOT SINGLE-FAMILY RESIDENTIAL PLANNED DEVELOPMENT, FOR PROPERTIES LOCATED AT **100, 200, AND 300 HAYMARKET COURT** (FORMALLY 880 AND 910 HARRIET AVE).

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

After due consideration of all evidence presented, the City Council of the City of Campbell does ordain as follows:

Environmental Finding

1. The Proposed Project falls within the scope of a previously adopted Mitigated Negative Declaration (MND) as ADUs are considered incidental to a single-family residence under State law.

Evidentiary Findings

1. The Project Site is zoned P-D (Planned Development) on the City of Campbell Zoning Map.
2. The Project Site is designated *Low Density Residential* (Less than 6 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The Project Site is three parcels located on a private street know as Haymarket Court located east of Harriet Avenue.
4. The Project Site is subject to a Planned Development Permit (PLN2018-178) approved by the City Council on December 4, 2018 by Resolution No. 12384.
5. The Proposed Project is an application to modify the previously approved Planned Development Permit (PLN2018-178) to allow 435 square-foot accessory dwelling units (ADUs) atop of the three detached garages located on Lots 4, 5, and 6 within the Project Site.
6. The proposed project constitutes a "Major Modification" to the previously approved Planned Development Permit because it "proposes to add additional square footage or substantially alter the design or specifications approved by the site plan..." as specified Campbell Municipal Code (CMC) Sec. 21.12.030.H.3.b.
7. Although CMC Section 21.23.030.D species that an ADU may exceed the applicable Floor Area Ratio (FAR) to the extent necessary to allow an accessory dwelling unit no larger than 800 square feet, the Community Development Director has determined that

this provision may only be exercised in association with existing homes and is therefore inapplicable for the Proposed Project.

8. The Proposed Project would increase the FAR of the affected lots beyond the 0.45 maximum specified by the San Tomas Area Neighborhood Plan (STANP), up to 0.514.
9. Notwithstanding the inapplicability CMC Section 21.23.030.D, the Proposed Project may nonetheless still exceed the maximum FAR specified by the STANP pursuant to CMS Section 21.23.100 which allows developers to seek “less restrictive standards” as means to promote ADU production, which may be approved by the City Council by ordinance.
10. The Proposed Project would be consistent with the General Plan Land Use Goal LUT-3 and Housing Element Policy H-5.3:

 Goal LUT-3: Options in ownership and rental housing in terms of style, size, and density that contribute positively to the surrounding neighborhood

 Policy H-5.3: Secondary Dwelling Units: Provide for the infill of modestly priced rental housing by encouraging secondary units in residential neighborhoods.
11. In review of the Proposed Project, the City Council considered the site circulation, traffic congestion, and traffic safety effects of the project, including the effect of the site development plan on traffic conditions on abutting streets; the layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exit driveways, and walkways; the arrangement and adequacy of off-street parking facilities to prevent traffic congestion; the location, arrangement, and dimensions of truck loading and unloading facilities; the circulation patterns within the boundaries of the development, and; the surfacing and lighting of the off-street parking facilities.
12. The City Council further considered the landscaping design of the proposed project, including the location, height, and material offences, walls, hedges, and screen plantings to ensure harmony with adjacent development or to conceal storage areas, utility installations, and other unsightly aspects of the development; the planting of groundcover or other surfacing to prevent dust and erosion, and the preservation of existing healthy trees.
13. The City Council further considered the proposed project's architectural and site layout, including the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to the surrounding neighborhood; the exterior design in relation to adjoining structures in terms of area, bulk, height, openings, and breaks in the facade facing the street; and appropriateness and compatibility of the proposed uses in relation to the adjacent uses and the area as a whole.
14. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact, the City Council further finds and concludes that:

1. The proposed development or uses clearly would result in a more desirable environment and use of land than would be possible under any other zoning district classification;
2. The proposed development would be compatible with the general plan and will aid in the harmonious development of the immediate area;
3. The proposed development would not be detrimental to the health, safety or welfare of the neighborhood or of the city as a whole.
4. The establishment will not create a nuisance due to litter, noise, traffic, vandalism or other factors;
5. The establishment will not significantly disturb the peace and enjoyment of the nearby residential neighborhood; and
6. This project is Categorically Exempt under Section 15303 (Class 3) of the California Environmental Quality Act (CEQA) Guidelines pertaining to the construction of accessory (appurtenant) structures

SECTION ONE: That this Ordinance be adopted to approve a Major Modification (PLN2019-328) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at **100, 200, and 300 Haymarket Court** (formally 880 and 910 Harriet Ave), subject to the attached Conditions of Approval (attached **Exhibit A**).

SECTION TWO: This Ordinance shall become effective thirty (30) days following its passage and adoption and shall be published, one time within fifteen (15) days upon passage and adoption in the Campbell Express, a newspaper of general circulation in the City of Campbell, County of Santa Clara.

PASSED AND ADOPTED this ___ day of _____, _____, by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:
ABSTAIN: COUNCILMEMBERS:

APPROVED: _____
Susan M. Landry, Mayor

ATTEST: _____
Wendy Wood, City Clerk

**CONDITIONS OF APPROVAL
Major Modification (PLN2018-328)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

1. Approved Project: Approval is granted for a Major Modification (PLN2019-328) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at **100, 200, and 300 Haymarket Court** (formally 880 and 910 Harriet Ave). The design of garage/ADU structures shall substantially conform to the Revised Project Plans, stamped as received by the Planning Division on January 28, 2020. No other changes to the original Project Plans, stamped as received by the Planning Division on September 26, 2018, and approved by City Council Resolution No. 12384, are authorized.
2. Permit Expiration: The Major Modification approved herein ("Approval") shall be valid for one (1) year from the effective date of City Council approval (expiring April 16, 2021). Within this one-year period, an application for building permit(s) must be submitted. Failure to meet this deadline or expiration of an issued building permit will result in the Approval being rendered void.
3. Previous Conditions of Approval: The conditions of approval contained herein shall be considered additional to those provided by City Council Resolution No. 12384.

since the March 17th shelter in place closure. **Bob Lennen**, Senior Building Inspector, is now serving as Acting Building Official and he brings a can-do approach to problem solving. Due to the current shelter-in-place orders, temporary staff were released.

- E. **Use of Zoom for remote on-line PC Meetings until further notice**: This and future PC meetings will be conducted via Zoom until further notice. This Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor. The following Commissioners of the Campbell Planning Commission are listed to permit them to appear electronically or telephonically at the Regular Planning Commission meeting on June 9, 2020: Chair Michael Krey, Vice-Chair Maggie Ostrowski, Commissioners Adam Buchbinder, Andrew Rivlin; Nick Colvill; Stuart Ching; and Terry Hines.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to participate at https://us02web.zoom.us/webinar/register/WN_qjRPzb-2SziLwRua-K81bA. After registering, you will receive a confirmation email containing information about joining the webinar itself on June 9th at 7:30 p.m. Additionally, the complete agenda packet will be posted by Friday, June 5th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by May 29th on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'



CITY OF CAMPBELL • PLANNING COMMISSION
Staff Report • June 9, 2020

**City-Initiated
 CIP - GP Consistency**

Public Hearing to consider the **City of Campbell 2021-2025 Capital Improvement Plan (CIP)** for citywide projects for consistency with the Campbell General Plan.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution**, finding that the proposed Capital Improvement Plan (CIP) is consistent with the Campbell General Plan.

ENVIRONMENTAL DETERMINATION

Staff recommends that the Planning Commission find that the adoption of the Capital Improvement Plan (CIP) is exempt from the provisions of the California Environmental Quality Act (CEQA) in that the CIP is not a “project” as defined by Public Resources Code §21065. CEQA also specifically excludes organizational or administrative activities of government that will not result in direct or indirect physical change in the environment pursuant to CEQA Guidelines §15378. However, individual projects contained within the CIP will be subject to environmental review under CEQA if the City Council directs them to be carried out.

DISCUSSION

Capital Improvement Plan: Each year, the City prepares a rolling 5-year Capital Improvement Plan (CIP) for physical and operational infrastructure improvements, including public facilities such as the Community Center, City Hall, and public parks. The City uses the Capital Improvement Plan to project future capital needs, determine financial resources, and to schedule implementation. Expenditures of \$25,000 or more must be included in the CIP, while expenditures under that amount are included in annual departmental operating budgets. The first year of the 5-year CIP is incorporated into the City’s annual budget.

Scope of Review: Government Code Section 65103(c) and 65403(c) requires the City’s “planning agency” to annually review its Capital Improvement Program (CIP) for its consistency with the City’s General Plan and any applicable specific plans at least 60 days prior to its adoption. As such, the Planning Commission’s purview is limited to General Plan consistency. Other than a finding of such consistency, the Commission should refrain from discussing the merits of particular projects contained within the CIP.

CIP Projects: The proposed FY 2021-25 CIP totals \$82,953,878 and would fund 52 projects. Thirteen of the projects are new, 13 projects have appropriations within the five-year plan, and 26 projects were previously approved and have a balance listed as a “carryover” amount. Revenue for project expenditures comes from a number of funding sources, both restricted and discretionary, including the Capital Improvement Plan Reserve (CIPR), Parkland Dedication Fund, grants and private funds (including development impact fees required as conditions of approval), construction tax revenue, environmental services fee revenue, and bond issuance (debit obligation).

Approximately 60% of the proposed FY 21-25 CIP budget is for the Measure O – Civic Center Improvements project. This project is a \$50 million, five-year project which is completely funded from proceeds of general obligation bond sales, as authorized by voters in 2018. Measure O funds are restricted funds whose expenditures are to be reviewed by an Oversight Committee appointed by the City Council.

The following tables show the proposed projects grouped by new capital projects, projects with requesting additional appropriations, and existing (previously approved) capital projects. Projects with appropriations in the five-year CIP are further described in the summary sheets provided as **Attachment 2**.

New Capital Projects	Total Budget (\$)	Timing	Source of Funds
Campbell Park Bicycle Pathway	150,000	Year 1	Parkland
City Hall Main Breaker Replacement	55,000	Year 1	CIPR
City Hall UPS for Emergency Phones & Computers	60,000	Year 1	CIPR
Community Center C-Wing Breezeway Reroofing	50,000	Year 2	CIPR
Community Center Track Resurfacing	350,000	Year 3	Parkland
Community Center Transformer Replacement	200,000	Year 3	CIPR
General Hazardous Materials Survey of C.C. Buildings	150,000	Years 1 & 2	CIPR
Hamilton Ave. Hwy. 17 Southbound Offramp - Prelim.	1,507,000	Years 4 & 5	Grants / Private
JDM Parking Lots	240,000	Year 3	Parkland
JDM Restrooms Improvement - Budd	839,000	Years 4 & 5	Parkland
Lenco Bearcat (Armored Rescue Vehicle)	250,200	Year 2 -5	CIPR
Measure O - Civic Center Improvements	50,000,000	Years 1 - 5	Debt Obligations
Service Pistol Replacement	150,000	Year 3	CIPR
Subtotal of Budget	\$ 54,001,200		

Additional Appropriations	Total Budget (\$)	Timing	Source of Funds
Annual Street Maintenance	17,440,930	Annual	CIPR/Grants/VIF
Bike/Pedestrian Traffic Safety Improvements	280,747	Annual	Construction Tax /Grants
Subtotal of Budget	\$ 17,725,677		

Existing Capital Projects	Total Budget (\$)	Timing	Source of Funds
Auxiliary Gym Upgrades	54,000		Carryover
ADA Transition Plan Improvements	238,024	Years 2 & 4	CIPR
CAD/RMS/MDC Replacement	55,869		Carryover
Campbell Avenue / Leigh Avenue Safety Improvements	40,000		Carryover
Campbell Park Improvements - Design	171,052		Carryover
Campbell Park Improvements	1,500,000	Year 2	Parkland
Campbell Avenue and Page Street Traffic Signal	332,000	Years 3 & 4	Grants / Private
Civic Center - Refresh Improvements	29,558		Carryover
Community Center Bathroom Upgrades	119,693		Carryover
Community Center E-Wing Improvements	14,638		Carryover
Community Center Play Area Construction	78,555		Carryover
Community Center Q-80 and Q-84 Improvements	12,440		Carryover
Community Center - Sports Fields Irrigation Upgrades	8,716		Carryover
Community Development and PW Floor Space Plan	3,524		Carryover
Downtown Campbell Pedestrian Improvements	45,000		Carryover
East Campbell Avenue Plan Line	145,841		Carryover
Eden Avenue Sidewalk Improvements	156,236		Carryover

Existing Capital Projects	Total Budget (\$)	Timing	Source of Funds
Harriet Avenue Sidewalks	1,150,000	Years 2 & 3	Grants / Private
Harriet Avenue Traffic Calming	728,090		Carryover
Harriet/McCoy/STAR Traffic Signal (14GG)	11,772		Carryover
JDM Improvements - Budd - Construction	2,076,921	Years 1 & 2	Grants / Parkland
JDM Improvements – Rincon - Design	46,000	Year 5	Parkland
JDM Rincon Recreation Building Assessment	50,000	Year 4	Parkland
In-Car Video System	75,000		Carryover
Misc. Storm Drainage Improvements	200,000	Years 3 & 5	Env. Services
Mobile EOC	550,000		Carryover
Park In-Lieu Fees Update	124,618		Carryover
Park Systems Improvements	10,554		Carryover
Patrol and SWAT Sniper Rifles	75,000		Carryover
St. Anton Signal Project	54,716		Carryover
Sidewalk/Curb and Gutter Replacement	475,000	Annual	Construction Tax
Silicon Valley Radio Communications System	643,991		Carryover
Tidemark System Replacement	88,647		Carryover
Traffic Calming Improvements	66,161		Carryover
Traffic and Street Sign Replacement	253,577	Years 1 - 3	CIPR
Virginia Park Improvements	320,000	Years 4 & 5	Parkland
Winchester Boulevard Resurfacing	1,226,808		Carryover
Subtotal of Budget	\$ 11,227,001		
FY 2021-25 CIP Total	\$82,953,878		

Consistency with the General Plan: Staff has reviewed the proposed (new) capitals projects and requests for additional appropriations and identified the applicable General Plan policies and strategies, as summarized in the table, below. The policies and strategies cited are excerpted following the table for the Planning Commission’s reference. Based on this analysis, staff recommends that the Planning Commission find that the 2021-2025 CIP is consistent with the Campbell General Plan.

Projects and Apportions	Applicable General Plan Policies and Strategies	
	Policies	Strategies
Campbell Park Bicycle Pathway	OS-1.1; LUT-2.1	LUT-1.3d; LUT-2.1b; OSP-1.1a; OSP-2.2b; OSP-3.2a
City Hall Main Breaker Replacement	OSP-6.2	OSP-6.2b; HS-1.4a
City Hall UPS for Emergency Phones & Computers	HS-1.1	HS-1.1; HS-1.4a
Community Center C-Wing Breezeway Reroofing	OSP-6.2	OSP-6.2b; HS-1.4a
Community Center Track Resurfacing	OSP-6.2	OSP-6.2b; HS-1.4a
Community Center Transformer Replacement	OSP-6.2	OSP-6.2b; HS-1.4a
General Hazardous Materials Survey of C.C. Buildings	OSP-6.2	HS-1.4c; HS-1.4a
Hamilton Ave. Hwy. 17 Southbound Offramp - Prelim.	LUT-1.2	LUT-2.3a; OSP-6.2c
JDM Parking Lots	OSP-1.1; OSP-2.2; OSP-6.2	OSP-2.2b; OSP-3.2a; OSP-6.2a; OSP-6.2d

Projects and Apportions	Applicable General Plan Policies and Strategies	
	Policies	Strategies
JDM Restrooms Improvement - Budd	OSP-1.1; OSP-2.2; OSP-6.2	OSP-2.2b; OSP-3.2a; OSP-6.2a; OSP-6.2d
Lenco Bearcat (Armored Rescue Vehicle)	HS-2.1	HS-1.1a
Measure O - Civic Center Improvements	OSP-6.2; OSP-6.3; OSP-7.1; HS-1.1	HS-1.4a; HS-1.4c; OSP-6.2a; OSP-6.2b; OSP-6.2c; OSP-6.3a; OSP-7.1a; OSP-7.1c
Service Pistol Replacement	HS-2.1	HS-1.1a
Annual Street Maintenance	LUT-7.1a	LUT-7.1b
Bike/Pedestrian Traffic Safety Improvements	LUT-2.1; LUT-7.2	LUT-2.1b; LUT-2.1h; LUT-2.1i; LUT-7.2j

Land Use and Transportation

- Policy LUT-1.2: Regional Land Use and Transportation Planning: Promote integrated and coordinated regional land use and transportation planning.
- Strategy LUT-1.3d: Regional Off-Road Bicycle and Pedestrian Paths: Cooperate with surrounding communities and other agencies to establish and maintain off-road bicycle and pedestrian paths and trails utilizing creek, utility, and railroad right-of-way that are safe, convenient and visible for commuting and recreational use.
- Policy LUT-2.1: Multi-modal Transportation: Develop and implement a multi-modal transportation network that balance transportation options aimed at reducing automobile traffic and greenhouse gas emissions while promoting healthier travel alternatives for all users
- Strategy LUT-2.1b: Bicycle Plan Implementation: Use the development review process and the Capital Improvement Program to identify opportunities to implement bicycle connections, parking, storage and other related improvements.
- Strategy LUT-2.1h: Pedestrian Plan: Develop and implement a pedestrian plan that is safe, convenient and functional creating a network connecting neighborhoods with services, recreation, transit and employment centers and consistent with the City’s ADA Implementation Plan.
- Strategy LUT-2.1i: Street Design and Improvements: Design streets and sidewalks so as to provide a comfortable, accessible and safe pedestrian experience.
- Strategy LUT-2.3a: Intersection Level of Service: To the extent possible, maintain level of service (LOS) on designated intersections consistent with the Santa Clara County Congestion Management Plan.

Street Appearance and Public Improvements

- Policy LUT-7.1a: Road Maintenance: Maintain and repair roads.
- Strategy LUT-7.1b: Roadway Repair and Maintenance: Conduct roadway repair and routine maintenance as necessary.
- Policy LUT-7.2: Public Utilities and Improvements: Provide a comprehensive network of sidewalks, public utilities and multi-modal improvements that are safe, attractive, efficient, well maintained and accessible for pedestrians, bicyclists and motorists.
- Strategy LUT-7.2j: Sidewalks: Inventory sidewalks and develop a program to address filling the gaps. Design sidewalks that are separated from the automobile travel way, on arterial streets. Sidewalks along other streets should be consistent with the neighborhood.

Open Space, Parks and Recreation Facilities

- Policy OSP-1.1: Regional Open Space, Parks and Recreation Facilities: Support efforts to enhance, enlarge and provide public access to regional open space, parks and recreation facilities to meet the needs of Campbell residents.
- Strategy OSP-1.1a: Santa Clara County Parks and Trails: Work with Santa Clara County and the Santa Clara Valley Water District to renovate and improve access to the Los Gatos Creek Trail and Los Gatos County Park,
- Policy OSP-2.2: Maintain and Renovate Existing Open Space, Park and Recreation Facilities: Maintain and renovate existing open space, park and recreation facilities to improve their usefulness, safety and appearance.
- Strategy OSP-2.2b: Park Improvement Budget: Coordinate the budget for park improvement projects with the development of the Capital Improvement Plan.
- Strategy OSP-3.2a: Park Impact Fees: Utilize park impact fees for the acquisition and development of parks and recreation facilities.

Public Facilities and Services

- Policy OSP-6.2: Community Facilities: Ensure functional, attractive and well-maintained community facilities that serve Campbell’s residents.
- Strategy OSP-6.2a: New or Renovated Facilities: Design, construct or renovate facilities to ensure adaptability for changing community needs and on-going use.
- Strategy OSP-6.2b: Aging Facilities: Renovate and modernize aging facilities to improve their usefulness and appearance and to maximize their potential life and avoid the high cost of deferred maintenance.
- Strategy OSP-6.2c: Improvement Plans: Develop and implement long-term improvement plans for the maintenance, enhancement or restoration of City facilities, including the Community Center Master Plan. Consider creating design requirements of integrating public art into architectural and landscape enhancements.
- Strategy OSP-6.2d: Accessible Facilities: Modernize City facilities to provide full accessibility to all residents and visitors, including those with disabilities.
- Policy OSP-6.3: Public Spaces and Amenities for Community Gatherings: Ensure safe, convenient and attractive public spaces and amenities for community gatherings and activities.
- Strategy OSP-6.3a: Features and Maintenance of Public Spaces and Amenities: Encourage community gatherings and individual use of public spaces and amenities by providing attractive landscaping, outdoor furniture, recycling and trash facilities and adequate maintenance of the facilities.
- Policy OSP-7.1: Library Facilities: Ensure that library facilities offer City residents adequate opportunity to obtain knowledge and information.
- Strategy OSP-7.1a: Provision of Library Facilities: Coordinate with the Santa Clara County Library System to provide adequate library facilities.
- Strategy OSP-7.1c: Funding Sources: Coordinate with the Santa Clara County Library System to provide funding for library facilities and activities, examining other potential funding sources, including County, State, federal and corporate and private contributions.

Public Safety

- Policy HS-2.1: Police Facilities and Personnel: Provide police facilities and personnel that meet citizens’ needs and ensure a safe and secure environment for people and property.

Emergency Preparedness

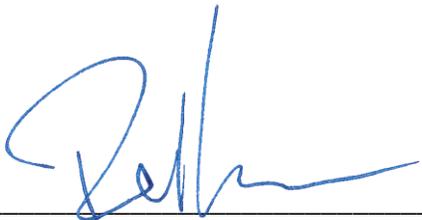
- Policy HS-1.1: Disaster Recovery: Adequately prepare for, respond to and recover from disasters.
- Strategy HS-1.1a: Emergency-planning Funding: Provide funding for fire and police services to ensure preparedness of response teams and implementation of emergency response plans.
- Strategy HS-1.4a: Update Critical Facilities: Maintain and upgrade critical facilities in anticipation of the need for disaster response.
- Strategy HS-1.4c: Proper Siting of Emergency Response Facilities: Ensure that siting of critical emergency response facilities such as hospitals, fire stations, police offices and substations, dispatch centers and other emergency service facilities and utilities have minimal exposure to flooding, seismic and geologic hazards, fires and explosions.

Attachment:

1. Draft Resolution
2. Proposed Project Summary Sheets

Prepared by: 
Margarita Mendoza, Administrative Analyst

Prepared by: 
Daniel Fama, Senior Planner

Approved by: 
Paul Kermoyan, Community Development Director

RESOLUTION NO. 45__

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL DETERMINING THAT THE 2021-2025 CAPITAL IMPROVEMENT PLAN (CIP) IS CONSISTENT WITH THE CAMPBELL GENERAL PLAN.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regards to the 2021-2025 CIP:

1. Government Code Section 65103(c) and 65403(c) requires the City's "planning agency" to annually review its Capital Improvement Plan (CIP) for its consistency with the City's General Plan and any applicable specific plans at least 60 days prior to its adoption.
2. Campbell Municipal Code Section 21.54.020 specifies that the Planning Commission, amongst other organs of the City, constitute the City's "planning agency," as defined by Government Code Section 65100.
3. The City of Campbell does not have any adopted specific plans as defined by California Government Code Sec. 65451.
4. The Planning Commission has reviewed the identified projects and appropriations that constitute the proposed 2021-2025 Capital Improvement Plan, as contained within the administrative record.
5. The Planning Commission found that the new projects and appropriations identified in the proposed 2021-2025 Capital Improvement Plan further and/or are supported by the following General Plan Policies and Strategies:

Land Use and Transportation

- Policy LUT-1.2: Regional Land Use and Transportation Planning: Promote integrated and coordinated regional land use and transportation planning.
- Strategy LUT-1.3d: Regional Off-Road Bicycle and Pedestrian Paths: Cooperate with surrounding communities and other agencies to establish and maintain off-road bicycle and pedestrian paths and trails utilizing creek, utility, and railroad right-of-way that are safe, convenient and visible for commuting and recreational use.
- Policy LUT-2.1: Multi-modal Transportation: Develop and implement a multi-modal transportation network that balance transportation options aimed at reducing automobile traffic and greenhouse gas emissions while promoting healthier travel alternatives for all users
- Strategy LUT-2.1b: Bicycle Plan Implementation: Use the development review process and the Capital Improvement Program to identify opportunities to implement bicycle connections, parking, storage and other related improvements.
- Strategy LUT-2.1h: Pedestrian Plan: Develop and implement a pedestrian plan that is safe, convenient and functional creating a network connecting neighborhoods with

services, recreation, transit and employment centers and consistent with the City's ADA Implementation Plan.

Strategy LUT-2.1i: Street Design and Improvements: Design streets and sidewalks so as to provide a comfortable, accessible and safe pedestrian experience.

Strategy LUT-2.3a: Intersection Level of Service: To the extent possible, maintain level of service (LOS) on designated intersections consistent with the Santa Clara County Congestion Management Plan.

Street Appearance and Public Improvements

Policy LUT-7.1a: Road Maintenance: Maintain and repair roads.

Strategy LUT-7.1b: Roadway Repair and Maintenance: Conduct roadway repair and routine maintenance as necessary.

Policy LUT-7.2: Public Utilities and Improvements: Provide a comprehensive network of sidewalks, public utilities and multi-modal improvements that are safe, attractive, efficient, well maintained and accessible for pedestrians, bicyclists and motorists.

Strategy LUT-7.2j: Sidewalks: Inventory sidewalks and develop a program to address filling the gaps. Design sidewalks that are separated from the automobile travel way, on arterial streets. Sidewalks along other streets should be consistent with the neighborhood.

Strategy LUT-7.3a: Intersection Design: Incorporate pedestrian and bicycle features and auto safety components in intersection design and improvement projects, such as curb cuts to accommodate bicycle trailers, bicycle crossing buttons at traffic signals, appropriately designed bulb-outs to shorten pedestrian crossings but still facilitating bicyclists, and bicycle sensors at major intersections. Develop a comprehensive policy incorporating strategies that facilitate the movement of pedestrians and bicyclists through intersections that includes periodic safety risk evaluations and corresponding safety measures.

Open Space, Parks and Recreation Facilities

Policy OSP-1.1: Regional Open Space, Parks and Recreation Facilities: Support efforts to enhance, enlarge and provide public access to regional open space, parks and recreation facilities to meet the needs of Campbell residents.

Strategy OSP-1.1a: Santa Clara County Parks and Trails: Work with Santa Clara County and the Santa Clara Valley Water District to renovate and improve access to the Los Gatos Creek Trail and Los Gatos County Park,

Policy OSP-2.2: Maintain and Renovate Existing Open Space, Park and Recreation Facilities: Maintain and renovate existing open space, park and recreation facilities to improve their usefulness, safety and appearance.

Strategy OSP-2.2b: Park Improvement Budget: Coordinate the budget for park improvement projects with the development of the Capital Improvement Plan.

Strategy OSP-3.2a: Park Impact Fees: Utilize park impact fees for the acquisition and development of parks and recreation facilities.

Public Facilities and Services

Policy OSP-6.2: Community Facilities: Ensure functional, attractive and well-maintained community facilities that serve Campbell's residents.

- Strategy OSP-6.2a: New or Renovated Facilities: Design, construct or renovate facilities to ensure adaptability for changing community needs and on-going use.
- Strategy OSP-6.2b: Aging Facilities: Renovate and modernize aging facilities to improve their usefulness and appearance and to maximize their potential life and avoid the high cost of deferred maintenance.
- Strategy OSP-6.2c: Improvement Plans: Develop and implement long-term improvement plans for the maintenance, enhancement or restoration of City facilities, including the Community Center Master Plan. Consider creating design requirements of integrating public art into architectural and landscape enhancements.
- Strategy OSP-6.2d: Accessible Facilities: Modernize City facilities to provide full accessibility to all residents and visitors, including those with disabilities.
- Policy OSP-6.3: Public Spaces and Amenities for Community Gatherings: Ensure safe, convenient and attractive public spaces and amenities for community gatherings and activities.
- Strategy OSP-6.3a: Features and Maintenance of Pubic Spaces and Amenities: Encourage community gatherings and individual use of public spaces and amenities by providing attractive landscaping, outdoor furniture, recycling and trash facilities and adequate maintenance of the facilities.
- Policy OSP-7.1: Library Facilities: Ensure that library facilities offer City residents adequate opportunity to obtain knowledge and information.
- Strategy OSP-7.1a: Provision of Library Facilities: Coordinate with the Santa Clara County Library System to provide adequate library facilities.
- Strategy OSP-7.1c: Funding Sources: Coordinate with the Santa Clara County Library System to provide funding for library facilities and activities, examining other potential funding sources, including County, State, federal and corporate and private contributions.

Emergency Preparedness

- Policy HS-1.1: Disaster Recovery: Adequately prepare for, respond to and recover from disasters.
- Strategy HS-1.1a: Emergency-planning Funding: Provide funding for fire and police services to ensure preparedness of response teams and implementation of emergency response plans.
- Strategy HS-1.4a: Update Critical Facilities: Maintain and upgrade critical facilities in anticipation of the need for disaster response.
- Strategy HS-1.4c: Proper Siting of Emergency Response Facilities: Ensure that siting of critical emergency response facilities such as hospitals, fire stations, police offices and substations, dispatch centers and other emergency service facilities and utilities have minimal exposure to flooding, seismic and geologic hazards, fires and explosions.

Public Safety

- Policy HS-2.1: Police Facilities and Personnel: Provide police facilities and personnel that meet citizens' needs and ensure a safe and secure environment for people and property.

Based on the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. In accordance with Sections 65103(c) and 65403(c) of the California Government Code, the Planning Commission, in light of the whole record before it, including but not limited to the Community Development Director's report and all documents incorporated by reference therein, and the City's General Plan, that the proposed 2021-2025 Campbell Improvement Plan is consistent with the Campbell General Plan.
2. Adoption of the Capital Improvement Plan is exempt from the provisions of the California Environmental Quality Act (CEQA) in that the CIP is not a "project" as defined by Public Resources Code §21065. CEQA also specifically excludes organizational or administrative activities of government that will not result in direct or indirect physical change in the environment pursuant to CEQA Guidelines §15378.

PASSED AND ADOPTED this 9th day of June, 2020, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

APPROVED: _____
Michael Krey, Chair

ATTEST: _____
Paul Kermoyan, Secretary

CAPITAL PROJECT

PROJECT #:
PROGRAM #: 730
DEPARTMENT: Public Works
CATEGORY: Public Facility - Buildings

PROJECT TITLE: ADA Transition Plan Improvements

CAPITAL COST DETAIL							
	Carryover	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Land		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services							-
Construction			43,000		43,000		86,000
City Staff			7,000		7,000		14,000
Equipment			-		-		-
TOTAL	\$ 138,024		\$ 50,000		\$ 50,000		\$ 238,024
Staff Hours			70		70		140

OPERATING BUDGET IMPACTS							
		2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Personnel		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services							
Capital Outlay							
Debt Service							
TOTAL		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Funding Source							
Additional Revenue							

PROJECT SCHEDULE/CASH FLOW																										
		2020/21				2021/22				2022/23				2023/24				2024/25								
		Q1	Q2	Q3	Q4																					
Acquisition																										
Design						X								X												
Bids Received							X								X											
Bid Award							X								X											
Construction								X	X							X	X									

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	X
DEPARTMENT:	Public Works	USEFUL LIFE:	15 years
CATEGORY:	Streets and Signal		

PROJECT TITLE: Annual Street Maintenance

PROJECT DESCRIPTION

This project is for annual street maintenance per the City's Pavement Management Program. In addition to the Capital Improvement Program Reserve (CIPR), other anticipated funding sources are the City's Vehicle Impact Fee (separate allocations from construction and solid waste collection vehicles), Santa Clara County Vehicle Registration Fee (VRF), State SB1 - Road Maintenance and Rehabilitation Account (RMRA), and Santa Clara County Measure B. A maintenance of effort is required for cities to receive Measure B and RMRA funds. The City must maintain an annual expenditure of \$917,000 in general fund monies which are satisfied through the use of CIPR and Vehicle Impact Fees.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.4 - Streets that are safe, clean, and well-maintained.

ALTERNATIVES

1. Only pursue stop-gap maintenance.
2. Reduce the project limits resulting in decreased Pavement Condition Index (PCI).

SOURCE OF FUNDING

	CIPR	VIF (Building)	VIF (Garbage)	VRF	Grant (Measure B)	State Funding (SB 1)	TOTAL
Carryover	\$ 3,559,929						\$ 3,559,929
2020/21	\$ 200,000	\$ 300,000	\$ 477,000	\$ 215,000	\$ 797,000	\$ 740,000	\$ 2,729,000
2021/22	\$ 200,000	\$ 300,000	\$ 477,000	\$ 215,000	\$ 797,000	\$ 800,000	\$ 2,789,000
2022/23	\$ 200,000	\$ 300,000	\$ 477,000	\$ 215,000	\$ 797,000	\$ 800,000	\$ 2,789,000
2023/24	\$ 200,000	\$ 300,000	\$ 477,000	\$ 215,000	\$ 797,000	\$ 800,000	\$ 2,789,000
2024/25	\$ 200,000	\$ 300,000	\$ 477,000	\$ 215,000	\$ 797,000	\$ 800,000	\$ 2,789,000
TOTAL	\$ 1,000,000	\$ 1,500,000	\$ 2,385,000	\$ 1,075,000	\$ 3,985,000	\$ 3,940,000	\$ 17,444,929

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #:
PROGRAM #: 435
DEPARTMENT: Public Works
CATEGORY: Streets & Signals

PROJECT TITLE: Bike/Pedestrian and Traffic Safety Improvements

CAPITAL COST DETAIL							
	Carryover	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Land		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services							-
Construction		40,000	40,000	40,000	40,000	40,000	200,000
City Staff		5,000	5,000	5,000	5,000	5,000	25,000
Equipment							-
TOTAL	\$ 55,747	\$ 45,000	\$ 280,747				
Staff Hours		60	60	60	60	60	300

OPERATING BUDGET IMPACTS							
		2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Personnel		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services							
Capital Outlay							
Debt Service							
TOTAL		\$ -					
Funding Source							
Additional Revenue							

PROJECT SCHEDULE/CASH FLOW																						
		2020/21				2021/22				2022/23				2023/24				2024/25				
		Q1	Q2	Q3	Q4																	
Acquisition																						
Design		X				X				X				X				X				
Bids Received			X				X				X				X				X			
Bid Award				X			X				X				X					X		
Construction			X	X			X	X			X	X			X	X				X	X	

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	730	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	10 years
CATEGORY:	Parks and Open Space		

PROJECT TITLE: Campbell Park Bicycle Pathway

PROJECT DESCRIPTION

The project will construct a bicycle pathway at Campbell Park to connect users between East Campbell Avenue and the existing pathway accessing the Los Gatos Creek Trail to provide a separated path between bicyclists and playground/picnic area users.

RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; and 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

Do not implement project and keep existing path adjacent to the playground with potential for conflicts between bicycle and pedestrian traffic.

SOURCE OF FUNDING

	Park Dedication Fees						TOTAL
2020/21	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000
2021/22							
2022/23							\$ -
2023/24							\$ -
2024/25							-
TOTAL	\$ 150,000	\$ -	\$ 150,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #:	17-DD	NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	X
DEPARTMENT:	Public Works	USEFUL LIFE:	20 years
CATEGORY:	Parks and Open Space		

PROJECT TITLE: Campbell Park Improvements

PROJECT DESCRIPTION

This project will renovate and expand amenities at Campbell Park to address aged play equipment and under capacity restrooms. New equipment and surfacing will comply with the latest playground equipment safety standards.

Funding for design began in FY16-17 and continued through FY17-18. This CIP provides funding for construction.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

1. Do not move forward with improvements - repair elements as needed.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22	1,500,000						1,500,000
2022/23							-
2023/24							-
2024/25							-
TOTAL	\$ 1,500,000	\$ -	\$ 1,500,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

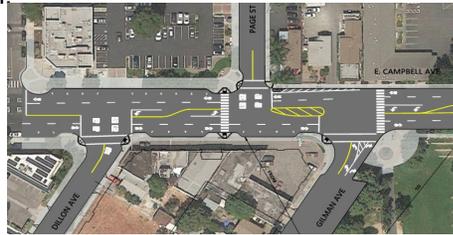
PROJECT #:	20-DD	NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	20 years
CATEGORY:	Streets & Signals		

PROJECT TITLE: Campbell Avenue and Page Street Traffic Signal

PROJECT DESCRIPTION

This project will signalize the intersection of East Campbell Avenue and Page Street. The project schedule is contingent on the Cresleigh Homes Development Project completing their frontage improvements along East Campbell Avenue. The project is funded by City and developer contributions taken from recent development projects either already collected or conditioned which include the St. Anton project (\$60,000), Pruneyard Office Building project (\$85,000), Cresleigh Homes project (\$187,000). The City portion includes CIPR (\$90,000) and advance funding by CIPR for the future redevelopment of the Greylands site (estimate of \$173,000).

The portion of funding for City staff reflects the City's responsibility to deliver the traffic signal including final design and construction.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles, and Objective 3.4 - Streets that are safe, clean, and well maintained.

ALTERNATIVES

1. Delay construction of the traffic signal to a future date until Greylands site redevelops.

SOURCE OF FUNDING

	CIPR	Private					TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							-
2022/23		60,000					60,000
2023/24		272,000					272,000
2024/25							-
TOTAL	\$ -	\$ 332,000	\$ -	\$ -	\$ -	\$ -	\$ 332,000

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	780	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	20 Years
CATEGORY:	Public Facility - Buildings		

PROJECT TITLE: Community Center C-Wing Breezeway Reroofing

PROJECT DESCRIPTION

Remove and reinstall 3 existing HVAC units, remove existing tar and gravel flat roof, install new TMS 60 mil roofing material and new rain gutters.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

ALTERNATIVES

Continue to repair roof leaks as needed.

Source of Funding

	CIPR						TOTAL
2020/21	\$50,000						\$ 50,000
2021/22							\$ -
2022/23							\$ -
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 50,000	\$ -	\$ 50,000				

PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	780	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	15 Years
CATEGORY:	Public Facility - Buildings		

PROJECT TITLE: City Hall Main Breaker Replacement

PROJECT DESCRIPTION

Install new 2,000 amp main breaker and distribution breaker sub-panel for the City Hall building. This phase of work is necessary to complete the Police Department Uninterruptable Power Supply (UPS) system upgrade.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

ALTERNATIVES

Do not implement project and failure of the main breaker will result in a loss of power to the City Hall Building.

Source of Funding

	CIPR						TOTAL
2020/21	\$ 55,000						\$ 55,000
2021/22							\$ -
2022/23							\$ -
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 55,000	\$ -	\$ 55,000				

PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	780	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	15 Years
CATEGORY:	Public Facility - Buildings		

PROJECT TITLE: City Hall IT Department UPS for Emergency Phones and Computers

PROJECT DESCRIPTION

Install new 50 Amp sub-panel in the IT Electrical Room and connect it to the Police Department Uninterruptable Power Supply (UPS). New UPS will ensure that critical equipment such as emergency phones and computers will have uninterrupted power in the event of a PG&E power failure.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

ALTERNATIVES

Do not implement project and existing phone and computers will be susceptible to loss of electricity in the event of a power failure.

Source of Funding

	CIPR						TOTAL
2020/21	\$ 60,000						\$ 60,000
2021/22							\$ -
2022/23							\$ -
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 60,000	\$ -	\$ 60,000				

PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	780	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	50 Years
CATEGORY:	Public Facility - Buildings		

PROJECT TITLE: Community Center Transformer Replacement

PROJECT DESCRIPTION

Remove the existing transformer from the Community Center basement and install new transformer to meet current codes.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.3 - Safe, attractive, and efficient parks and built infrastructure that operate for maximum community use, benefit and enjoyment.

ALTERNATIVES

Do not implement project and failure of the existing transformer will result in a loss of power to the Community Center.

Source of Funding

	CIPR						TOTAL
2020/21	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000
2021/22							\$ -
2022/23							\$ -
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 200,000	\$ -	\$ 200,000				

PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent

CAPITAL PROJECT

PROJECT #: **NEW PROJECT:** X
PROGRAM #: **ADD'L APPROP:**
DEPARTMENT: RCS/PWD **USEFUL LIFE:** 20+ years
CATEGORY: Community Center

PROJECT TITLE: General Hazardous Materials Survey of Community Center Buildings

PROJECT DESCRIPTION

This project will be a comprehensive survey of all facilities at the Campbell Community Center to assess the presence of lead, asbestos, and polychlorinated biphenyls (PCB's). This survey would identify areas where hazardous materials are present through comprehensive testing and develop a plan of action for instances where thresholds are exceeded. The plan will prioritize areas that need to be addressed and provide direction and a starting point for ongoing inspection for the safety of all Community Center users. The goal of this project would be to begin in areas of the campus where children are present regularly (classrooms primarily) and complete the remainder of the campus (rental spaces) the following year. Once created, this document and related action steps will be in place for the next 20+ years with tri-annual preventative maintenance.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP 2- Provide and maintain attractive, safe, clean and comfortable open space, park land and recreational facilities and programs for maximum community use, benefit and enjoyment.

ALTERNATIVES

Conducting this survey is the first and very important step in addressing a potential safety hazard at the Campbell Community Center. Having this plan in place provides the City the opportunity to be proactive rather than reactive when dealing with these sensitive safety topics. Ultimately, having this survey and reports will provide public transparency and specific plans in place to handle any issue that may arise in the future.

SOURCE OF FUNDING

	CIPR						TOTAL
2020/21	\$ 90,000						\$ 90,000
2021/22	60,000						60,000
2022/23							-
2023/24							-
2024/25							-
TOTAL	\$ 150,000	\$ -	\$ 150,000				

PROJECT MANAGER: Natasha Bissell / Building Maintenance Supervisor

CAPITAL PROJECT

PROJECT #: 730 **NEW PROJECT:** X
PROGRAM #: Public Works **ADD'L APPROP:**
DEPARTMENT: Parks and Open Space **USEFUL LIFE:** 10
CATEGORY:

PROJECT TITLE: John D. Morgan Park Parking Lots

PROJECT DESCRIPTION

The project will resurface and restripe the three parking lots at John D Morgan Park. The parking lot nearest Budd Avenue will include reconfigurations and improvements for additional standard and accessible parking spaces in compliance with American Disability Act (ADA) Guidelines.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

Defer implementing project.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							-
2022/23	\$ 240,000						240,000
2023/24							-
2024/25							-
TOTAL	\$ 240,000	\$ -	\$ 240,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #: **NEW PROJECT:** X
PROGRAM #: 730 **ADD'L APPROP:**
DEPARTMENT: Public Works **USEFUL LIFE:** 15
CATEGORY: Parks and Open Space

PROJECT TITLE: John D. Morgan Park Budd Avenue Restroom Improvement

PROJECT DESCRIPTION

This project will replace the current restroom building (built in 2004) located on the Budd Avenue side of the John D. Morgan Park with increased capacity and accessible accommodations.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objective 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

Defer implementing project until a new structure is necessary due to failures.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							\$ -
2022/23							-
2023/24	108,000						108,000
2024/25	731,000						731,000
TOTAL	\$ 839,000	\$ -	\$ 839,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #: 18-PP
PROGRAM #: 730
DEPARTMENT: Public Works
CATEGORY: Parks and Open Space

PROJECT TITLE: John D. Morgan Park Improvement (Budd)

CAPITAL COST DETAIL							
	Carryover	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Land		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services		180,000					180,000
Construction		1,570,000					1,570,000
City Staff		25,000	25,000				50,000
Equipment							-
TOTAL	\$ 276,921	\$ 1,775,000	\$ 25,000	\$ -	\$ -	\$ -	\$ 2,076,921
Staff Hours		250	250		-		500

OPERATING BUDGET IMPACTS							
		2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Personnel		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services							
Capital Outlay							
Debt Service							
TOTAL		\$ -					
Funding Source							
Additional Revenue							

PROJECT SCHEDULE/CASH FLOW																										
		2020/21				2021/22				2022/23				2023/24				2024/25								
		Q1	Q2	Q3	Q4																					
Acquisition																										
Design		X	X	X																						
Bids Received																										
Bid Award																										
Construction						X	X	X	X																	

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	N/A
CATEGORY:	Parks and Open Space		

PROJECT TITLE: John D. Morgan Park - Rincon Recreation Building Assessment

PROJECT DESCRIPTION

The Recreation building located on the Rincon Avenue side of John D. Morgan Park is in need of updating. This project will study the existing facility and assess the needs for update in order to anticipate future growth of John D. Morgan Park. This work was identified in the Parks Maintenance Program Assessment Management Initiative as presented to the City Council on November 17, 2015.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

1. Defer assessment study.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							-
2022/23							-
2023/24	50,000						50,000
2024/25							-
TOTAL	\$ 50,000	\$ -	\$ 50,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	X
DEPARTMENT:	Public Works	USEFUL LIFE:	20 years
CATEGORY:	Parks and Open Space		

PROJECT TITLE: John D. Morgan Park Improvement (Rincon) - Design

PROJECT DESCRIPTION

This project will fund the design phase of to identify enhancements and amenities located on the north end of John D. Morgan Park, near Rincon Avenue. The design and renovation of the playgrounds will increase play value to include a new play structure and surface treatments. Other amenities will be determined as needed upon completion of the conceptual design phase.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; and 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

1. Do not move forward with improvements - repair elements as needed.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21			\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							-
2022/23							\$ -
2023/24							\$ -
2024/25	46,000						46,000
TOTAL	\$ 46,000	\$ -	\$ 46,000				

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	605	ADD'L APPROP:	
DEPARTMENT:	Police	USEFUL LIFE:	15+ years
CATEGORY:	Equipment		

PROJECT TITLE: Lenco Bearcat (Armored rescue vehicle)

PROJECT DESCRIPTION

The Campbell Police Department acquired a V150 armored rescue vehicle from the Department of Defense 1033 program in 1998. At the request of the Department of Defense the vehicle was returned on August 22, 2019 having reached the end of its service life. As a result, the Campbell Police Department has had to rely on other agencies in the County to provide armored rescue vehicles and personnel for the following needs and or potential needs: Ability to immediately support patrol incidents allowing officers to safely deploy to an area without exposing themselves to potential harm. Safety transport EMS personnel and conduct rescues during critical incidents involving the threat of gun fire to include active shooter scenarios. Provided more options and ability to deploy less lethal alternatives to safely resolve incidents. Safe environment to conduct field negotiations over a PA in proximity to the suspect. Support SWAT operations including but not limited to search warrant and arrest warrant service, barricaded subject(s) and hostage situations. Ability to breach doors and windows, deploy cameras and robots without exposing personnel to harm during SWAT operations. Not having an armored rescue vehicle does not allow officer to regularly train with the specialized vehicle requiring outside agencies to provide trained personnel to assist. The Lenco Bearcat would fill this need and is the same armored rescue vehicle used by other agencies in our County. This would also allow us to conduct joint training with other agencies and support each other's operations with the same equipment each agency is trained on and familiar with. Once an order is placed, the average build and delivery time is 9 months.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Supports Strategic Objective 4.1 - An improved feeling of safety within the community and 4.5 - An effective emergency preparedness program.

ALTERNATIVES

Continue to rely on outside agencies to provide personnel and vehicle when available.

SOURCE OF FUNDING

	CIPR						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22	62,550						62,550
2022/23	62,550						62,550
2023/24	62,550						62,550
2024/25	62,550						62,550

TOTAL	\$ 250,200	\$ -	\$ 250,200					
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PROJECT MANAGER: Dan Livingston, Police Captain
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CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	518	ADD'L APPROP:	
DEPARTMENT:	City Manager/Public Works	USEFUL LIFE:	30+
CATEGORY:	Public Facilities - Buildings		

PROJECT TITLE: Measure O - Civic Center Improvements

PROJECT DESCRIPTION

Measure O allows the City to issue up to \$50 million in general obligation bonds to construct and/or renovate City facilities to house the Police and Library services. This project will address the objectives and needs of the Measure O Program as approved by the Campbell voters in November 2018 and as approved by the City Council.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 1.8. A vibrant downtown that serves as the focal point of the community; 2.3. Effective City services at appropriate service levels, using resources in the most cost efficient manner; 4.5. An effective emergency preparedness program; and 5.3. Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

Do not move forward with improvements, and continue to repair elements and building components as ne

Source of Funding

	Measure O						TOTAL
Carryover	\$ 289,000						\$ 289,000
2020/21	\$ 1,843,000						\$ 1,843,000
2021/22	11,079,000						\$11,079,000
2022/23	20,874,000						\$20,874,000
2023/24	13,932,000						\$13,932,000
2024/25	1,983,000						\$ 1,983,000
TOTAL	\$50,000,000	\$ -	\$50,000,000				

PROJECT MANAGER: WooJae Kim, Senior Public Works Project Manager

CAPITAL PROJECT

PROJECT #:
PROGRAM #: 730
DEPARTMENT: Public Works
CATEGORY: Streets & Signals

PROJECT TITLE: Miscellaneous Storm Drainage Improvements

CAPITAL COST DETAIL							
	2020/21	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services							-
Construction				43,000		43,000	86,000
City Staff				7,000		7,000	14,000
Equipment							-
TOTAL	\$ 100,000		\$ -	\$ 50,000	\$ -	\$ 50,000	\$ 200,000
Staff Hours				100		100	100

OPERATING BUDGET IMPACTS							
	2020/21	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services							
Capital Outlay							
Debt Service							
TOTAL	\$ -						
Funding Source							
Additional Revenue							

PROJECT SCHEDULE/CASH FLOW																					
		2020/21				2021/22				2022/23				2023/24				2024/25			
		Q1	Q2	Q3	Q4	Q1	Q2	Q4													
Acquisition																					
Design																					
Bids Received										X										X	
Bid Award											X										X
Construction											X										X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

PROJECT MANAGER: Dan Livingston, Police Captain

CAPITAL PROJECT

PROJECT #:
PROGRAM #: 730
DEPARTMENT: Public Works
CATEGORY: Streets

PROJECT TITLE: Sidewalk, Curb, & Gutter Improvements

CAPITAL COST DETAIL							
	Carryover	2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Land		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services							-
Construction		75,000	75,000	75,000	75,000	75,000	375,000
City Staff							-
Equipment							-
TOTAL	\$ 100,000	\$ 75,000	\$ 475,000				
Staff Hours							

OPERATING BUDGET IMPACTS							
		2020/21	2021/22	2022/23	2023/24	2024/25	TOTAL
Personnel		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services							
Capital Outlay							
Debt Service							
TOTAL		\$ -					
Funding Source							
Additional Revenue							

PROJECT SCHEDULE/CASH FLOW																						
		2020/21				2021/22				2022/23				2023/24				2024/25				
		Q1	Q2	Q3	Q4																	
Acquisition																						
Design																						
Bids Received			X			X				X				X				X				
Bid Award				X			X				X				X				X			
Construction				X	X	X				X	X	X			X	X	X			X	X	X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	X
PROGRAM #:	730	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	20 years
CATEGORY:	Streets & Signals		

PROJECT TITLE: SR17 Southbound/Hamilton Ave Off-Ramp Widening Preliminary Design

PROJECT DESCRIPTION

To improve operations, the widening of SR17 southbound/Hamilton Avenue off-ramp is planned for three left turn lanes, one through lane and one right turn lane. The project is included on the Valley Transportation Authority (VTA) Valley Transportation Plan 2040 (VTP 2040) Highway Project List for \$1 million in anticipated future grant funds through the VTA Measure B program. The preliminary design effort will prepare the project to apply for additional grant funding. The current funding of \$507,000 is through developer contributions collected.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 3.5 - Regional improvements that meet the transportation needs of Campbell residents and businesses; 3.6 - Streets that serve the needs of adjacent land uses; and 3.7 - Streets that operates efficiently and effectively.

ALTERNATIVES

- 1. Defer implementing project.

SOURCE OF FUNDING

	Private	Grants					TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							\$ -
2022/23							-
2023/24	\$ 507,000						\$ 507,000
2024/25		1,000,000					1,000,000
TOTAL	\$ 507,000	\$ 1,000,000	\$ -	\$ -	\$ -	\$ -	\$ 1,507,000

PROJECT MANAGER: Amy Olay, City Engineer

CAPITAL PROJECT

PROJECT #: **NEW PROJECT:** X
PROGRAM #: 780 **ADD'L APPROP:**
DEPARTMENT: Public Works **USEFUL LIFE:** 15
CATEGORY: Parks and Open Space

PROJECT TITLE: Campbell Community Center Track Resurfacing

PROJECT DESCRIPTION

Resurface the track at the Campbell Community Center.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

Defer resurfacing of the track.

Source of Funding

	Parkland Dedication						TOTAL
2020/21	\$350,000						\$ 350,000
2021/22							\$ -
2022/23							\$ -
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 350,000	\$ -	\$ 350,000				

PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent

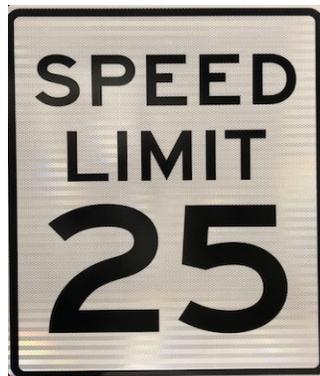
CAPITAL PROJECT

PROJECT #:	19-KK	NEW PROJECT:	
PROGRAM #:	204	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	8 Years
CATEGORY:	Streets & Signals		

PROJECT TITLE: Traffic & Street Sign Replacement

PROJECT DESCRIPTION

A multi-year project to bring the City's Traffic and Street Name signs into mandatory Federal Reflective compliance. It is estimated that 60% of the City's signs do not meet the current federal guidelines.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Supports Strategic Objective 4.4 - a reduced number of traffic accidents and associated injuries.

ALTERNATIVES

1. Increase the annual funding to complete the Federally Required Compliance Project earlier
2. Fund at a reduced amount through the operating budget

Source of Funding

	CIPR						TOTAL
2020/21	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 60,000
2021/22	\$ 60,000						\$ 60,000
2022/23	\$ 60,000						\$ 60,000
2023/24							\$ -
2024/25							\$ -
TOTAL	\$ 180,000	\$ -	\$ 180,000				

PROJECT MANAGER: Ron Taormina, Street Maintenance Field Supervisor

CAPITAL PROJECT

PROJECT #:		NEW PROJECT:	
PROGRAM #:	730	ADD'L APPROP:	
DEPARTMENT:	Public Works	USEFUL LIFE:	20 years
CATEGORY:	Parks and Open Space		

PROJECT TITLE: Virginia Park Improvements

PROJECT DESCRIPTION

This project will enhance and expand amenities located at Virginia Park and will include the design and reconstruction of the playgrounds to increase play value that includes a new play structure and surface treatment. Other amenities will be determined as needed upon completion of the conceptual design phase.



RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; and 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

ALTERNATIVES

1. Do not move forward with improvements - repair elements as needed.

SOURCE OF FUNDING

	Parkland Dedication						TOTAL
2020/21	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2021/22							\$ -
2022/23							\$ -
2023/24	70,000						70,000
2024/25	250,000						250,000
TOTAL	\$ 320,000	\$ -	\$ 320,000				

PROJECT MANAGER: Amy Olay, City Engineer



CITY OF CAMPBELL • PLANNING COMMISSION
Staff Report • June 9, 2020

PLN2019-215 Public Hearing to consider the application of Antje Paiz for a Site and Architectural Review Permit (PLN2019-215) to allow the construction of an approximately 3,800 square-foot one-story single-family residence and an increase to the allowable fence height, on property located at **596 Emory Avenue** in the R-1-10 (Single-Family Residential) Zoning District.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution** (reference **Attachment 1**), approving a Site and Architectural Review Permit (PLN2019-215) to allow the construction of an approximately 3,800 square-foot one-story single-family residence and an increase to the allowable fence height.

ENVIRONMENTAL DETERMINATION

Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to the construction of single-family dwellings.

PROJECT DATA

Zoning Designation:	R-1-10 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 3.5 units/gr. acre)	
Net Lot Area:	13,364 square-feet	
Gross Lot Area:	15,884 square-feet	
Density:	2.75 units/gr. acre	3.5 units/gr. acre. (Max. Allowed)
Building Height:	16 ½ feet	28 feet (Max. Allowed)
Building Square Footage:		
First Floor Living:	3,310 square feet	
Attached Garage:	<u>514 square feet</u>	
	3,824 square feet (Total House Size)	
Detached ADU:	585 square feet	
Pool Equipment Shed:	<u>70 square feet</u>	
	4,479 square feet (Total Building Area)	
Floor Area Ratio (FAR):	.33 (4,479 sq. ft)	.45 (6,014 sq. ft.) (Max. Allowed)
Building (Lot) Coverage:	35% (4,677 sq. ft.)	35% (4,677 sq. ft.) (Max. Allowed)
Parking:	2 spaces (covered)	2 spaces (Min. Required)

Setbacks:	<u>Proposed</u>	<u>Required</u>
Front (west):	28 feet	25 feet
Garage:	28 feet	25 feet
Side (south):	8 feet	8 feet or 60% of the wall height
Side (north):	12 feet	10 feet or 60% of the wall height
Rear (east):	53 feet	20 feet

DISCUSSION

Project Location: The project site is an approximately 13,364 square-foot property located along Emory Avenue, south of Budd Avenue, within the City's San Tomas Area Neighborhood in the R-1-10 (Single-Family Residential) Zoning District (reference **Attachment 2** – Location Map). The site is currently developed with a single-family residence that would be substantially demolished. Pursuant to the [San Tomas Area Neighborhood Plan \(STANP\)](#), demolition and reconstruction of a single-family residence—which renders a lot "undeveloped"—requires approval of a Site and Architectural Review Permit by the Planning Commission.

Project Description: The applicant is seeking approval of a Site and Architectural Review Permit to allow construction of an approximately 3,824 square-foot one-story single-family residence (reference **Attachment 3** – Project Plans).

ANALYSIS

Zoning District: The project site has an R-1-10 (Single-Family Residential) Zoning District designation, and is within the boundaries of the San Tomas Area. Pursuant to the San Tomas Area Neighborhood Plan (STANP), construction of a house on an "undeveloped" lot in this Zoning District requires Site and Architectural review approval by the Planning Commission.

General Plan: The General Plan land use designation for the project site is Low Density Residential (less than 3.5 units per gross acre). The proposed project would be consistent with the following General Plan Land Use Strategy:

Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics

Design: The proposed one-story, 3,824 square-foot single-family residence is presented in a contemporary style evocative of Mid-century modern, incorporating off-set angular roof lines, asymmetric windows, mixed wall cladding (stucco and vertical cedar), and distinct entry and garage doors. The design approach may be seen as somewhat more modern than other new homes, particularly because of the angular roof lines. However, the STANP does not prohibit modern designs; it simply encourages general design compatibility.



Scale: In addition to design compatibility, the scale of the new home is also a consideration under the STANP. Although angular rooflines can sometimes accentuate the height of a building, by maintaining the home as a single-story it does not appear out of scale with the adjacent homes as shown on the applicant's streetscape illustration, below:



Site Layout: Since the proposed residence would be constructed from portions of the existing home, its placement on the property would not be substantially altered. An existing detached garage structure located at the northeast corner would be preserved and converted to an ADU under a separate permit. A new swimming pool, large deck and patio would be constructed at the rear of the house.

Landscaping/Hardscaping: The property's front and rear yard will be re-landscaped with new drought tolerant vegetation and new trees as required by the STANP and State Model Water Efficient Landscape Ordinance (MWELo). The front yard paving area will be defined by long concrete paver blocks interspersed with new trees, giving the landscaping treatment a contemporary appearance. No protected trees would be removed.

Privacy: Although a single-story home, the drawings show a series of upper-level windows along the north elevation. These windows connect to an unconditioned attic that would only be accessible via a pull-down ladder. As such, there is no privacy impact from these windows.

Fencing: New 8-foot tall fencing is proposed along the rear and side property lines. However, the side fencing would only raise to 8-feet approximately 50-feet from the front property line. The fencing towards the street from that point would only be 3 ½ feet in height.

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) reviewed this application at its meeting of February 25, 2020. The SARC had the following comments:

- SARC asked if the applicant had considered previous pavers for the driveway for improved drainage.
 - The homeowners indicated that they would consider pervious concrete.
- SARC asked about trees that may be removed.
 - Staff responded that no protected trees are on the property.
- SARC complimented the design, noting that it is a nice progression that maintained traditional neighborhood characteristics, but with modern aspects.
- Encouraged applicant to reach out to the STACC.
 - The applicant had a telephone conversation with the STACC president.

Attachments:

1. Draft Resolution
2. Location Map
3. Project Plans

Prepared by:



Daniel Fama, Senior Planner

Approved by:



Paul Kermoyan, Community Development Director

RESOLUTION NO. 456_

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A SITE AND ARCHITECTURAL REVIEW PERMIT (PLN2019-215) TO ALLOW THE CONSTRUCTION OF AN APPROXIMATELY 3,800 SQUARE-FOOT ONE-STORY SINGLE-FAMILY RESIDENCE AND AN INCREASE TO THE ALLOWABLE FENCE HEIGHT, ON PROPERTY LOCATED AT **596 EMORY AVENUE.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN2019-215:

1. The project site is zoned R-1-10 (Single Family Residential) on the City of Campbell Zoning Map and within the boundaries of the San Tomas Area Neighborhood Plan (STANP).
2. The project site is designated Low Density Residential (<3.5 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The project site is a 13,364 square-foot parcel located along Emory Avenue, south of Budd Avenue.
4. The proposed project consists of the construction of a 3,824 square-foot one-story single-family residence.
5. The proposed project will result in a building coverage of 35% and a Floor Area Ratio (FAR) of .33, where a maximum 35% building coverage and .45 FAR are allowed in the R-1-10 Zoning District.
6. The proposed project will provide two covered parking spaces in an attached garage, satisfying the applicable parking requirement.
7. The proposed project will be compatible with the R-1-10 (Single Family Residential) Zoning District with approval of a Site and Architectural Review Permit.
8. The project is compatible with the architecture of the adjacent neighborhood in that the project incorporates representative architectural features of homes in the San Tomas Area including the hipped roof forms and simple rectangular shaped forms.
9. The proposal is consistent with the City adopted San Tomas Area Neighborhood Plan (STANP).
10. The proposal is consistent with the Considerations in Review of Applications (CMC Section 21.42.040) subject to Site and Architectural Review.

11.No substantial evidence has been presented which shows that the project, as currently presented and subject to the required Conditions of Approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact and pursuant to CMC Section 21.42.020 and Section 21.18.060.E the Planning Commission further finds and concludes that:

1. The project will be consistent with the General Plan;
2. The project will aid in the harmonious development of the immediate area;
3. The project is consistent with applicable adopted design guidelines;
4. The increased fence height would not impair pedestrian or vehicular safety;
5. The increased fence height would result in a more desirable site layout;
6. The increased fence height would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood of the change; and
7. The increased fence height would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.
8. This project is Categorically Exempt under per Section 15303 of the California Environmental Quality Act (CEQA), pertaining to the construction of single-family dwellings.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Site and Architectural Review Permit (PLN2019-215) to allow the construction of an approximately 3,824 square-foot one-story single-family residence and an increase to the allowable fence height on property located at **596 Emory Avenue**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 9th day of June, 2020, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

APPROVED: _____
Michael Kray, Chair

ATTEST: _____
Paul Kermoyan, Secretary

CONDITIONS OF APPROVAL
Site & Architectural Review Permit (PLN2019-215)

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division:

1. Approved Project: Approval is granted for a Site and Architectural Review Permit (PLN2019-215) to allow the construction of an approximately 3,800 square-foot one-story single-family residence and an increase to the allowable fence height, on property located at **596 Emory Avenue**. The project shall substantially conform to the Revised Project Plans, stamped as received by the Community Development Department on June 2, 2020, except as may be modified by conditions of approval contained herein.
2. Permit Expiration: The Site and Architectural Review Permit approval shall be valid for one year from the effective date of Planning Commission action (expiring March 3, 2020). Within this one-year period, an application for a building permit must be submitted. Failure to meet this deadline or expiration of an issued building permit will result in the Site and Architectural Review Permit being rendered void.
3. Rough Framing and Planning Final Required: Planning Division clearance is required prior to rough framing and final Building Permit clearance. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.
4. Minor Modifications: Minor Modifications to the approved project plans are subject to review and approval by the Community Development Director. Minor modifications include alterations in floor area of no more than 50 square feet on the first floor (except for PD permits where additional floor area is considered a major modification), alterations to second story windows that are not oriented toward neighboring yards and result in an increase in window area of no more than one square foot and horizontal relocation of no more than one foot from the approved window location, and minor alterations to façade material. All other modifications are subject to review at a public hearing.
5. Plan Revisions: Upon prior approval by the Community Development Director, all Minor Modifications to the approved project plans shall be included in the

construction drawings submitted for Building Permit. Any modifications to the Building plan set during construction shall require submittal of a Building Permit Revision and approval by the Building Official prior to Final Inspection.

6. Fences/Walls: Except as noted below, any newly proposed fencing and/or walls shall comply with Campbell Municipal Code Section 21.18.060 and shall be submitted for review and approval by the Community Development Department.
7. Landscaping: As a **new construction project with a total project landscape area greater than 2,500 square feet**, this project is subject to the updated California Model Water Efficient Landscape Ordinance (MWELo). This document is available at: <http://www.cityofcampbell.com/DocumentCenter/View/176> or on the Planning Division's Zoning and Land Use webpage through www.cityofcampbell.com. The building permit application submittal shall demonstrate compliance with the applicable MWELo and landscaping requirements and shall include the following:
 - a. A Landscape Documentation Package prepared by an authorized and licensed professional demonstrating compliance with the full MWELo requirements with the following required elements:
 - 1) Project Information per Section 492.3.
 - 2) Water Efficient Landscape Worksheet per Section 492.4 (Appendix B of the MWELo).
 - i. Include the worksheet within the plan set AND
 - ii. Provide a separate 8.5x11 hard copy or pdf via email to the project planner.
 - 3) Soil Management Report per Section 492.5 (unless significant mass grading is planned, in which case the report shall be submitted prior to permit final).
 - 4) Landscape Design Plan per Section 492.6.
 - 5) Irrigation Design Plan per Section 492.7.
 - 6) Grading Design Plan per Section 492.8.

Note that a Soil Management Report (if not submitted as part of the Landscape Documentation Package) and Certificate of Completion will be required prior to permit final.
 - b. A completed Landscape Information Form.
 - c. A note on the Cover Sheet in minimum 1/2" high lettering stating "Planning Final Required. The new landscaping indicated on the plans must be installed prior to final inspection. Changes to the landscaping plan require Planning approval."
8. On-Site Lighting: On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of

any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director prior to installation of the lighting for compliance with all applicable Conditions of Approval, ordinances, laws and regulations. Lighting fixtures shall be of a decorative design to be compatible with the residential development and shall incorporate energy saving features.

9. Contractor Contact Information Posting: The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
10. Construction Activities: The applicant shall abide by the following requirements during construction:
 - a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
 - b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
 - c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
 - d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
 - e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
 - f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.

Building Division:

11. Permits Required: A building permit application shall be required for the proposed new single family dwelling structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
12. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
13. Construction Plans: The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.

14. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.
15. Soils Report: Two copies of a current soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the building permit application. This report shall be prepared by a licensed engineer specializing in soils mechanics.
16. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as “natural grade” and intended for use to determine the height of the proposed structure.
17. Foundation Inspections: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
 - a. pad elevation
 - b. finish floor elevation (first floor)
 - c. foundation corner locations
18. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
19. The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24” X 36”) is available at the Building Division service counter.
20. Approvals Required: The project requires the following agency approval or consultation prior to issuance of the building permit:
 - a. West Valley Sanitation District (378-2407)
 - b. Santa Clara County Fire Department (378-4010)
 - c. San Jose Water Company (408) 279-7900 (Customer Service)
 - d. School District:
 - i) Campbell Union School District (378-3405)
 - ii) Campbell Union High School District (371-0960)
 - iii) Moreland School District (379-1370)
 - iv) Cambrian School District (377-2103)

Note: To determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.

21. P.G.& E.: Applicant is advised that Secondary Dwelling Units on Residential lots are not able to have separate electrical and gas service. Gas and Electric service must be provided from the services associated with the main residential structure.
22. California Green Building Code: This project is subject to the mandatory requirements for new residential structures (Chapter 4) under the California Green Building Code, 2016 edition .
23. Construction Fencing: This project shall be properly enclosed with construction fencing to prevent unauthorized access to the site during construction. The construction site shall be secured to prevent vandalism and/or theft during hours when no work is being done. All protected trees shall be fenced to prevent damage to root systems.
24. Demolition Permit: Applicant shall apply for and obtain a Demolition Permit prior to issuance of the building permit for the new dwelling..
25. Automatic Fire Sprinkler Systems: This project shall comply with Section R313 of the California Residential building Code 2016 edition, and be equipped with a complying Fire Sprinkler system.
26. Storm Water Requirements: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.
27. Site Management: This project shall use the following Site Management policies:
 - **Job Site Manager**. Every permitted job must have an identified person to manage the work and be responsive to issues that come up during construction. It is important to identify this person and provide contact information to the Building Inspector at the beginning of the construction process. When a change is made concerning site manager, the inspector should be made aware of the new person and contact information.
 - **Construction Debris**. At the end of each construction day, attention should be made to collect and manage construction waste and debris. Trash must be covered and removed from the site as soon as reasonable. Respect the neighbors and keep a clean site! Sites that fail to manage trash can and will be cited.
 - **Construction Hours**. Every Permitted job is required to observe the permitted hours of construction. Construction work is allowed from 8:00am to 5:00pm

Monday thru Friday. Construction is allowed on Saturdays from 9:00am to 4:00pm. No work is allowed on Sundays or Legal U.S. Holidays. Workers showing up at job sites before the permitted times may create a problem and should be discouraged from arriving earlier than 15 minutes before permitted times. Material deliveries should never be scheduled before permitted hours. It is the responsibility of the Contractor to manage and coordinate deliveries. Citations and/or Stop Work Notices will be issued to Contractors violating the permitted hours.

- **Dust and Dirt.** Many jobs will create dust and dirt on the street. When it rains, sites may have mud running into the sidewalk and street. All job sites must keep all rain runoff on the site and prevent water from running from the site into the gutter and street. Vehicles tracking mud and dirt into the street require cleanup and keeping the sidewalks and streets clean. If you fail to manage your dirt, dust and mud, your site may be issued a 'Stop Work' notice and/or a citation.
- **Music and Unnecessary Noise.** Radios and loud music or other noise not related to construction is discouraged and will keep the neighbors from complaining. Earbuds are a good way to keep the music playing and not a problem for the neighbors. Job sites are not a good place for a worker's dog. Animals should be left at home.

PUBLIC WORKS DEPARTMENT

The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11.24.040. However, per the San Tomas Area Neighborhood Plan, this section of Emory Avenue has been designated to remain unimproved and as such the applicant will not be required to construct new curb, gutter or sidewalk.

28. Public Right-of-Way: Revise the Site Plan (Sheet A1.1) to remove the proposed decorative paver improvements from the public right-of-way. Only asphalt concrete conforms are allowed in the public right-of-way.

29. Water Meter(s) and Sewer Cleanout(s): Any new water meter(s) and sewer cleanout(s) shall be installed on private property behind the public right-of-way line.

30. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start

at the Source”) by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* (“Using Site Design Techniques”) by BASMAA, 2003.

31. The following conditions only apply if the applicant has a need to install / upgrade utility services (water, sewer, gas, etc.) in the street:
- a. Utility Encroachment Permit: Separate permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
 - b. Utility Coordination Plan: Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
 - c. Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City’s Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City’s Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
32. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy and/or final building permit signoff for any and/or all buildings, the applicant shall have the required pavement restoration installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.

FIRE DEPARTMENT

33. Development Review: Review of this development proposal is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
34. Fire Sprinklers Required: (As noted on Sheet A0.0) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all

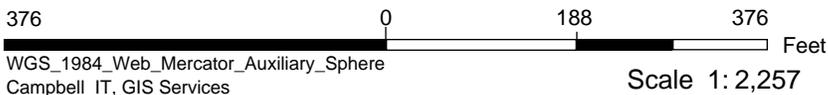
new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC. **Sprinklers are required for both the primary residence and the ADU.**

35. Water Supply Requirements: (As noted on Sheet A0.0) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
36. Construction Site Fire Safety: (As noted Sheet A0.0) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33
37. Address identification: (As noted on Sheet A0.0) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1
38. No Violation: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the

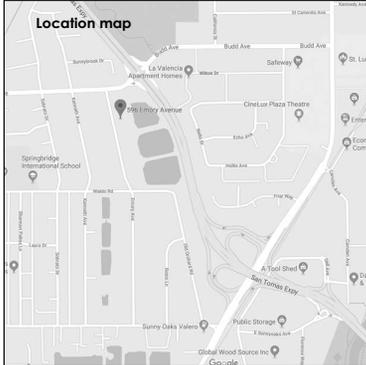
jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the Fire Code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]



Location Map



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



Project Information

Owner
Praniti Lakhwara
Sean O'Brien
596 Emory Ave
Campbell, CA 95008

Telephone
praniti@gmail.com
sobrien05@gmail.com

A P N
404 - 27 - 011

Lot size
13,364 sq ft (31 acres)

Year Built
1951

Zoning
R-1-10 (San Tomas Plan)

Occupancy
R-3

Constr. type
5B

Sprinklers
none

Historic Resource
No

Height & Bulk
28'-0" or 2.5 stories

Open space
5,000 sq ft min 750 sq. ft./unit

Max. lot coverage
35% or 4,677 sq ft sq ft

Existing conditions		
garage (uncond.)	308 sq ft	
garage living space	411 sq ft	
main building living (unit 1)	2,011 sq ft	
main building living (unit 2)	884 sq ft	
existing total living space	3,306 sq ft	
existing total building area	3,614 sq ft	
covered porch	120 sq ft	
covered carport	368 sq ft	
lot coverage	4,102 sq ft	30.7% (35% max)

Proposed conditions		
garage (uncond.)	514 sq ft	
main building living (unit 1)	3,310 sq ft	
ADU (unit 2)	585 sq ft	
pool equip. (uncond)	70 sq ft	
proposed total living space	3,765 sq ft	
proposed total building area	4,479 sq ft	
covered porch & patios	198 sq ft	
lot coverage**	4,673 sq ft	35.0%

building area***		
building area***	4,479 sq ft	33.5%
paved area***	3,697 sq ft	27.7%
landscape area	5,187 sq ft	38.8%

*overhang: <2' <2' not counted towards lot coverage
**see A0.3 for area diagrams
***see A1.1 for front yard area calc

Project description

1. New single family residence using portions of existing structure
2. Conversion of existing detached garage (finished without permit) to ADU & pool equipment room
3. New pool and landscaping
4. Expansion of existing solar capacity for pool and house heating

General notes

1. PROPERTY OF RAUMFABRIK: These drawings, specifications and schedules were prepared by Raumfabrik Architecture + Interiors Inc. for a residence at 596 Emory Ave, Campbell, CA 95008 and are the property of Raumfabrik Architecture + Interiors Inc., 2530 10th St., #7, Berkeley, CA 94710. Use of these drawings, specifications and schedules in part or in whole at any other location and/or without the written permission of the Architect is unlawful. The Architect assumes no responsibility for the unauthorized use of these drawings, specifications and schedules.
2. INTENT: The intent of these drawings, specifications and schedules is to show architectural design decisions to date. Some details and specifications may not be included, as some design decisions may still be in progress.
3. GOOGLE DRIVE: Specifications and schedules included in the drawings are for Bidding and Negotiation purposes only. Subsequent versions of the specifications and schedules for construction will be uploaded to Google Drive and shared with the Contractor and Owner, and will be updated periodically during construction. The Contractor is to refer to these documents online during construction, and make them available to all sub-contractors and the foreman as required. Printed copies may be provided by the Architect upon request.
4. UP TO DATE PLANS: The Contractor must keep a copy of the latest version of the drawings on site at all times. The Architect will periodically provide the Contractor with up to date printed sets as required.
5. CODES: All work shall comply with local City of Campbell codes, California State codes, Amendments, Rules, Regulations, Ordinances, Laws, Orders, Approvals etc that are required by Governing Authorities. In the event of conflict, the most stringent requirements shall apply. Requirements include, but are not limited to the following:
2019 versions of the California Building Code, California Residential Code (if applicable), California Green Building Standards Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Administrative Code, California Energy Code
6. DIMENSIONS: All dimensions are face of finish dimensions unless noted otherwise.
7. FIELD VERIFICATION: All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the Architect's attention before proceeding with the affected part of the work.
8. SCALING: Do not scale drawings.
9. FIRE SPRINKLERS REQUIRED: An automatic residential fire sprinkler system shall be installed in one and two family dwellings as follows: 1) In all new one and two-family dwellings and in existing one and two family dwellings when additions increase the building area to more than 3,600 sq. ft. NOTE: The owner(s) and any contractor(s) are responsible for consulting with the water purveyor or record to determine if any modification or upgrade of the existing water service is required. A State of CA licensed (C-16) Fire Protection Contractor shall submit plans, calculations, and completed permit application and appropriate fees to this department for review and approval prior to beginning work. CRC §313.2 as adopted and amended by the CBAVC. SPRINKLERS ARE REQUIRED FOR BOTH THE PRIMARY RESIDENCE AND ADU.
10. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors/subs to contact the water purveyor or supplying the site of such project, and to comply with their requirements. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically constructed in any manner to an appliance capable of causing contamination of the potable water supply. Final approval of the system not granted until compliance of the water purveyor of record are documented as being met. 2010 CFC §903.3.5.8, Health and Safety Code §13114.2.
11. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with the applicable provisions of CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submissions, as appropriate to the project.
12. ADDRESS (a, (n) and (E) buildings shall have approved address numbers placed in a position that is plainly legible and visible from the road fronting the property. These numbers shall contract with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4" high with a min. stroke of .5". CFC §505.1.

Sheet index

- A0.0 project info, general notes, perspectives
- A0.1 stormwater BMPs
- A0.2 floor area diagrams
- A1.0 (E) site plan
- A1.1 (N) site plan, streetscape elevation
- A2.0 (E) 1st floor plan, demo calculations
- A2.1 (E) roof plan
- A2.2 (E) ADU plans & elevations
- A2.3 (N) 1st floor plan
- A2.4 (N) attic plan
- A2.5 (N) roof plan
- A2.6 (N) ADU plans & elevations
- A3.0 (N) North & East elevations
- A3.1 (E) + (N) South & West elevations sections
- A4.0 schedules
- A7.0 schedules
- L1.0 landscape plan

Material + symbols legend

- concrete
- ball insulation
- plywood
- soil
- exterior door/window tag
- interior door tag
- fire rated assembly tag
- drawing note tag
- sheet note tag



1 proposed street perspective

Abbreviations

adj.	adjustable or adjacent
AFF	above finish floor
all.	alternate
assess	assess parcel number
BN	building
blkq	blocking
bot.	bottom
cab.	cabinet
ch	ceiling height
clg	ceiling
CMU	concrete masonry unit
conc.	concrete
const.	construction
cont.	continues
D	dryer
dbl	double
dept.	department
DF	douglas fir
dia.	diameter
dim.	dimension
dn	down
DS	downspout
DW	dishwasher
dwg	drawing
E	East
ea.	each
elev.	elevation
elec.	electrical
eq	equip
equip.	equipment
(E)	existing
ext.	exterior
EW	each way
FAR	floor area ratio
FAU	forced air unit
FF	finish floor
fr	frapice
FSJ	finger joint
f.	flooring
f.	fluoresced
FSF	face of finish
FoS	face of stud
f	feet or foot
fg	footing
fum	furnace
glu	glued
glulam	glued laminated
GWB	gypsum wall board
H&B	hose bib
hd	head height
hor.	horizontal
hw	hardwood
in. or "	inch
int.	interior
inv.	inventory
to	to
max.	maximum
med. cab.	medicine cabinet
MDF	medium density fiberboard
mech.	mechanical
manuf.	manufacturer
macro.	macro
min.	minimum
misc.	miscellaneous
mtl	metal
N	North
(N)	new
INC	not in contract
#	number
OC	on center
over	over
perfl.	perforated
PL	properly line
ply.	plywood
prefab.	prefabricated
PT	pressure treated
R	refrigerator or freezer
(R)	replaced or remodeled
rebar	reinforcing bar
ref.	reference
req.	required
rm.	room
RO	rough opening
row	right of way
row	roadway
S	South
S4S	surfaced 4 sides
SH	sh height
sim.	similar
specs	specifications
sq.	square
std	see structural drawings
stnss	stainless steel
std	standard
stl	steel
str.	storage
struct.	structural
surf.	surface
T	head
T&B	top & bottom
T&G	tongue & groove
T&L	to be determined
thru	through
TFC	top of curb
tw	top of wall
typ.	typical
unles. otherwise noted	unles. otherwise noted
vert.	vertical
v.f.f.	verify in field
W	washing machine, width, or West
w/	without
w/o	without
w	wood
WH	water heater
WP	waterproof

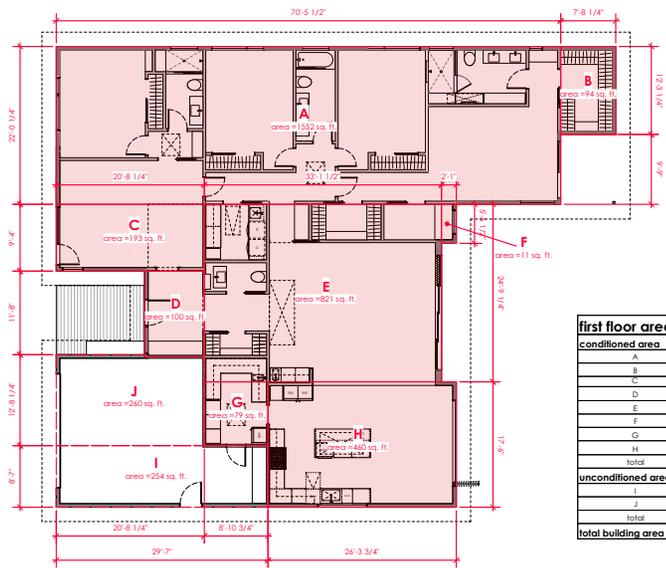
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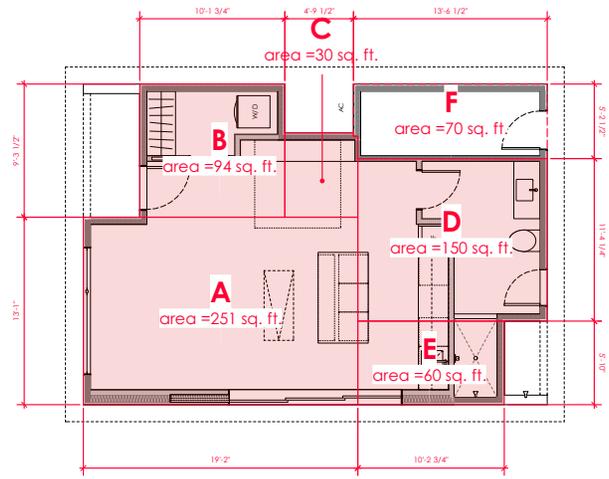


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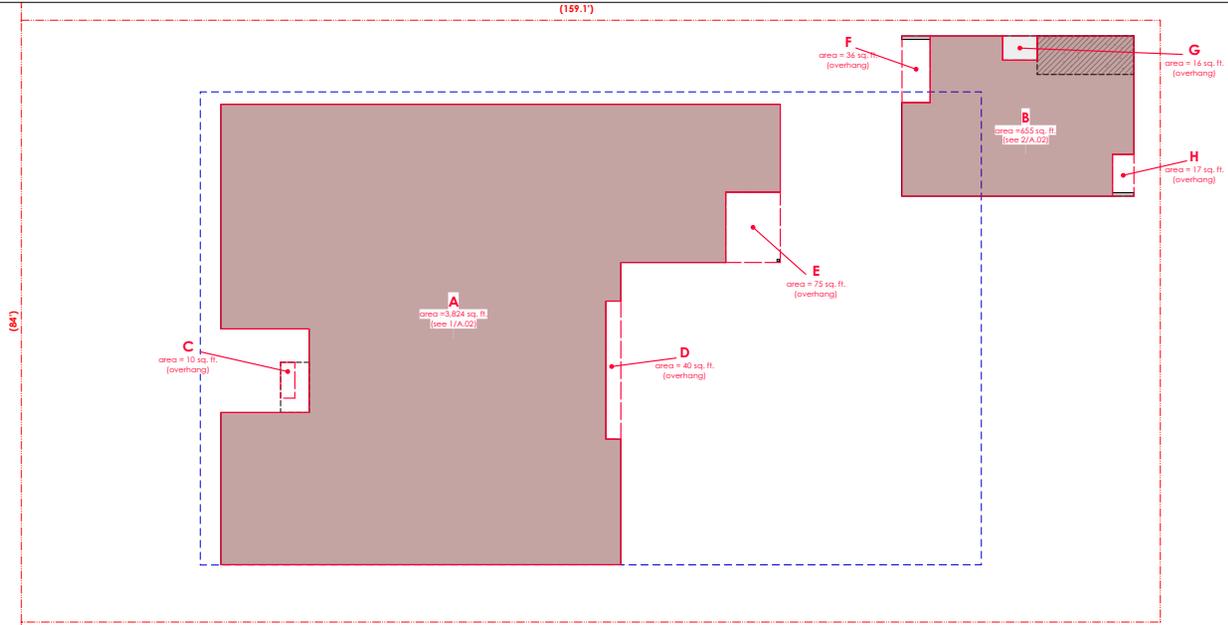
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ISSUED	R1 12/17/19
	R2 01/10/20
DESIGNED BY	CF, AP
IN CHARGE	planning
DATE COMPLETED	
PROJECT INFO	project info
GENERAL NOTES	general notes
PHOTOGRAPHS	photographs
SCALE	
PROJECT NO.	A0.0
PROJECT FILE	lakhwara
DATE	02/18/20



first floor area calc.	
conditioned area	
A	1,552 sq ft
B	94 sq ft
C	193 sq ft
D	100 sq ft
E	821 sq ft
F	11 sq ft
G	79 sq ft
H	460 sq ft
I	3,310 sq ft
unconditioned area	
I	254 sq ft
J	240 sq ft
	514 sq ft
total building area	3,824 sq ft

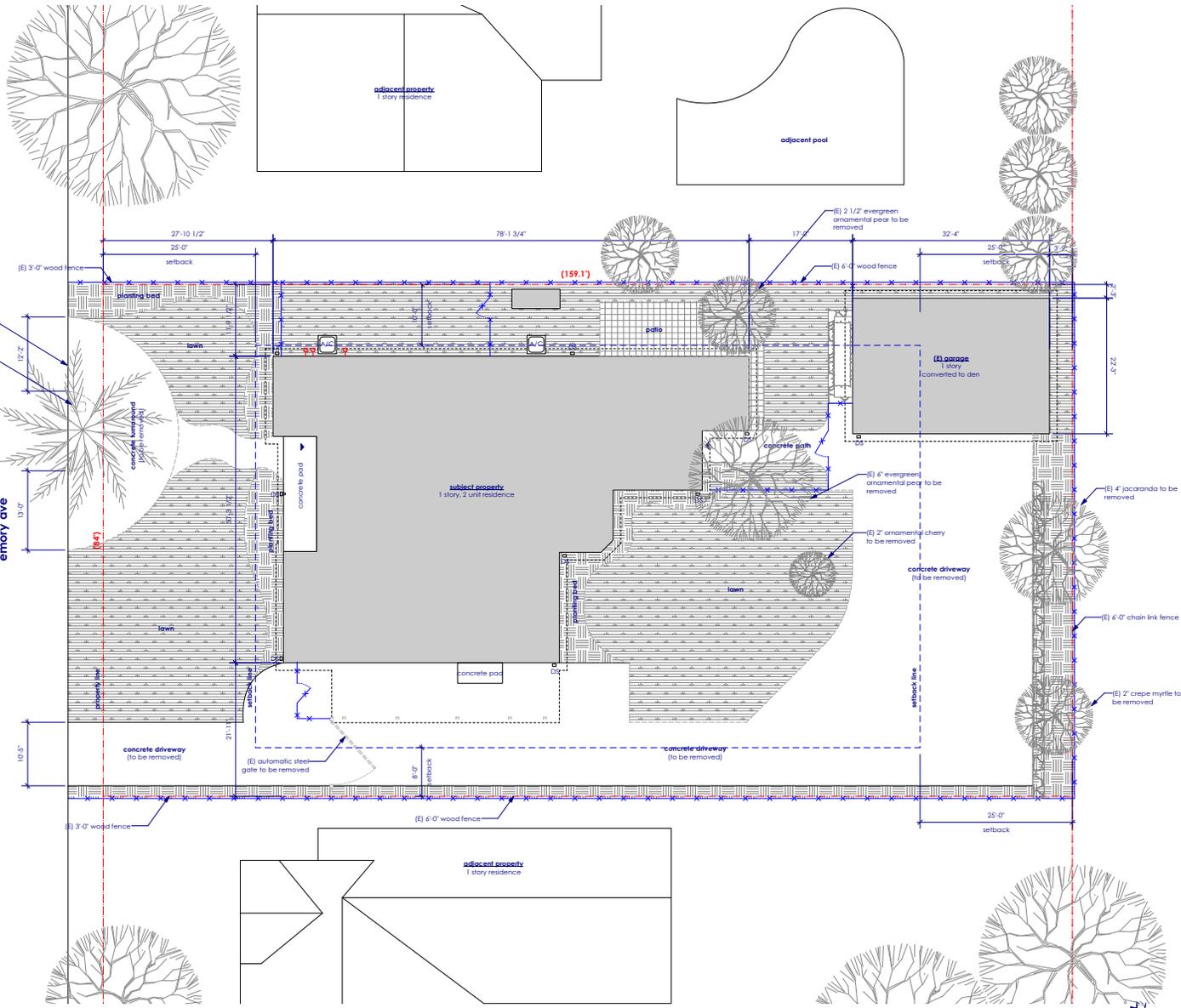


ADU area calc.	
conditioned area	
A	251 sq ft
B	94 sq ft
C	30 sq ft
D	150 sq ft
E	60 sq ft
total	585 sq ft
unconditioned area	
F	70 sq ft
total building area	655 sq ft



Site plan/lot coverage calc.	
building area	
A	3,824 sq ft
B	655 sq ft
total	4,479 sq ft
roof overhangs*	
C	10 sq ft
D	40 sq ft
E	75 sq ft
F	36 sq ft
G	16 sq ft
H	17 sq ft
total	194 sq ft
total lot coverage	4,673 sq ft
*denotes overhang >2'-0"	





1 - [E] site plan
Scale: 1/8" = 1'-0"



Site plan symbols

- property line
- setback line
- fence
- building limit line
- contour line
- sewer line
- gas line
- hard drain tile o/ perforated pipe, holes down
- perforated pipe, holes down
- hose bibb
- downspout

Site plan notes

1. Site Plan information is based on assessor's parcel data obtained from Santa Clara County Assessor, site observation and measurement, and aerial imagery.
2. Provide positive ground slope away from all foundations, min. 2% for a distance of 4'-0".
3. See A1.1 for Impervious Surfaces calculation
4. All existing trees and shrubs on site to be removed and replaced
5. [E] concrete patio to be broken up and removed for recycling, where possible. Follow all municipal guidelines for construction waste management.

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REVISIONS:
R1 12/17/19
R2 01/10/20

DESIGNED BY: CF, AP

DATE: planning

DATE: [E] site plan

A1.0

PROJECT: lakhwara
DATE: 02/18/20

exit access travel distance	
occupant load	
(10) sq. ft./2000	0
total travel distance :	0'
allowable travel distance	
w/o sprinklers :	75'0" ok

Wall symbols

	(E) wall to be removed
	(E) wall to remain
	(N) 2x wall
	(N) 2x wall - insulated

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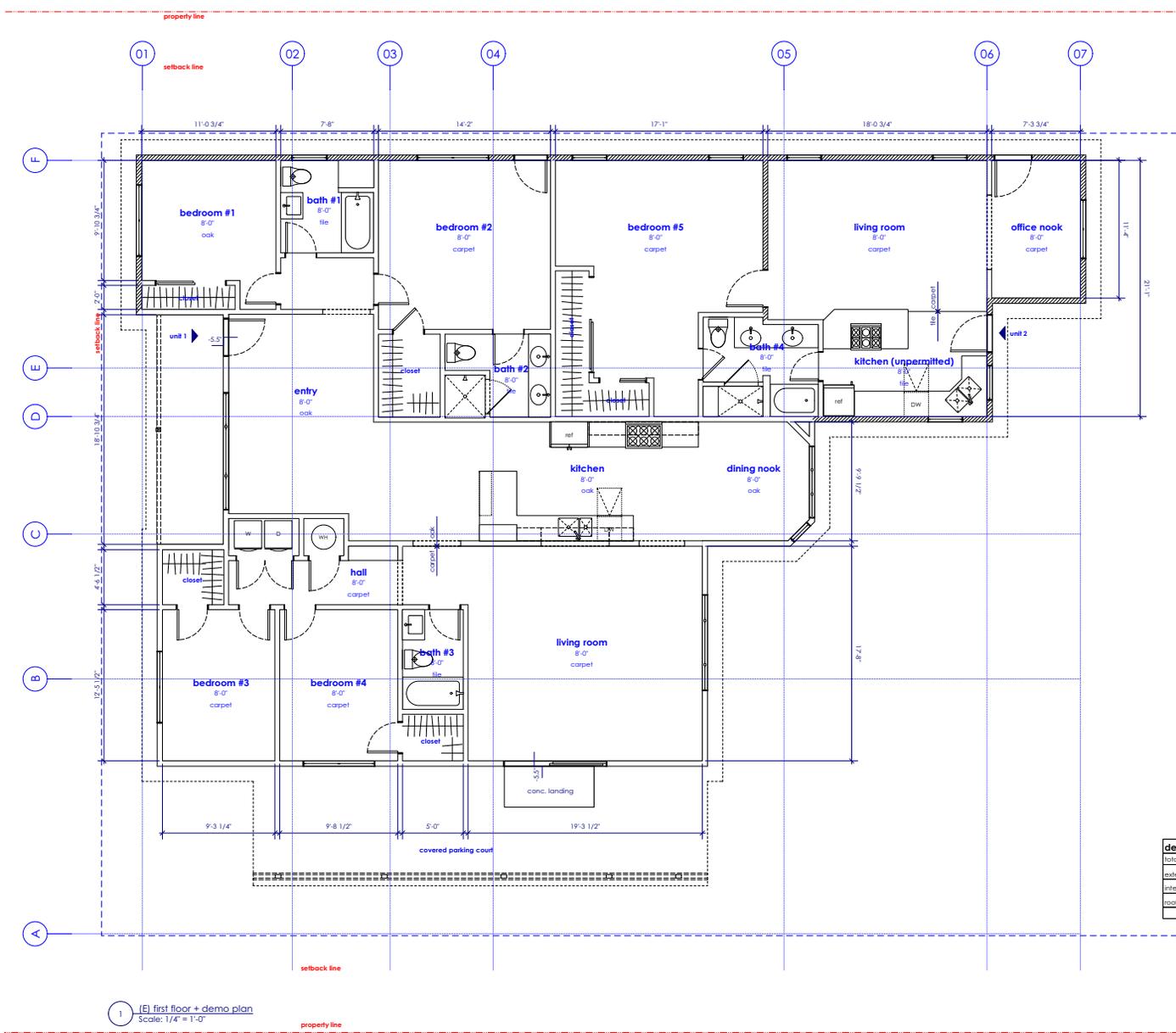
drawn by:
CF, AP

in charge:
planning

sheet content:
(E) 1st floor plan

sheet no.:
A2.0

project no.:
lakhwara
date:
02/18/20

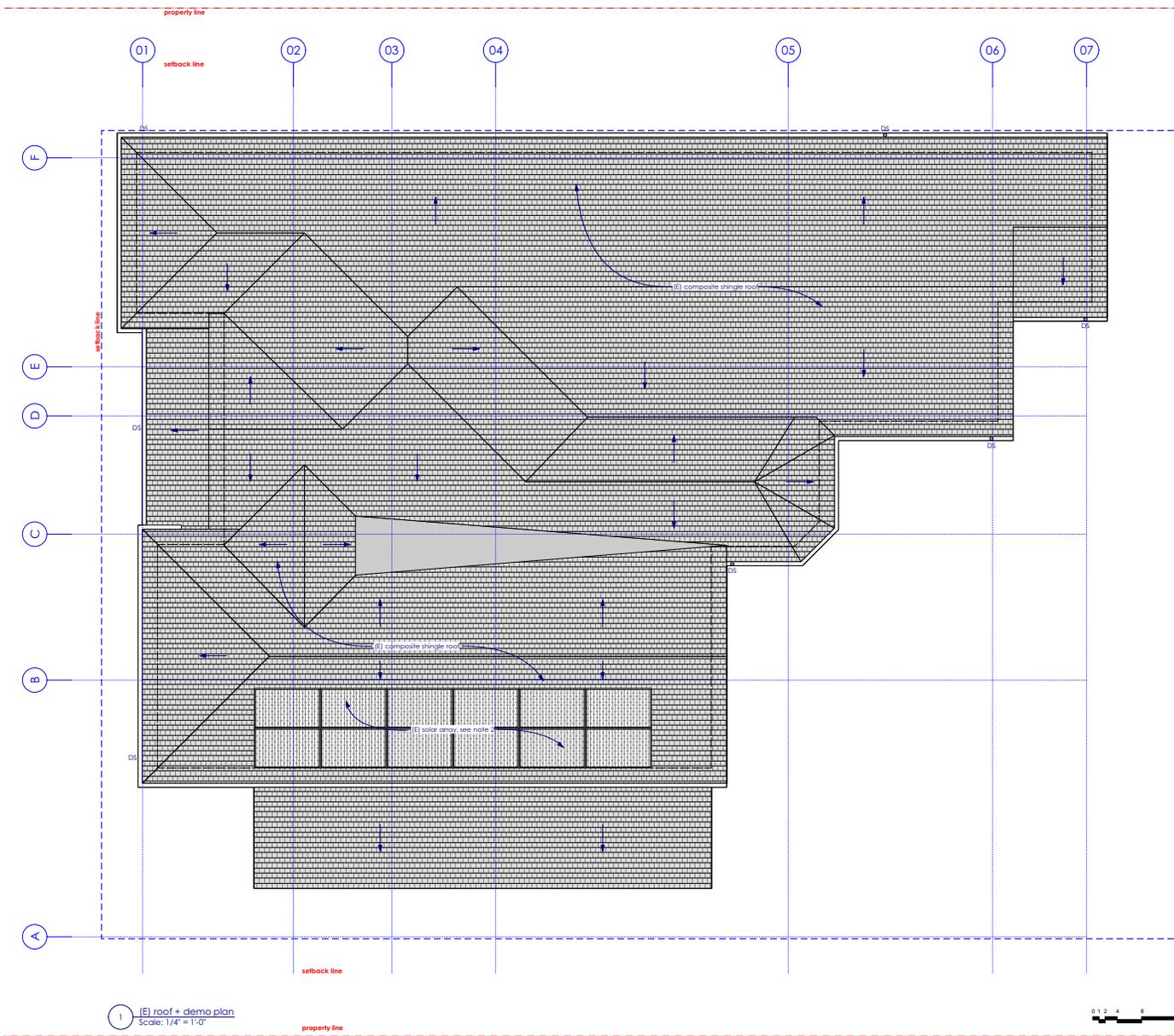


1 (E) 1st floor + demo plan
Scale: 1/4" = 1'-0"

demo calculation

	total area	area to remain	% to remain	% demo
exterior walls	264.5 sq ft	134.25 sq ft	50.4%	49.6%
interior walls	353.5 sq ft	17.0 sq ft	4.8%	95.2%
roof	3,639.0 sq ft	0.0 sq ft	0.0%	100%





1 (E) roof + demo plan
Scale: 1/4" = 1'-0"

Roof plan notes

1. Entire roof to be demolished. See A2.0 for Demolition Calculations.
2. (E) solar array to be removed, protected, and stored for re-use.

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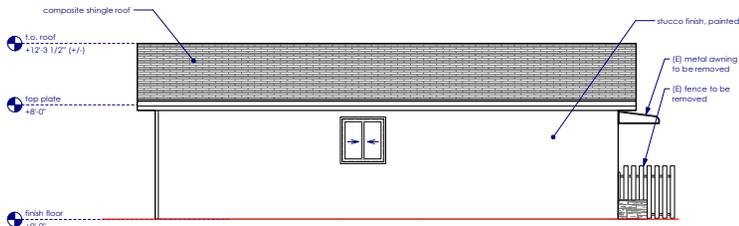
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CF, AP

discipline:
planning

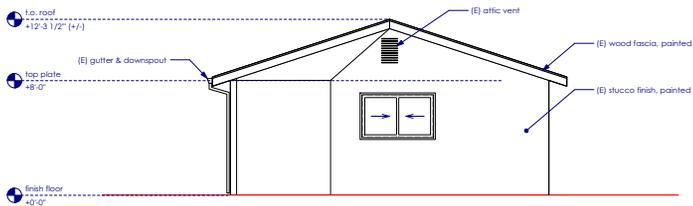
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(E) roof plan

sheet no.
A2.1

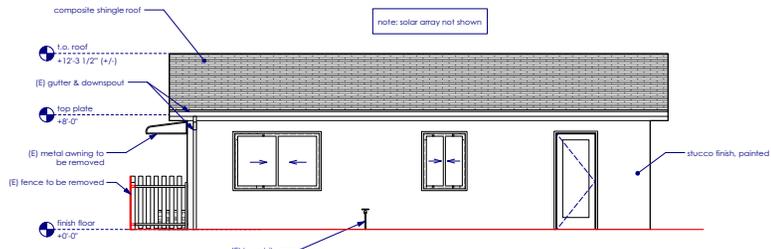
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lakhwara
date
02/18/20



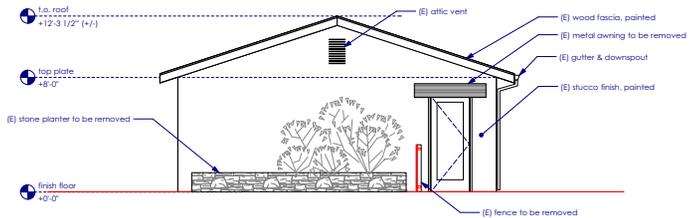
6 (E) garage north elevation
Scale: 1/4" = 1'-0"



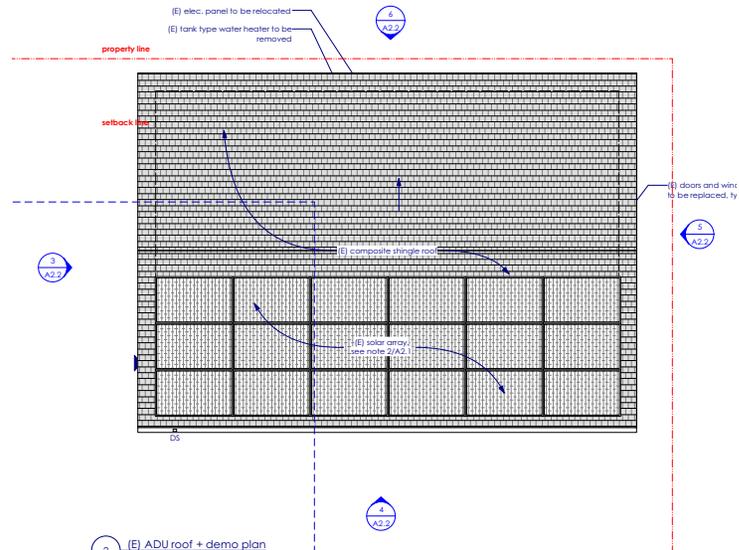
5 (E) garage east elevation
Scale: 1/4" = 1'-0"



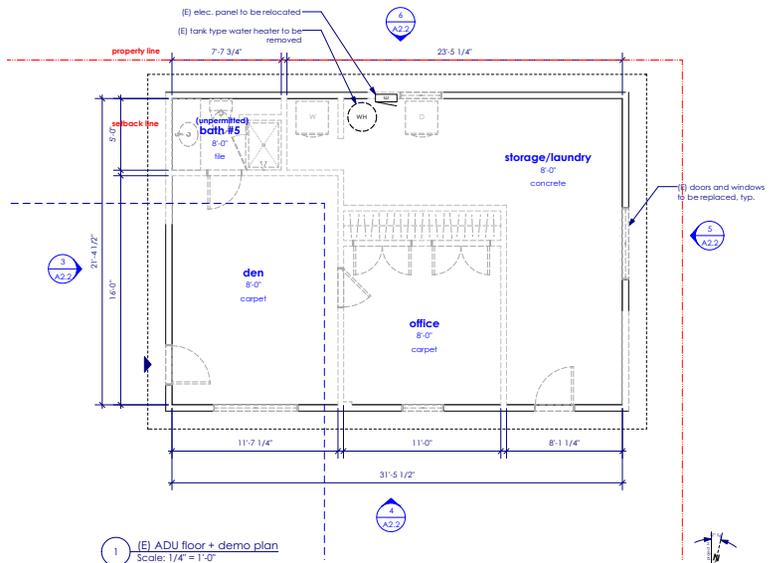
4 (E) garage south elevation
Scale: 1/4" = 1'-0"



3 (E) garage west elevation
Scale: 1/4" = 1'-0"



2 (E) ADU roof + demo plan
Scale: 1/4" = 1'-0"



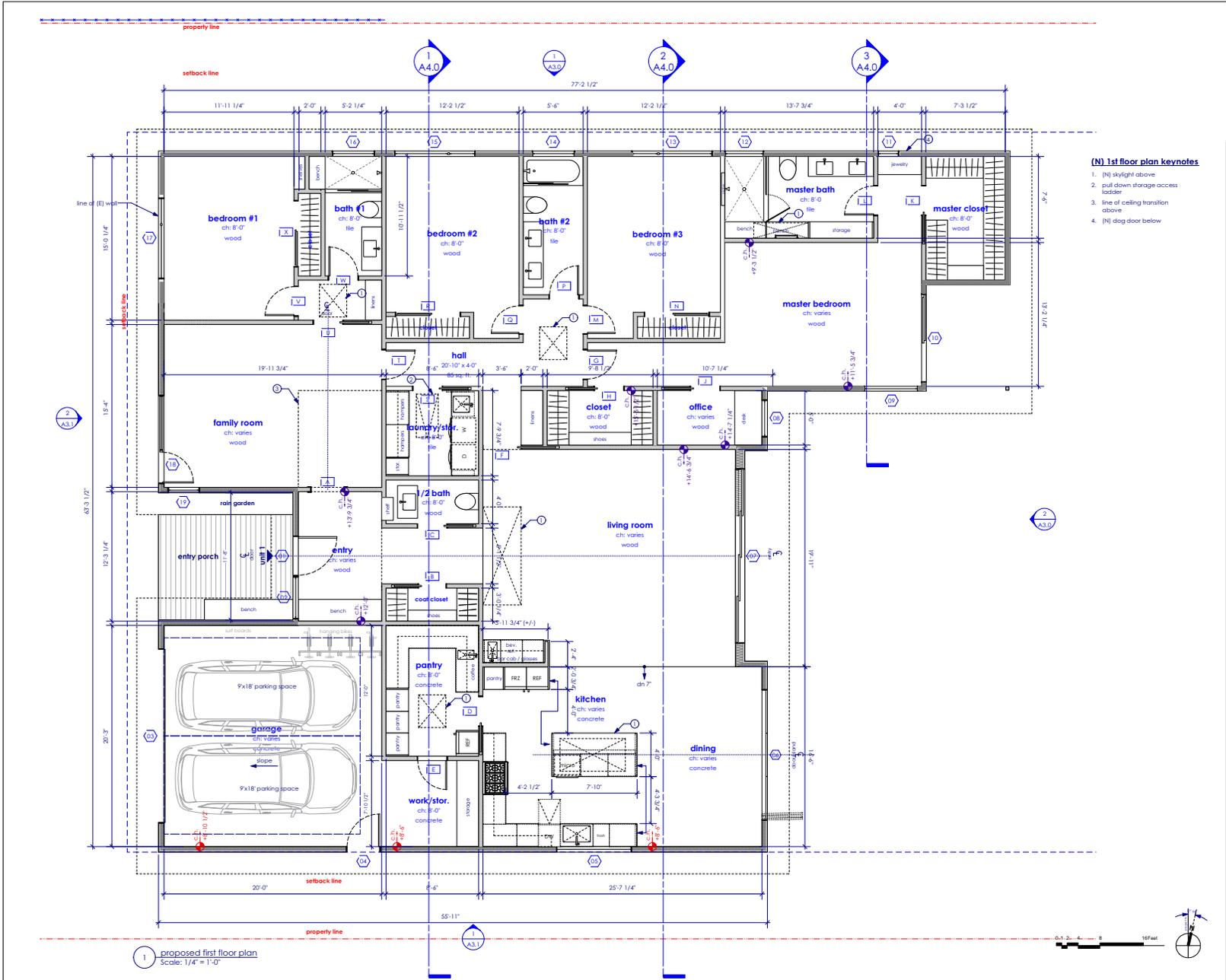
1 (E) ADU floor + demo plan
Scale: 1/4" = 1'-0"



Wall symbols

- (E) wall to remain, size varies
- (E) wall to be removed
- (N) 2x wall
- (N) 2x wall - insulated



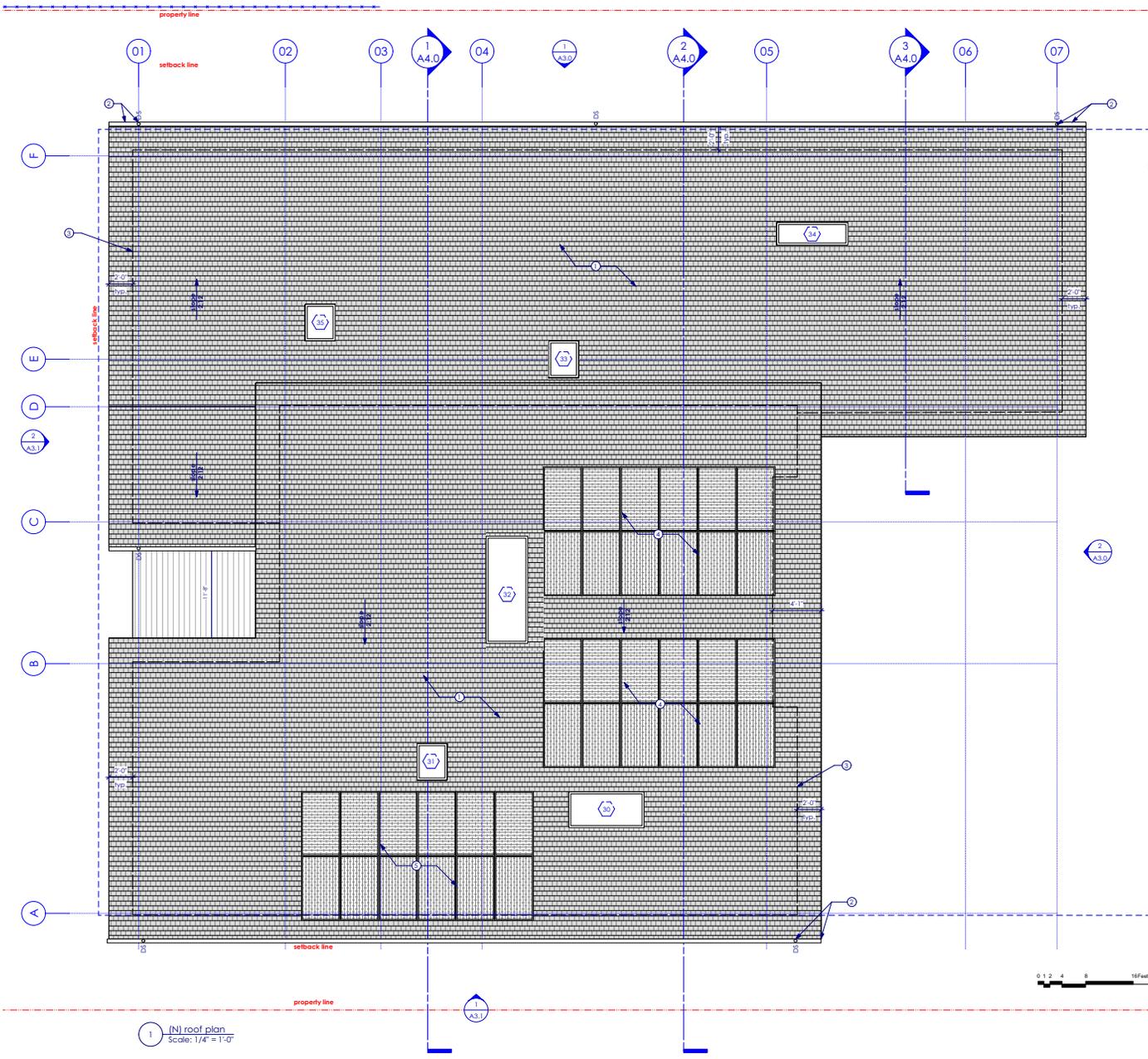


- Wall symbols**
- (E) wall to remain, size varies
 - (E) wall to be removed
 - (N) 2x wall
 - (N) 2x wall - insulated

- Sheet notes**
- A All (N) or open (E) 2x4 exterior walls or walls between conditioned and unconditioned space to have min R-13 insulation value. See Specs.
 - B All (N) or open (E) 2x6 exterior walls or walls between conditioned and unconditioned areas to have min. R-19 insulating value. See Specs.
 - C Interior walls to be insulated, as indicated on the plans. See Specs.
 - D Contractor to provide solid blocking as req. for wall mounted cabinets & fixtures.
 - E Maintain minimum 18" clearance to ground. Cover the ground with 6 mil plastic vapor barrier, lap and glue seams.
 - F Provide adequate crawlspace cross ventilation, per CBC 1203.4. Net ventilation area to be equal to 1 sf per 150 sf of crawlspace area. That area may be reduced to 1/1500 of the underfloor area where a Class I vapor retarder is provided.
 - G Provide minimum 200 sq. in. garage ventilation for spaces up to 1,000 sf, per SIBC 406.3.3
 - H Provide a 1 HR rated fire separation between the garage and living space. See Fire Rated Assemblies on A4.0. The garage door shall be either a solid wood door or a 20 minute fire rated door, self-closing, self-latching. See schedule.
 - I Provide one layer of 5/8" Type-x.g.w.b. on any exposed stair undergarage.
 - J (N) +42" guardrail, per CBC 101.5 and CBC 831.2, where applicable. See detail X/A4.X
 - K (N) handrail, per CBC 101.4 and CBC 831.1, where applicable. See detail X/A4.X
 - L Shower controls must be located such that they are reachable from outside of the shower.
 - M Shower/tub enclosures shall use tempered glass, and swing outward to maintain a 22" unobstructed opening width. [CPC §408.3]
 - N Shower stall to have a minimum finished interior of 1,024 sq. in. and shall be capable of encompassing a 30" Ø circle. The minimum required area and dimensions shall be measured at a height equal to the top of threshold, no less than 70" above the drain outlet. [CPC §408.3]
 - O Provide a minimum of 15" clearance from centerline of toilet to any wall or obstruction. Provide a minimum of 24" in front of toilet. [CPC §402.5]

- (N) 1st floor plan keynotes**
1. (N) skylight above
 2. pull down storage access loader
 3. line of ceiling transition above
 4. (N) dog door below





- (N) roof plan keynotes**
1. (N) class 'A' asphalt shingle roofing
 2. (N) gutter & downspout
 3. line of building below
 4. solar PV array, under separate permit
 5. solar hot water array, under separate permit

Wall symbols

	(E) wall to remain, size varies
	(E) wall to be removed
	(N) 2x wall
	(N) 2x wall - insulated

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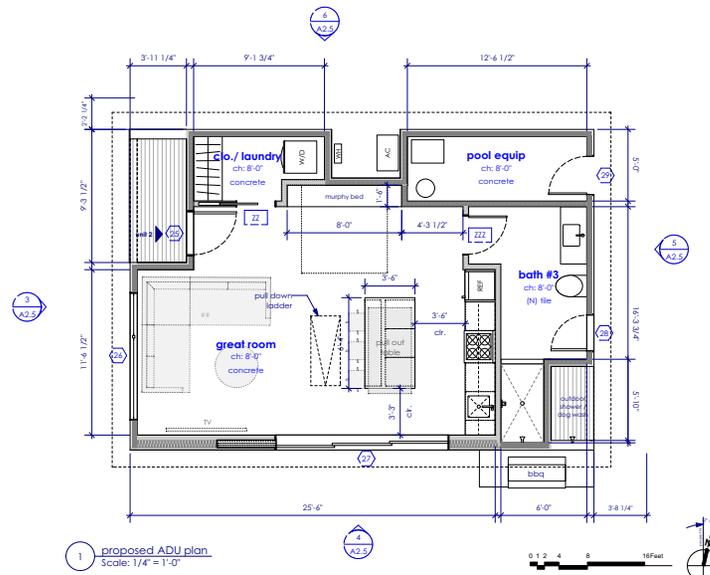
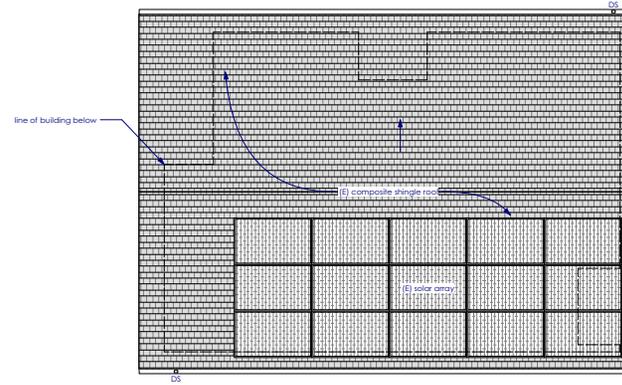
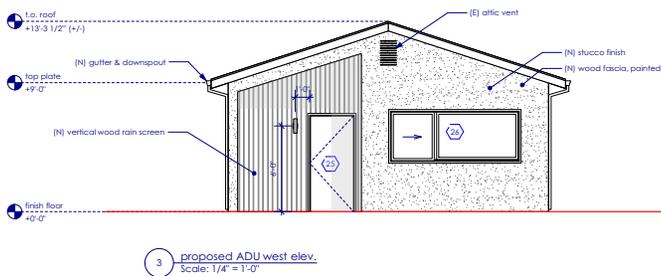
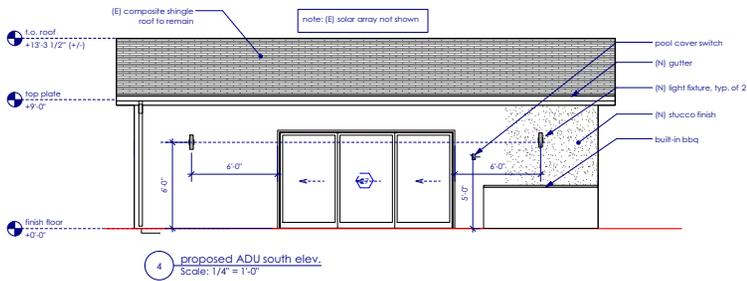
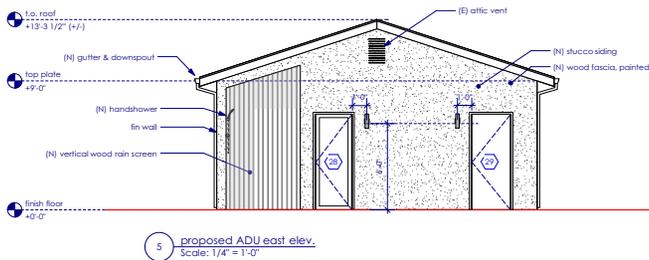
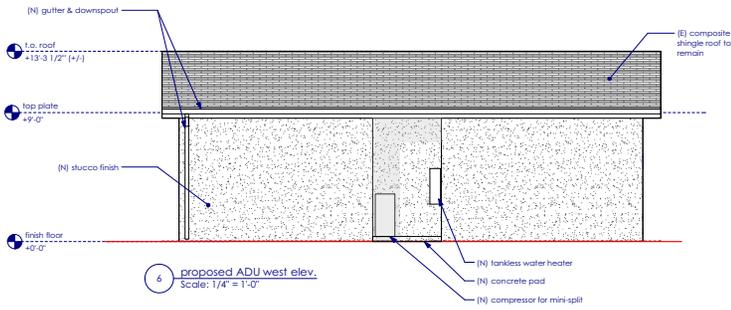
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Lakhwara - O'Brien Residence
59% Emory Ave., Campbell, CA 95008
A.P.N.: 404 - 27 - 011

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revision:	R1 12/17/19
	R2 01/10/20
drawn by:	CF, AP
checked by:	planning
sheet content:	(N) roof plan
sheet no.:	A2.5
project no.:	lakhwara
	02/18/20



Wall symbols

- (E) wall to remain, size varies
- (E) wall to be removed
- (N) 2x wall
- (N) 2x wall - insulated

Sheet notes

- A All (N) or open (E) 2x4 exterior walls or walls between conditioned and unconditioned space to have min R-13 insulation value. See Specs.
- B All (N) or open (E) 2x6 exterior walls or walls between conditioned and unconditioned areas to have min. R-19 insulating value. See Specs.
- C Interior walls to be insulated, as indicated on the plans. See Specs.
- D Contractor to provide solid blocking as req. for wall mounted cabinets & fixtures.
- E Shower controls must be located such that they are reachable from outside of the shower.
- F Shower/tub enclosures shall use tempered glass, and swing outward to maintain a 22" unobstructed opening width. [CPC §408.5]
- G Shower stall to have a minimum finished interior of 1.024 sq. in. and shall be capable of encompassing a 30" Ø circle. The minimum required area and dimensions shall be measured at a height equal to the top of threshold, no less than 70" above the drain outlet. [CPC §408.5]
- H Provide a minimum of 15" clearance from centerline of toilet to any wall or obstruction. Provide a minimum of 24" in front of toilet. [CPC §402.5]





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revision: R1 12/17/19

R2 01/10/20

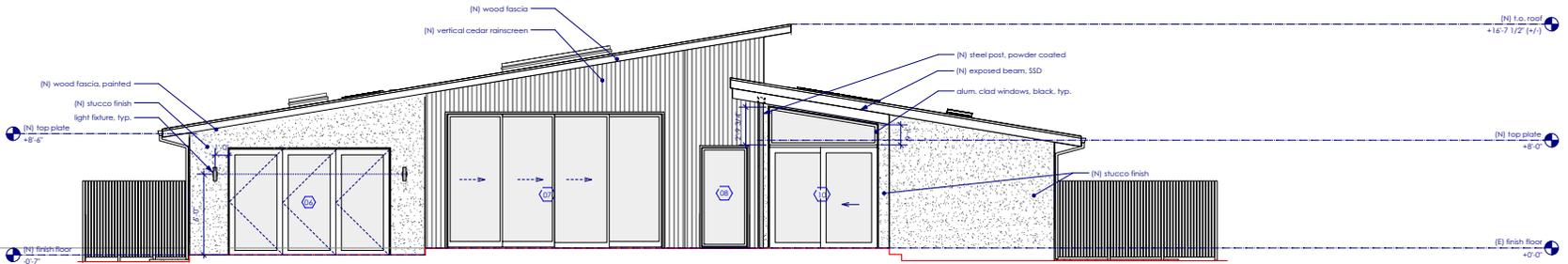
CF, AP

planning

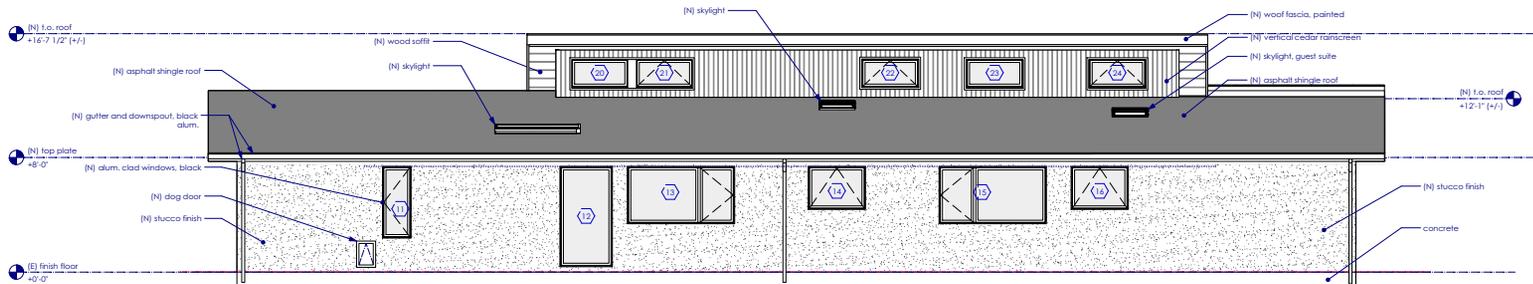
(N) N elev.
(E) E elev.

A3.0

lakhwara
02/18/20



2 proposed east elevation
Scale: 1/4" = 1'-0"



1 proposed north elevation
Scale: 1/4" = 1'-0"





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R2 01/10/20

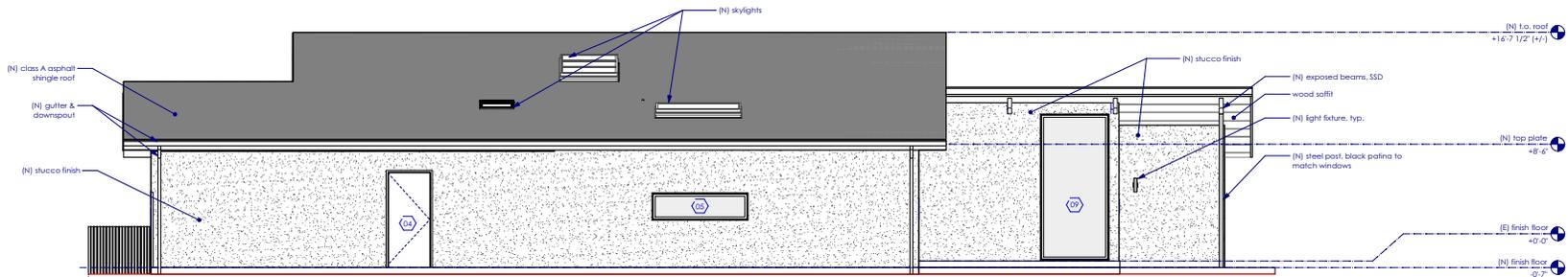
CF, AP

planning

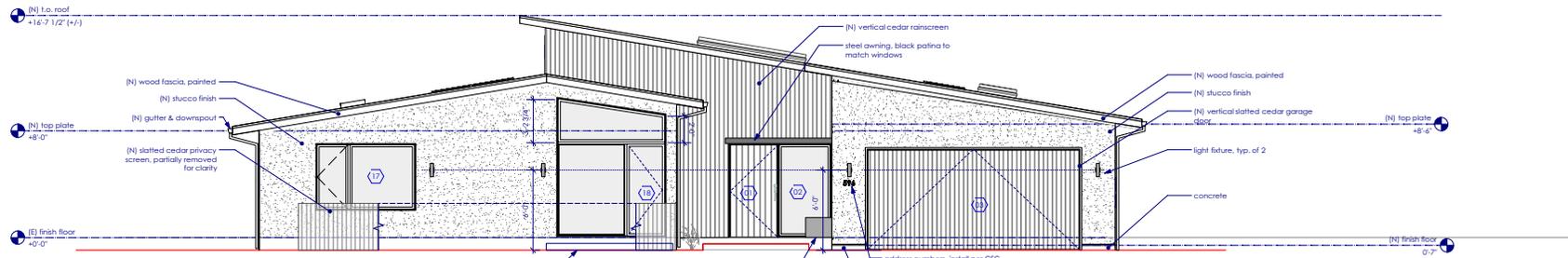
(E) + (N) S elevs
(E) + (N) W elevs

A3.1

lakhwara
02/18/20



2 proposed south elevation
Scale: 1/4" = 1'-0"



1 proposed west elevation
Scale: 1/4" = 1'-0"

0 1 2 4 8 16 Feet



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REVISIONS:
R1 12/17/19
R2 01/10/20

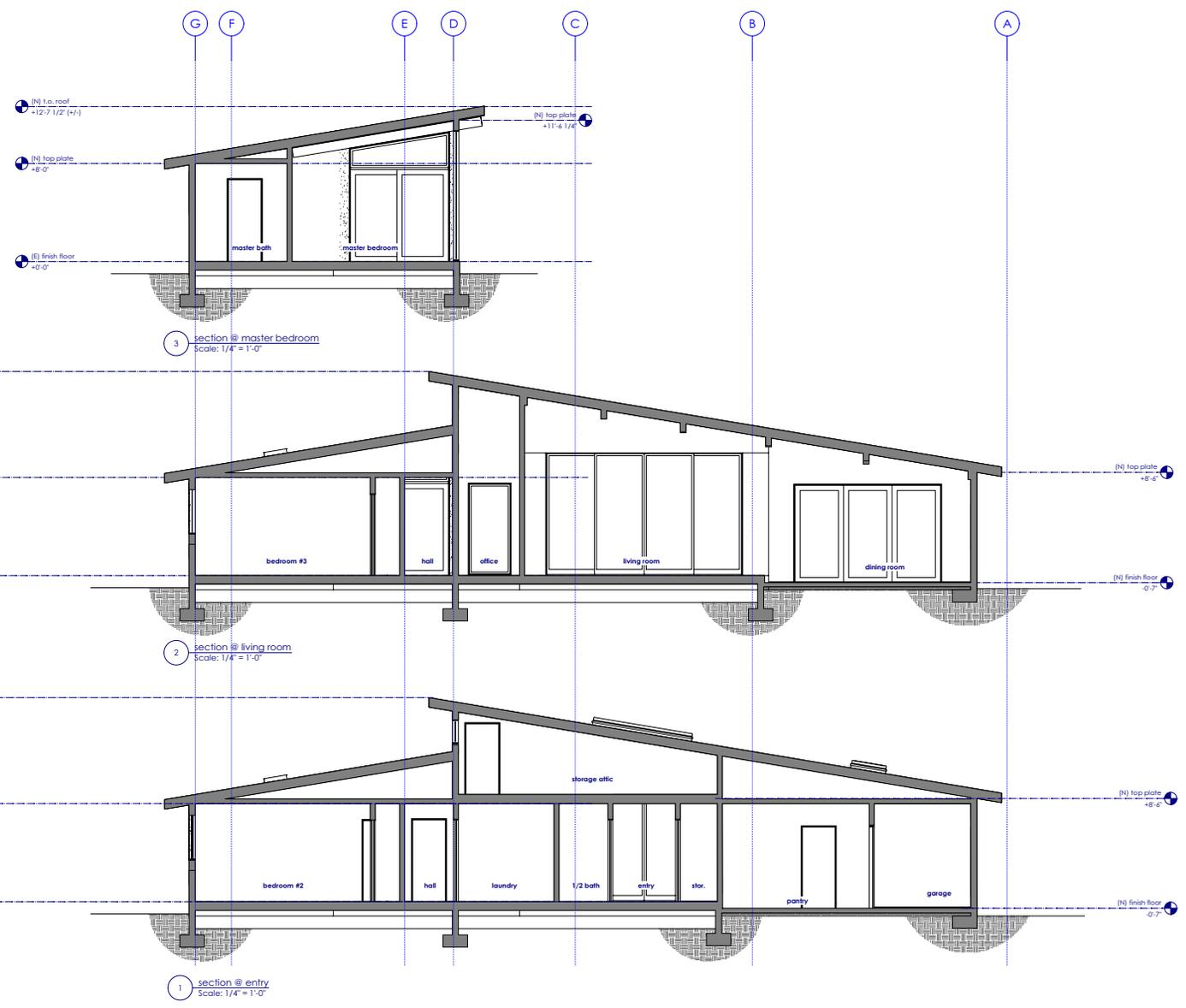
DESIGNED BY:
CF, AP

DATE:
planning

DATE CONTENTS:
(N) sections

PROJECT NO.:
A4.0

PROJECT NAME:
lakhwara
02/18/20



Int. Door Schedule

#	Location	Width	Height	Operation	Slab Style	Hardware	H. function	H. finish	Comments
A	entry	30"	68"	pocket	slab	TBD	TBD	satn nickel	
B	entry	26"	68"	slider	slab	flush	passage	satn nickel	
C	entry	28"	68"	pocket	slab	flush	privacy	satn nickel	
D	pantry	28"	68"	pocket	slab	flush	passage	satn nickel	
E	garage	28"	68"	left hand swing	slab	lever	deadbolt	satn nickel	20 min. rated, weatherized, self-closing/hatching
F	hall	34"	68"	pocket	slab	flush	passage	satn nickel	
G	master bedroom	28"	68"	left hand swing	slab	lever	privacy	satn nickel	
H	closet	28"	68"	pocket	slab	flush	dummy	satn nickel	
I	office	28"	68"	pocket	slab	flush	privacy	satn nickel	
K	master closet	28"	68"	pocket	slab	flush	dummy	satn nickel	
L	master bath	28"	68"	left hand swing	slab	lever	privacy	satn nickel	
M	bedroom #3	28"	68"	right hand swing	slab	lever	privacy	satn nickel	
N	closet	60"	68"	slider	slab	flush	dummy	satn nickel	
P	bath #2	28"	68"	right hand swing	slab	lever	privacy	satn nickel	
Q	bedroom #2	28"	68"	left hand swing	slab	lever	privacy	satn nickel	
R	closet	60"	68"	slider	slab	flush	dummy	satn nickel	
S	laundry room	28"	68"	pocket	slab	flush	passage	satn nickel	
T	family room	28"	68"	left hand swing	slab	lever	passage	satn nickel	
U	bath #1	28"	68"	right hand swing	slab	lever	privacy	satn nickel	
V	bedroom #1	28"	68"	left hand swing	slab	lever	privacy	satn nickel	
W	bath #1	28"	68"	right hand swing	slab	lever	privacy	satn nickel	
X	closet	60"	68"	slider	slab	flush	dummy	satn nickel	
Y	mech.	28"	510"	left hand swing	slab	lever	privacy	satn nickel	verify height in field
Z	storage	28"	510"	right hand swing	slab	lever	privacy	satn nickel	verify height in field
ZZ	closet/laundry	28"	68"	pocket	slab	flush	passage	satn nickel	
ZZZ	bath #3	28"	68"	left hand in-swing	slab	lever	privacy	satn nickel	

Interior Door Notes
 1. All interior doors to be oak slab doors with paint grade door frames
 2. Hinge finish to match hardware, typ.

Ext. Door Schedule

#	Location	Mfr	Series	Operation	Unit W	Unit H	H. H.	Slab Style	Comments
01	entry	TBD		left hand in-swing	38"	70"	70"	solid	metal-clad door
03	garage	TBD	TBD	lift-up retractable	160"	76"	76"	solid	vertical wood slat cladding to match house
04	garage	TBD	TBD	right hand in-swing	30"	70"	70"	solid	fiberglass
06	dining room	TBD	TBD	3 panel bifold	120"	80"	80"	glass	
07	living room	TBD	TBD	4 panel slider	160"	100"	100"	glass	
10	master bedroom	TBD	TBD	slider	80"	76"	76"	glass	w/ raked transom above. See elev.
18	family room	TBD	TBD	left hand in-swing	210"	70"	70"	glass	w/ 5'-0" sidelite and raked transom abv. See elev.
25	ADU entry	Weathershield	contemporary	left hand in-swing	30"	68"	68"	glass	
27	ADU great room	Weathershield	contemporary	3 panel pocket slider	120"	68"	68"	glass	
28	ADU bath	Weathershield	contemporary	left hand in-swing	15 0"	68"	68"	glass	
29	ADU pool equip.	TBD	TBD	left hand in-swing	28"	68"	68"	solid	20 min. rated, weatherstip, fiberglass

General Notes
 1. Contractor to field verify all rough opening dimensions prior to ordering
 2. All glazing to be tempered, double pane, clear, lowE2, UON, Max U-value .32
 3. See exterior elevation for operation and divided lite configuration.

Fiberglass Door Notes

Interior: black	Interior: maple
Exterior: black	Exterior: black
Hardware: black	Hardware: interior satin nickel, exterior black

Window & Skylight Schedule

#	Location	Mfr	Series	Sash Operation	R.O. W	R.O. H	H.H.	Glazing	Egress	Comments
02	entry	TBD		fixed	40"	70"	70"			match unit 01 HH
05	kitchen	Anderson	100 series	fixed	70"	20"	54"			mulled assembly, see elev.
08	office	Anderson	100 series	fixed	34"	74"	74"			
09	master bed	TBD	TBD	fixed	50"	108"	108"	tempered		truss assembly, zero elev. - Agrimmar w/ door ab.
11	master bed	Anderson	100 series	awning/ fixed	20"	50"	74"			
12	master bath	Anderson	100 series	awning/ fixed	38"	70"	74"			
13	bedroom #2	Anderson	100 series	casement - fixed	74"	40"	74"		Y	mulled assembly, 2'-0" transom. See elev.
14	bath #2	Anderson	100 series	awning	40"	30"	74"			
15	bedroom #2	Anderson	100 series	casement - fixed	74"	40"	74"		Y	
16	bath #1	Anderson	100 series	awning	40"	30"	74"			
17	bedroom #1	Anderson	100 series	casement - fixed	74"	50"	70"		Y	
19	family room	TBD	TBD	fixed	30"	91"	91"			match unit 18 head ht.
20	office	Anderson	100 series	fixed	40"	20"	610"			
21	office	Anderson	100 series	awning	40"	20"	610"			
22	mezzanine	Anderson	100 series	awning	40"	20"	610"			
23	storage loft	Anderson	100 series	fixed	40"	20"	610"			
24	family room	Anderson	100 series	awning	40"	20"	610"			
26	ADU great room	Weathershield	contemporary	casement - fixed	90"	36"	70"			mulled assembly, see elev., maple interior
30	kitchen	Velux	skylight	fixed	60"	30"	NA			curb mounted
31	pantry	Velux	skylight	fixed	24"	30"	NA			curb mounted
32	living room	Velux	skylight	fixed	30"	120"	NA			curb mounted
33	hall	Velux	skylight	fixed	26"	30"	NA			curb mounted
34	master bath	Velux	skylight	fixed	50"	16"	NA			curb mounted
35	guest hall	Velux	skylight	fixed	26"	30"	NA			curb mounted

General Notes
 1. Contractor to field verify all rough opening dimensions prior to ordering
 2. All glazing to be double pane, clear, lowE2, UON, Max U-value .32
 3. See exterior elevation for operation and divided lite configuration.

Anderson Window Notes	Weathershield Window Notes	Skylight Notes
Interior: black	Interior: maple	Max U-factor: .55
Exterior: black	Exterior: black	
Hardware: black	Hardware: satin nickel	



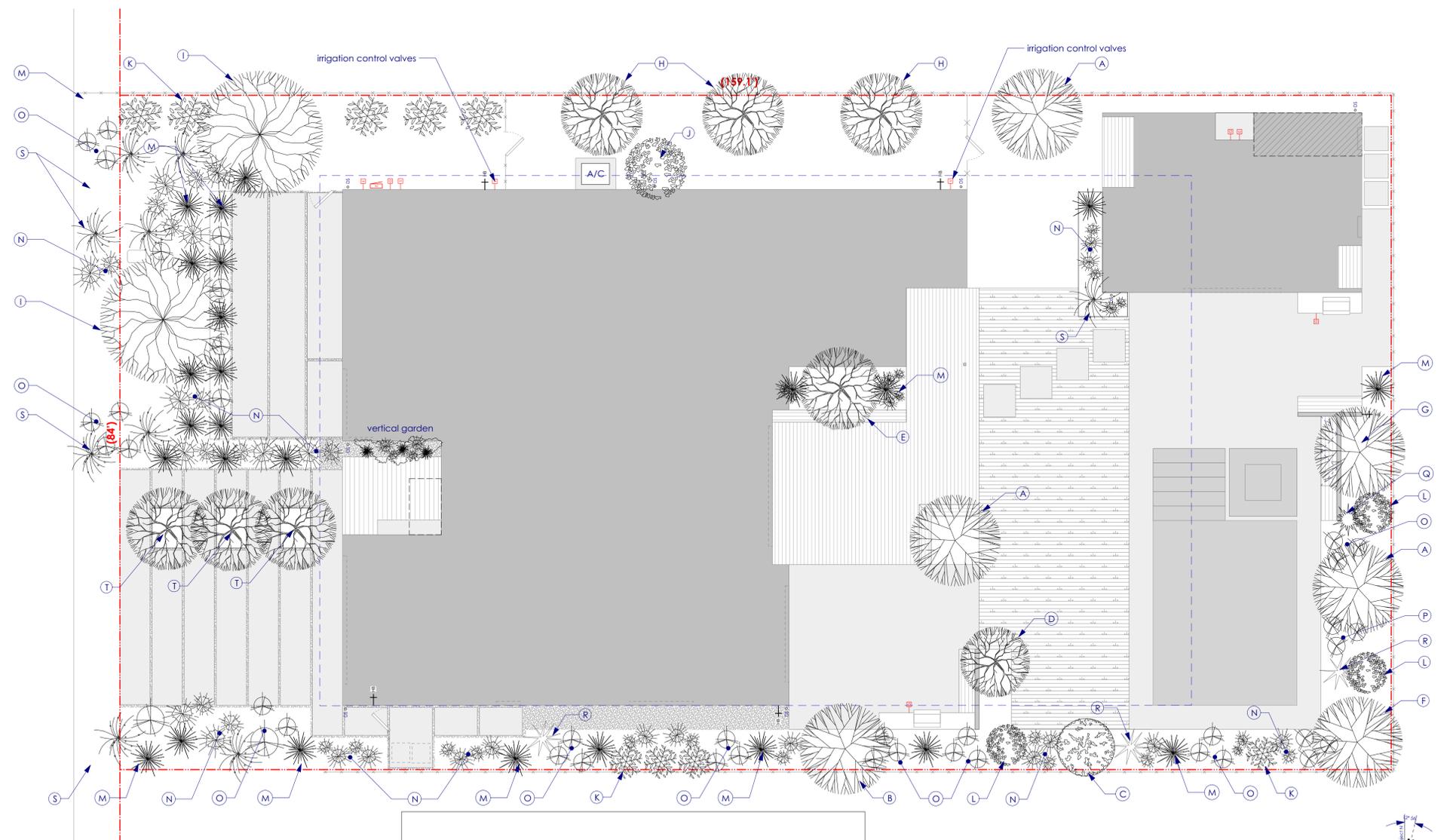


Planting and Irrigation Notes

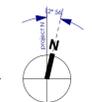
1. Plant selection is based on regionally appropriate varieties and climate adaptive species, balancing drought resistance with aesthetics. Some fruit bearing trees have been included to promote a healthy productive landscape.
2. Landscape irrigation to be a multi-zoned drip system with rain sensors and 'smart' timers. The rear and front of the property will be zoned separately to control water use throughout the day.
3. The system will be monitored and controlled wirelessly, with manual control valves installed per the Site Plan A1.1. It will include 1/2" distribution lines with 1/4" or 1/2" emitter lines. No sprayers will be used.
4. Weather monitoring will be incorporated into the system to avoid unnecessary water use.

Sheet Notes

1. The final landscaping plan will be consistent with the California Model Water Efficient Landscape Ordinance (MWEL0)



1 proposed landscape and irrigation plan
Scale: 1/8" = 1'-0"



project	Copyright 2019 by Antje Paiz
revisions	R1 12/17/19 R2 01/10/20
drawn by	CF, AP
set type	planning
sheet contents	landscape plan plant palette
sheet No.	L1.0
project title	lakhwara
date	02/18/20

since the March 17th shelter in place closure. **Bob Lennen**, Senior Building Inspector, is now serving as Acting Building Official and he brings a can-do approach to problem solving. Due to the current shelter-in-place orders, temporary staff were released.

- E. **Use of Zoom for remote on-line PC Meetings until further notice**: This and future PC meetings will be conducted via Zoom until further notice. This Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor. The following Commissioners of the Campbell Planning Commission are listed to permit them to appear electronically or telephonically at the Regular Planning Commission meeting on June 9, 2020: Chair Michael Krey, Vice-Chair Maggie Ostrowski, Commissioners Adam Buchbinder, Andrew Rivlin; Nick Colvill; Stuart Ching; and Terry Hines.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to participate at https://us02web.zoom.us/webinar/register/WN_qjRPzb-2SziLwRua-K81bA. After registering, you will receive a confirmation email containing information about joining the webinar itself on June 9th at 7:30 p.m. Additionally, the complete agenda packet will be posted by Friday, June 5th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by May 29th on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'