

**PLANNING COMMISSION**  
**City of Campbell, California**

**Register in advance for this Zoom webinar:**

September 22, 2020  
Tuesday

<https://us02web.zoom.us/j/86224486270?pwd=WSswUFF3ZG43UIZndHBER0JpM3E0Zz09>

You will receive a confirmation email containing information about joining the webinar. During the registration process, you will be asked if you would like to speak on any of the agenda items. Please provide detail on the items you would like to discuss.

## **AGENDA**

### **CONVENE MEETING**

This Regular Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

The following members of the Planning Commission are listed to permit them to appear electronically or telephonically at the regular Planning Commission meeting on September 22, 2020: Chair Michael Krey, Vice-Chair Maggie Ostrowski, Commissioners Adam Buchbinder, Andrew Rivlin; Nick Colvill; and Stuart Ching.

Members of the public will not be able to attend meetings at the Campbell City Council Chamber physically. The Planning Commission meeting will be live-streamed on Channel 26, the City's website, and YouTube (<https://www.youtube.com/user/CityofCampbell>).

Those members of the public wishing to participate are asked to register on Zoom in advance at: <https://us02web.zoom.us/j/86224486270?pwd=WSswUFF3ZG43UIZndHBER0JpM3E0Zz09>. After registering, you will receive a confirmation email containing information about joining the meeting.

Public comment for the Planning Commission meetings will be accepted via email at [planning@campbellca.gov](mailto:planning@campbellca.gov) prior to the start of the meeting. Written comments will be posted on the website and distributed to the PC. If you choose to email your comments, please indicate in the subject line "FOR PUBLIC COMMENT" and indicate the item number.

### **ROLL CALL**

**APPROVAL OF THE MINUTES**     September 8, 2020

### **COMMUNICATIONS**

### **AGENDA MODIFICATIONS OR POSTPONEMENTS**

### **ORAL REQUESTS**

This is the point on the agenda where members of the public may address the Commission on items of concern to the Community that are not listed on the agenda this evening. People may speak up to 5 minutes on any matter concerning the Commission.

**PUBLIC HEARINGS**

1. **PLN2019-192** Public Hearing to consider the Appeal by Nitin Srivastava of the Community Development Director's denial of a Tree Removal Permit (PLN2019-192) to remove one (1) oak tree located in the rear yard of property located at **1698 Hyde Drive**. Staff is recommending that this item be deemed Statutorily Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Naz Pouya Healy, Assistant Planner*.
  
2. **PLN-2020-48** Public Hearing to consider the application of Grand Petroleum Inc., for a Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and accessibility improvements, for property located at **1533 W. Campbell Avenue**. Staff is recommending that this item be deemed Statutorily Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Daniel Fama, Senior Planner*
  
3. **PLN2019-206** Public Hearing to consider the application of Michael Schwager for a Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building; a Parking Modification Permit to allow a reduction in the number of required parking stalls; and a Variance (PLN2019-207) to allow retention of existing overhead utility lines, for property located at **1055 Florence Way**. Staff is recommending that this item be deemed Categorically Exempt under CEQA. Tentative City Council Meeting Date: October 20, 2020. Project Planner: *Daniel Fama, Senior Planner*

**REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR****ADJOURNMENT**

Adjourn to the next regularly scheduled Planning Commission meeting of **October 13, 2020**, at 7:30 p.m., and likely to be conducted using Zoom.

**Americans with Disabilities Act (ADA)**

In compliance with the Americans with Disabilities Act, listening assistance devices are available for meetings held in the Council Chambers. If you require accommodation to participate in the meeting, please contact Corinne Shinn at the Community Development Department, at [corinnes@cityofcampbell.com](mailto:corinnes@cityofcampbell.com) or (408) 866-2140.

CITY OF CAMPBELL PLANNING COMMISSION  
MINUTES

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7:30 P.M.

TUESDAY

SEPTEMBER 8, 2020  
REMOTE ON-LINE ZOOM MEETING

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The Planning Commission meeting of September 8, 2020, was called to order at 7:30 p.m. by Chair Krey and the following proceedings were had, to wit:

**ROLL CALL**

Commissioners Present: Chair:	Michael Krey
Vice Chair:	Maggie Ostrowski
Commissioner:	Stuart Ching
Commissioner:	Nick Colvill
Commissioner:	Andrew Rivlin

Commissioners Absent: None

Staff Present:	Community
Development Director:	Paul Kermoyan
Senior Planner:	Daniel Fama
City Attorney:	William Seligmann
Recording Secretary:	Corinne Shinn

**APPROVAL OF MINUTES**

**Motion: Upon motion by Commissioner Ching, seconded by Commissioner Colvill, the Planning Commission minutes of the meeting of August 25, 2020, were approved as submitted. (5-0)**

**COMMUNICATIONS**

None

## **AGENDA MODIFICATIONS OR POSTPONEMENTS**

None

## **ORAL REQUESTS**

None

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Chair Krey asked if there were any disclosures from members of the Commission.

Commissioner Ching disclosed that he had been approached by a resident at 825 S. San Tomas Aquino Road and discussed the trees.

Chair Krey disclosed that the public comment email received was from a good friend of his who likely is even unaware that he serves on this Planning Commission.

Chair Krey read Agenda Item No. 1 into the record as follows:

## **PUBLIC HEARINGS**

1. **PLN-2020-35 (Appeal of TRP PLN-2020-14)** Public Hearing to consider the Appeal (PLN-2020-35) by Kathy Robinson of the Community Development Director's denial of a Tree Removal Permit (PLN-2020-14) to remove four (4) redwood trees on property located at **825 S. San Tomas Aquino Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Naz Pouya Healy, Assistant Planner*

Mr. Daniel Fama, Senior Planner, provided the staff report.

Chair Krey asked if there were questions for staff.

Commissioner Colvill:

- Admitted that his biggest concern with this is the notable decline to these trees this year since the original submittal and decision.
- Reported that he has Redwood trees and it is not hard to "not let them die".
- Said he questions how such a rapid decline could occur.
- Stated that he appreciates the provision for a penalty clause in terms of replanting requirements in the event of neglect.
- Asked staff if there is any insight as to irrigation in that area.

Planner Daniel Fama:

- Replied that Code requires irrigation but as this is an older development, the irrigation may have stopped functioning.
- Added that one water line is to serve the fire sprinklers.

Commissioner Ching asked staff what size of water line is required for the fire sprinklers.

Planner Daniel Fama replied he was not sure.

Commissioner Ching pointed out that he saw no irrigation around these trees but did around plants.

Commissioner Ostrowski asked how deep into the ground the trenching is for the water and sewer lines.

Planner Daniel Fama said he would defer to the applicant on that.

Chair Krey:

- Pointed out that the utility line has to be repaired anyway.
- Added that moving lines is considered to be “minor”.

Planner Daniel Fama:

- Clarified that Code standard calls for “reasonable” not “minor”. Reasonable as to context.
- Advised that the damage has already been incurred.
- Stated that it is not unreasonable to go around these trees with the lines.

Chair Krey opened the Public Hearing for Agenda Item No. 1.

Tony Rodriguez, Facilities Manager, Representing the Appellant:

- Responded to a Commission question by advising that the fire system water line is two-inches in size and placed about four-feet deep.
- Stated that they don't find it to be a “reasonable” modification to have to dig a new trench around these trees.
- Reminded that there is a PG&E line also in this area.
- Pointed out that they are an affordable-housing property developer and manager.
- Added that requiring the extended trenching around the trees is an undue hardship on this affordable-housing project.
- Added that there is more to the story than provided by planners.
- Assured they have not tried to kill these 50-year-old trees. Not at all.
- Advised this is his first participation in a Planning Commission meeting.

Commissioner Ostrowski:

- Said bids are included in the report indicating that the cost of replacing these lines is high because the trenching has to be hand dug.
- Stated that even if they are not moving these lines, they will still have to hand dig.

Tony Rodriguez:

- Said that there would be some mechanical help in digging new lines with the removal of Tree A. They can repair the fire line at a cost of under \$1,000 without Tree A being there.

- Added that the cost to re-route is a big number and not a reasonable expense at \$150,000.

Commissioner Ostrowski asked what the difference is.

Tony Rodriguez

- Said that the line there is just a small leak and is not currently impacting the functioning of the fire sprinkler line.
- Added that removal of Tree A would allow for the cut and repair of that line within a small area.

Commissioner Ostrowski clarified that they would have to remove Tree A in order to fix the fire sprinkler line at a very low cost.

Commissioner Ching:

- Asked Tony Rodriguez what was the rationale for this appeal of the original Administrative Decision denying the removals.
- Pointed out, in response to the \$150,000 bid for the fire line, that estimates are indicated at 75 percent more than anticipated actual cost.
- Admitted he is surprised at the labor rates at \$200 per hour.
- Said that the City rightly raised the issue that \$150,000 is high for just 50 feet. Those labor rates are also very high.
- Asked how many quotes were obtained.

Tony Rodriguez:

- Stated there was just one quote.
- Advised that given the Covid situation, there were struggles in securing more quotes.
- Added that this project itself was put on the back burner during Covid so no additional quotes were sought.

Commissioner Ching clarified that the relocation of the sewer is quoted for \$85,000.

Tony Rodriguez clarified that the cost is \$50,000 without the trees and \$80,000 for the relocation.

Commissioner Ching pointed out that no matter what, the sewer line needs replacing.

Tony Rodriguez replied yes.

Commissioner Ching said he would have thought they would trench once and lay both the fire and sewer lines at one time.

Tony Rodriguez admitted he had not yet investigated that option.

Commissioner Ching said despite their claim of economic hardship, he is very doubtful that the costs presented are actual.

Commissioner Ostrowski asked what it should cost to replace 200 feet.

Commissioner Ching:

- Said about \$15,000.
- Added that it is clear that two of the four trees have died since the original request for removal of trees.
- Asked what work has been done in the area surrounding these trees already.
- Questioned if there had been any disturbance to the tree roots.

Tony Rodriguez:

- Assured that there has been no work done but they did trench enough to identify where the water leakage was coming from under Tree A.

Commissioner Ching reiterated that he questions why those two trees (B and C) declined so quickly.

Tony Rodriguez stated that they were already in decline when they first applied for removal.

Chair Krey:

- Asked Tony Rodriguez if he had personally seen those trees in February/March.
- Questioned whether they looked to him (Tony Rodriguez) to be in decline as seen himself at that time.

Tony Rodriguez replied yes. He did see these trees in January/February, and they looked to be in decline.

Commissioner Rivlin asked Tony Rodriguez what he is prepared to do as to tree replacement.

Tony Rodriguez:

- Responded that they are willing to follow the City's tree guidelines.
- Said that the standard replacement required ratio is two trees for every tree removed. They seek to remove two trees and replace with four rather than the 4 to 1 ratio requiring eight replacements.

Commissioner Colvill:

- Confirmed that Tony Rodriguez is willing to replace at a 2 to 1 ratio.
- Asked isn't this a situation where the replacement ratio is 4 to 1 is warranted?

Commissioner Rivlin replied that the higher ratio for replacement trees is proposed by staff due to the questionably rapid decline of two of four trees.

Commissioner Colvill pointed out to Tony Rodriguez that the replacement ratio required here will be 4 to 1 for the trees in questionable rapid decline. What if that higher ratio is required?

Tony Rodriguez said that they just want to be treated fairly and they will comply with imposed requirements.

Chair Krey asked if there was anyone else wishing to speak.

There were none.

Chair Krey closed the Public Hearing for Agenda Item No. 1.

Commissioner Colvill:

- Referenced the photograph included on page 54 of the agenda packet that shows pictures of all four subject trees.
- Said that this area is actually an ideal area to re-dig and re-route lines.
- Stated that it seems not to be unreasonable to re-route.
- Added that in their current condition, he can support removal of the two that are now dead/dying.
- Admitted that Tree A is an issue as it is going to cost them the most money in which to work around.

Commissioner Ching:

- Reminded that is just the fire line that would be just a \$1,000 repair if Tree A is not there.
- Added that they are going to trench anyway for the sewer line.
- Pointed out that the pricing information provided is not representative of the true cost here.
- Said that like Commissioner Colvill, he too has trenched for sewer and questions how much more it might cost to trench around Trees B and C.
- Advised that the apartments across get morning sun. With these trees removed the sun will beam straight into those apartments in the early morning.
- Opined that he thinks some tampering of roots led to the two trees' suffering. That work could have been done with good intent, but he thinks that roots have been cut.
- Concluded that he couldn't see the justification for upholding this appeal.
- Added that this applicant is advised to get additional quotes and consider the project using one trench and not two to reduce costs.

Commissioner Rivlin:

- Pointed out that Tree A (elsewhere identified as Tree 1) is healthier.
- Added that Tree A is the one the appellant finds most important to remove.
- Countered that he thinks Tree A is one to keep.
- Stated that trenching can be done anywhere.
- Agreed that the two trees now deemed to be dead/dying now warrant removal.
- Stated his support for the 2 to 1 ratio replacement standard set for Heritage Trees.
- Added that whether intentional or not, and he doesn't believe it was done intentionally, he also doesn't think that the replacement ratio imposed should be increased to 4 to 1 for the removal of the two now-dead trees (Trees B and C).
- Concluded that he supports the remove of the two (Trees B and C) now deemed to be dead/dying.

Commissioner Ostrowski said that the replacement ratio is increased upward to 4 to 1 if said tree(s) was/were not properly cared for.

Director Paul Kermoyan:

- Suggested that once the owners noticed the trees in decline they should have taken extra efforts to retain them.
- Reported that he once visited this site a number of years ago with Kathy Robinson.
- Admitted that it was clear to him at that time that they already wanted those trees removed.
- Stated that neglect has occurred here.

Commissioner Ostrowski pointed out that the trees located closer to the area with sprinklers are much healthier.

Commissioner Colvill:

- Said that he too supports the 4 to 1 replacement ratio for the two now dead/dying trees to be removed.
- Stated that it is unfortunate across the board.

Chair Krey:

- Agreed that Trees B and C are now in very bad shape and that is very unfortunate.
- Pointed out that this is a very well-kept affordable-housing community that is a good asset for Campbell.
- Said that the role of government is to be as fair as possible.
- Added that the 4 to 1 ratio for tree loss, when occurring due to a lack of care, is in place.
- Admitted that in this case, he agrees with Commissioner Rivlin that imposing the 2 to 1 ratio is sufficient given the costs already in moving the lines.
- Stated he also supports denial of the appeal and upholding the action of the Director.
- Said that with the facts given, there is nothing to uphold an appeal there.
- Said he does feel bad for the appellant.

Commissioner Colvill:

- Said that the reduced number of replacement trees is a concession.
- Asked whether they will be allowed to remove all trees or not.
- Reminded that they most want to get rid of Tree A, not one of the two dead/dying trees, because it is the most cost-effective route.
- Pointed out that the replacement standard is within Code. That's the hard part.

Commissioner Ostrowski:

- Reminded that they will need to trench any way in order to move the sewer pipes.
- Suggested they move the water lines at the same time in the same trench with an offset to the new trench to protect the two remaining living trees in question.
- Stated her support for the denial of this appeal and upholding the Director's action.
- Concluded that she also supports upholding the required 4 to 1 replacement tree ratio.

Commissioner Ching agreed saying that it would set precedent to reduce that replacement ratio under these circumstances from 4 to 1 down to 2 to 1 replacement trees.

Chair Krey suggested a motion.

**Motion:** Upon motion of Commissioner Ching, seconded by Commissioner Ostrowski, the Planning Commission adopted Resolution No. 4573 taking the following actions:

1. Denying the Appeal (PLN2019-192) and upholding the Director's denial of a Tree Removal Permit for Trees 'A' and 'D', and
2. Approving a Dead/Dying Tree Determination to allow removal of Trees 'B' and 'C', with the required replacement of four trees for each tree removed (consisting of four 24-inch box trees and four 36-inch box trees);

on property located at 825 S San Tomas Aquino Road, by the following roll call vote:

**AYES:** Ching, Colvill, Krey, Ostrowski and Rivlin  
**NOES:** None  
**ABSENT:** None  
**ABSTAIN:** None

Chair Krey advised that the Planning Commission action is final unless appealed in writing to the City Clerk within ten calendar days.

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### **REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR**

Director Paul Kermoyan provided the following update:

- Pointed out that there were a couple of Council update items on his report including the Downtown Street Closure and the General Plan Update.
- Asked if there were any questions on either item.

Chair Krey said that now the General Plan is back with Council, do we know when they will consider it.

Director Paul Kermoyan:

- Said that Council wanted the opportunity to discuss the draft with the members of the GPAC to ensure that the draft General Plan is one they are each satisfied with. Whether additional further GPAC meetings are needed. Does the document submitted reflect them?
- Reported that each GPAC member individually said they the draft General Plan was the cumulation of their work as a group.
- Advised that the next steps will be for Council and staff to meet to discuss what Council wants now. They will consider whether to seek input from all other appointed bodies (Historic Preservation Board, Civic Improvement Commission, Parks & Recreation) or

have it next come right to the Planning Commission for its review and recommendation to Council.

- Said that Council will set the process.
- Added that the Planning Commission will see the draft no matter what prior to it going onward to Council for final action. The Planning Commission provides its recommendation to Council. The question is whether any other body's comment is fundamental to secure. It is a consideration of what additional process Council wants to go with.

Commissioner Rivlin:

- Asked if Council taking this General Plan on would be soon; such as in the next month or two; by year end or into next year.
- Said he asks to determine if it will be the "current" Council making the decision on this updated General Plan or the Council composition in office following the November election.

Director Paul Kermoyan said that the City Manager will bring it to Council at their meeting on October 22<sup>nd</sup>.

Commissioner Ching:

- Said that there are two vacant Planning Commission seats for Council to appoint. They were held by Terry Hines and Adam Buchbinder. While Commissioner Hines termed out and chose not to apply for reappointment, Commissioner Buchbinder is interested in continuing and waiting for the interview process to occur later this month.
- Stated that a neighbor is interested in applying and asked staff if it was too late.

Director Paul Kermoyan said he thinks it's too late but to check with the City Clerk's Office.

City Attorney William Seligmann said yes, the filing date has already passed unless Council wants to extend it.

Commissioner Rivlin asked about the barriers that will be provided for creation of parklets. He asked who gets to have a parklet.

Director Paul Kermoyan:

- Directed the Commission to the City's website where they can find the complete staff report that was part of the September 1<sup>st</sup> Council meeting at which these items were discussed.
- Said that Council wanted to strike a compromise between the needs of restaurants, who wanted the street to remain closed for dining, and those of retailers, who wanted the street back open with available street access and parking for their customers.
- Concluded that the City Council came up with a reasonable amount of outdoor seating located within parklets while also respecting the retailers' needs as well for street and parking access for their customers.
- Recounted that today Downtown looked much more alive.

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**ADJOURNMENT**

The Planning Commission meeting adjourned 8:20 p.m. to the next Regular Planning Commission Meeting of **September 22, 2020**, which will be conducted on Zoom.

SUBMITTED BY: \_\_\_\_\_  
Corinne Shinn, Recording Secretary

APPROVED BY: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

## RESOLUTION NO. 4573

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL DENYING THE APPEAL AND UPHOLDING THE DIRECTOR'S DENIAL OF A TREE REMOVAL PERMIT FOR TREES 'A' AND 'D' AND (2) APPROVING A DEAD/DYING TREE DETERMINATION TO ALLOW REMOVAL OF TREES 'B' AND 'C' ON PROPERTY LOCATED AT **825 S. SAN TOMAS AQUINO ROAD.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN-2020-35:

1. The property is zoned R-2 (Multiple-Family Residential) and currently developed with an apartment community.
2. Four (4) redwood trees are located near Building 3 at the northwest corner of the property and require approval of a Tree Removal Permit to remove.
3. The applicant submitted a Tree Removal Permit application to remove four (4) redwood trees on January 29, 2020, which was denied on February 19, 2020.
4. The applicant submitted an Appeal application to request removal of the four (4) redwood trees on March 2, 2020 due to the health of the trees, damage to utility lines, and the cost to reroute the utility lines.
5. Pursuant to Campbell Municipal Code (CMC) Section 21.32.080, approval of a Tree Removal Permit may only be granted when at least one of the following findings can be made: 1) Diseased or Danger of Falling, 2) Structure Damage, 3) Utility Interference, 4) Overplanting, 5) Economic Enjoyment and Hardship.
6. Trees B and C, as identified in the September 8, 2020 Planning Commission staff report, meet the definition of dead/dying as defined in CMC Section 21.32.020.
7. Finding #1 (Diseased/Danger of Falling) cannot be made for Trees A and D which appear to be in reasonable health but the irrigation needs to be restored and the sparse areas can be expected to fill in.
8. Finding #3 (Utility Interference) cannot be made because whether the trees are retained or removed, the utility lines will still require replacement/repair at a considerable but unavoidable cost.
9. Finding #5 (Economic Enjoyment and Hardship) cannot be made because the finding applies to a property owner's inability to develop a property rather than costs incurred by retaining existing trees on a developed property.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The application does not demonstrate that the trees are diseased or in danger of falling.
2. The application does not demonstrate that the utility interference cannot be controlled or remedied through reasonable modification/relocation of the utilities.
3. The application does not demonstrate retention of the trees restricts the economic enjoyment of the property or creates an unusual hardship by severely limiting the use of the property.
4. The application does not demonstrate any of the other required findings.
5. Trees B and C are dead/dying.
6. The project qualifies as a Categorically Exempt project under Section 15304, Class 4 of the California Environmental Quality Act (CEQA) pertaining to minor alterations in landscaping.

THEREFORE, BE IT RESOLVED that the Planning Commission denies an appeal (PLN-2020-35) and upholding the Director's denial of a Tree Removal Permit (PLN-2020-14) for Trees 'A' and 'D' and (2) Approving a Dead/Dying Tree Determination to allow removal of Trees 'B' and 'C' for property located at **825 S. San Tomas Aquino Road**, subject to the attached Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 8th day of September, 2020, by the following roll call vote:

AYES: Commissioners: Ching, Colvill, Krey, Ostrowski and Rivlin  
NOES: Commissioners: None  
ABSENT: Commissioners: None  
ABSTAIN: Commissioners: None

APPROVED: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL**  
**Authorization to Remove a Dead/Dying Tree – 825 S. San Tomas Aquino Road**  
**(PLN-2020-35)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division:**

1. Replacement Trees: The appellant shall plant four (4) 24-inch box trees and four (4) 36-inch box trees on private property located at 825 S. San Tomas Aquino Road within 30 days of the removal of the two redwood trees identified as Trees B and C in the September 8, 2020 Planning Commission staff report and the image below. Replacement species shall be an ash, cedar, oak, or redwood tree. The location of the replacement trees shall be subject to approval by the Community Development Director. The approval of the species and location is required prior to installation. The replacement trees shall be provided with permanent irrigation to the satisfaction of the Community Development Director. Should the replacement trees decline in health, replacement shall be required subject to the above conditions.





**CITY OF CAMPBELL · PLANNING COMMISSION**  
**Staff Report · September 22, 2020**

**PLN2019-192**  
**Srivastava, N.**

Public Hearing to consider the Appeal of the Community Development Director's denial of a Tree Removal Permit (PLN2019-192) to remove one (1) oak tree located in the rear yard of property located at **1698 Hyde Dr** in the R-1-6 (Single-Family Residential) Zoning District.

### **STAFF RECOMMENDATION**

The Planning Commission take the following action:

1. **Adopt a Resolution**, denying the appeal and upholding the Community Development Director's denial of a Tree Removal Permit (PLN2019-192) to remove (1) oak tree from the subject property.

### **ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find that this project is Statutorily Exempt under Section 15270(a) of the California Environmental Quality Act (CEQA) pertaining to projects which are disapproved. CEQA does not apply to projects which a public agency rejects or disapproves.

### **BACKGROUND**

On October 4, 2019 the applicant submitted a Tree Removal Permit application (PLN2019-192) requesting the removal of one (1) Coast Live Oak tree located in the rear yard of the subject property at the side/rear property line (reference **Attachment 3** – Tree Removal Permit Application). Pursuant to Campbell Municipal Code (CMC) Section 21.32.080, approval of a Tree Removal Permit may only be granted when the approval authority can make at least one of the following findings of the Campbell Tree Protection Ordinance: 1) Diseased or Danger of Falling, 2) Structure Damage, 3) Utility Interference, 4) Overplanting, 5) Economic Enjoyment and Hardship. The application stated the reason for removal of the oak tree is proximity to the home and damage to a retaining wall and concrete walkway. Finding No. 2 (Structure Damage) states:



2. Structure Damage. The tree or trees have caused or may imminently cause significant damage to the existing main structure(s) that cannot be controlled or remedied through reasonable modification of the tree's root or branch structure.

The Tree Protection Ordinance includes the following definitions:

"Main structure" means a primary structure allowed under the zoning district in which a property is located to provide reasonable economic use of a property. For developed single-family properties, this specifically includes

dwelling units, in-ground swimming pools, detached garages, and other accessory structures over two hundred square feet.

"Significant damage" means structural damage to a building foundation, floor framing, roof framing, or exterior walls, or to the wall of a swimming pool.

Based upon a review of the submitted materials and an inspection of the tree and the existing home where no signs of damage were observed, the Community Development Director determined that the required findings had not been met. The determination included an assessment that the oak tree was able to adapt to its constrained environment for many years and replacement of the wood retaining wall would improve the tree's retention. On November 21, 2019 the Planning Division sent a notice informing the applicant that the Tree Removal Permit application has been denied for the oak tree (reference **Attachment 4** – Tree Removal Permit Denial).

On December 2, 2019 the applicant appealed the denial. Consideration of the appeal was previously scheduled for the March 10, 2020 Planning Commission meeting, which was cancelled due to lack of a quorum. The suspension of city services in response to Covid-19 shortly after has resulted in additional delay in processing the appeal application.

## DISCUSSION

The appellant is requesting approval to remove the oak tree due to a lean towards the home, damage to the paved walkway, retaining wall, and fencing, and difficulties repairing the retaining wall (reference **Attachment 5** – Appeal Application).

The oak tree appears to have developed a lean as a young tree, possibly due to its location between a building wall and fence, in order to reach more sunlight. On its own a lean does not substantiate the Diseased/Danger of Falling finding (No. 1) and the tree appears to be healthy otherwise. A sudden lean can be an indication of root damage or decay but the soil around the base does not appear to be lifting or cracking, though the examination was limited to the subject property's side of the fence. Staff's attempt to contact the rear neighbor and access their rear yard was unsuccessful. Staff also requested the appellant's assistance in obtaining access or photos without success, so the tree was not inspected from the other side of the fence.

As described, the Structure Damage finding (No. 2) applies to main structures. Staff inspected the building's exterior and did not observe any signs of damage to the foundation from tree roots and there are no large limbs located low enough on the trunk to create a conflict with the roof.

Damage to the walkway, retaining wall, and fencing does not constitute Structure Damage as these features can reasonably be replaced or repaired to preserve the existing tree. The existing



retaining wall is constructed with posts and boards made of wood, a material susceptible to deterioration/failure with constant exposure to soil. To protect both the home and tree, a new retaining wall should be constructed with a more durable, lasting material such as masonry or concrete.

Public Comments: One letter in support of the appeal was received as a Desk Item for the previously scheduled March 10, 2020 meeting (reference Attachment 6 – Public Comments).

### **ALTERNATIVES**

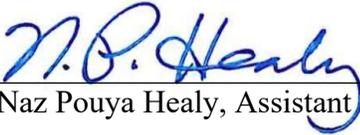
Due to the level of staff time required to bring this appeal forward, if the Planning Commission does not feel adequate information was provided by the appellant, staff recommends denying the appeal rather than continuing the item. The appellant may submit any new information as part of a new Tree Removal Permit for consideration by staff.

As an alternative to the provided recommendation (deny the appeal and uphold the Community Development Director's decision), the Planning Commission may instead take the following action:

1. Approve the appeal, allowing removal of the oak tree subject to replacement pursuant to CMC Section 21.32.100. If the Commission selects this option, staff recommends continuing the item to the next meeting so that an approval resolution can be returned.

#### Attachments:

1. Draft Resolution
2. Location Map
3. Tree Removal Permit Application
4. Tree Removal Permit Denial
5. Appeal Application
6. Public Comments

Prepared by:   
Naz Pouya Healy, Assistant Planner

Approved by:   
Paul Kermoyan, Community Development Director

**RESOLUTION NO. 45XX**

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL DENYING AN APPEAL AND UPHOLDING THE COMMUNITY DEVELOPMENT DIRECTOR'S DENIAL OF A TREE REMOVAL PERMIT (PLN2019-192) TO REMOVE ONE (1) OAK TREE LOCATED ON PROPERTY LOCATED AT **1698 HYDE DRIVE**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN2019-192:

1. The property is zoned R-1-6 (Single-Family Residential) and currently developed with a single-family residence.
2. One (1) oak tree is located in the rear yard at the side/rear property line and requires approval of a Tree Removal Permit to remove.
3. The applicant submitted a Tree Removal Permit application to remove one (1) oak tree on October 4, 2019, which was denied on November 21, 2019.
4. The applicant submitted an Appeal application to request removal of the one (1) oak tree on December 2, 2019 due to damage to the paved walkway, retaining wall, and fencing, a lean towards the home, and difficulties repairing the retaining wall.
5. Pursuant to Campbell Municipal Code Section 21.32.080, approval of a Tree Removal Permit may only be granted when at least one of the following findings can be made: 1) Diseased or Danger of Falling, 2) Structure Damage, 3) Utility Interference, 4) Overplanting, 5) Economic Enjoyment and Hardship.
6. The oak tree appears to have developed a lean as a young tree and on its own a lean does not substantiate the Danger of Falling finding.
7. A sudden lean can be an indication of root damage or decay, but the soil around the base does not appear to be lifting or cracking, though the examination was limited to the subject property's side of the fence. Staff's attempts at inspecting the tree or obtaining photos from the adjacent property were unsuccessful.
8. The Structure Damage finding applies to main structures however no signs of damage to the home's foundation from the tree roots or signs of damage to the roof from the limbs or trunk were observed.
9. Damage to the walkway, retaining wall, or fencing does not constitute Structure Damage as these features can reasonably be replaced or repaired to preserve the existing tree.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The application does not demonstrate that the tree in is danger of falling.
2. The application does not demonstrate that the tree has caused or will cause structure damage to the existing home.
3. The application does not demonstrate any of the other required findings.
4. The project qualifies as a Statutorily Exempt project under Section 15270 of the California Environmental Quality Act (CEQA) pertaining to projects which a public agency disapproves.

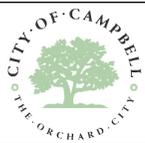
THEREFORE, BE IT RESOLVED that the Planning Commission denies an Appeal and upholds the Community Development Director's denial of a Tree Removal Permit (PLN2019-192) to remove one (1) oak tree located on property located at **1698 Hyde Drive**.

PASSED AND ADOPTED this 22nd day of September, 2020, by the following roll call vote:

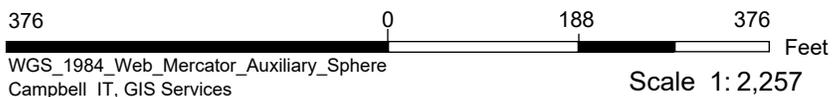
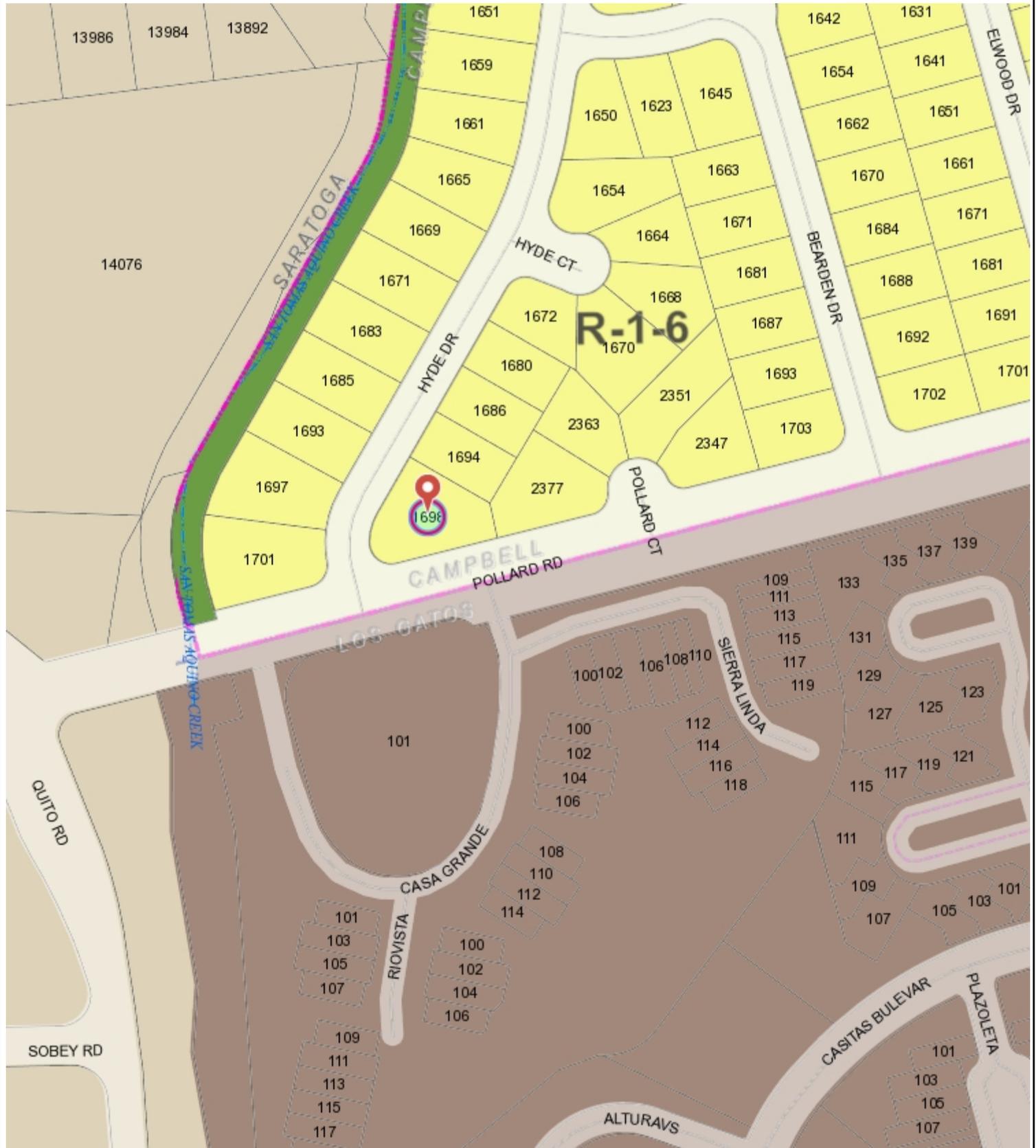
AYES: Commissioners:  
NOES: Commissioners:  
ABSENT: Commissioners:  
ABSTAIN: Commissioners:

APPROVED: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary



# 1698 Hyde Dr



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

DATE RECEIVED

(City Date Stamp)

RECEIVED

OCT 04 2019

CITY OF CAMPBELL  
PLANNING DEPT



CITY OF CAMPBELL  
Community Development Department

PROJECT INTAKE

(City Use Only)

File No(s): PLN2019-192

Checked in by: PR

## TREE REMOVAL PERMIT APPLICATION

*Filed Independent of a Development Application*

Property Address 1698 HYDE DR. CAMPBELL Community Name (if applicable) \_\_\_\_\_

Name of Property Owner NITIN SRIVASTAVA Phone 408-368-8239 Email NITUKS@HOTMALL.COM

Property Owner's Mailing Address 1698 HYDE DR. CAMPBELL

Name of Applicant NITIN SRIVASTAVA Phone 408-368-8239 Email NITUKS@HOTMALL.COM

Applicant's Mailing Address 1698 HYDE DR. CAMPBELL

Species of Tree(s) (see last page for a list of "protected trees")	Size of Tree(s) (diameter measured 4- ft. above grade)	Reason for Removal (Must meet criteria of Section 21.32.080 of the Tree Protection Ordinance – see last page)*
OAK	15 inch	STRUCTURAL DAMAGE: The tree has grown very close to home & broken the retaining wall.

\*If the tree(s) is dead or dying, please complete the 'Authorization to Remove a Dead or Dying Tree' form instead of this application.

### SUBMITTAL REQUIREMENTS:

1. \_\_\_ Color photographs of trees proposed for removal (depicting reason for requested removal);
2. \_\_\_ Site Plan (see attached details);
3. \_\_\_ Tree Replanting Plan (see attached details); and
4. \_\_\_ Application Filing Fee \$244 + \$76 each additional tree (single-family properties exempted from)

### ARBORIST REPORTS

**PLEASE DO NOT SUBMIT AN ARBORIST REPORT WITH YOUR APPLICATION**

An arborist report is **NOT** required, except when the condition or viability of the tree(s) or its impact to property is not readily evident. In such a circumstance, the City may require outside preparation of an arborist report at the applicant's expense. The planner assigned to your application will inform you if an arborist report is necessary.

Property Owner's Signature: [Signature]

Date: 10-4-19

Applicant's Signature: [Signature]

Date: 10-4-19

Homeowners Assoc. President's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

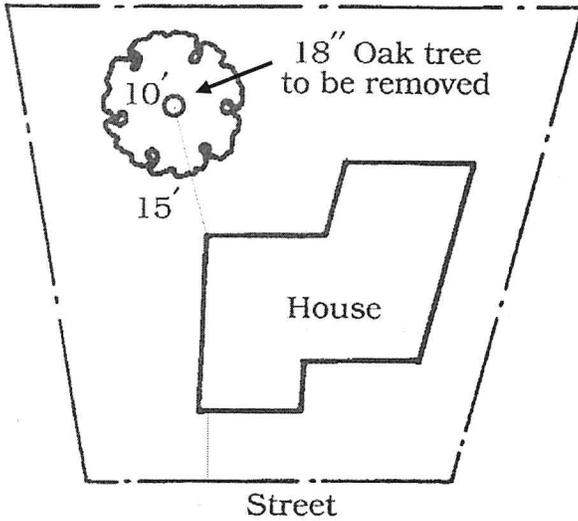
Homeowners Assoc. President's Name: \_\_\_\_\_

## SITE PLAN

Sketch a site plan (aerial view) of location of tree(s) and their drip line(s) showing:

1. Location, size and species of protected trees to be removed; and
2. Existing and/or proposed footprint of the structure(s), paving, and landscape areas.

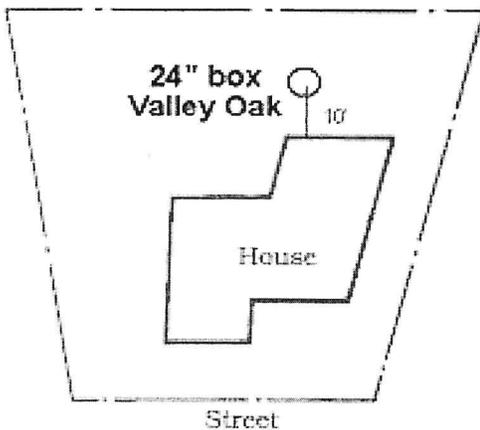
EXAMPLE:



## REPLANTING PLAN

Sketch a site plan indicating the location, size and specie(s) of replacement tree(s) as required by the 'Replacement Tree Requirements' table on the following page.

EXAMPLE:



36" box tree

## TREE REPLACEMENT REQUIREMENTS

**Number and Size:** The number and size of replacement trees is based on the number and size of trees approved for removal, as indicated in the table below. If you are replacing a tree that was required as a part of an approved Landscaping Plan, the replacement species must be consistent with the Landscaping Plan. Otherwise, the replacement tree may be of any species that continues the diversity of trees found in the community (i.e., not a fruit bearing tree or any variety of Eucalyptus).

### REPLACEMENT TREE REQUIREMENTS

<b><u>Trunk Size of Removed Tree</u></b> <b>(measured at 4 feet above grade)</b>		<b><u>Replacement Ratio Required</u></b> <b>(per tree removed)</b>	
<i>Diameter</i> <i>(inches)</i>	<i>Circumference</i> <i>(inches)</i>	<i>Number of</i> <i>replacement trees</i>	<i>Minimum Size</i>
12 to 24	38 to 75	1	24 inch box
Greater than 24	Greater than 75	1	36 inch box
Heritage Trees		1	48 inch box

**In Lieu Fee:** If the site layout cannot reasonably accommodate the number of trees required in compliance with the above table, at the discretion of the Community Development Director, payment of an in-lieu fee equal to fair market value of a standard City street tree, delivered and installed, may be accepted (currently \$500 per tree).

**Other Requirements:** The following requirements and standards apply to all Tree Removal Permit applications:

- a. **Cost of Replacement Trees:** Replacement trees shall be obtained and planted at the expense of the applicant.
- b. **Replanting Period:** Replacement trees shall be installed within thirty days from the date the tree removal permit is issued unless accepted arboricultural practices dictate a preferential planting period for the species chosen as the replacement tree.
- c. **Inspection:** City staff shall be permitted to enter the property to verify the installation of the replacement trees.
- d. **Maintenance of Replacement Trees:** Any person who is required to plant replacement trees as a condition of a tree removal permit shall maintain such trees in a healthy condition to ensure their long term survival.
- e. **Maintenance Bond.** A faithful performance bond, maintenance bond or other security deposit may be required to be paid to the City prior to the issuance of the Tree Removal Permit. The bond shall be in an amount of money and for a period of time determined by the Community Development Director to ensure acquisition and proper planting and maintenance of the replacement trees.

## PROCESSING REQUIREMENTS

**Protected Trees:** The following trees are considered "protected" and require approval of a Tree Removal Permit:

- a. **All Properties:** (1) Any tree shown on an approved landscaping plan or required to be planted or retained as a condition of approval of a development application, a building permit, or a tree removal permit; (2) Any tree designated as a "Heritage Tree" by the Historic Preservation Board.
- b. **Single-Family Residential Properties.** Any Oak, Redwood, Cedar, or Ash tree measuring 12-inches in diameter or greater (as measured 4-feet above grade).
- c. **All Other Properties.** Any tree measuring 12-inches in diameter or greater (as measured 4-feet above grade).

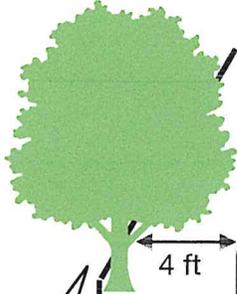
**Exceptions:** Regardless of size, fruit trees and Eucalyptus trees, are not considered "protected" and do not require a Tree Removal Permit.

**Determination on an Application Request:** The Community Development Director may only approve a Tree Removal Permit after making at least one of the following findings:

- a. **Diseased or Danger of Falling.** The tree or trees are diseased or presents a danger of falling that cannot be controlled or remedied through reasonable preservation and/or preventative procedures and practices such that the public health or safety requires its removal.
- b. **Structure Damage.** The tree or trees have caused or may imminently cause significant damage to the existing main structure(s) that cannot be controlled or remedied through reasonable modification of the tree's root or branch structure.
- c. **Utility Interference.** The tree or trees have interfered with utility services where such interference cannot be controlled or remedied through reasonable modification/relocation of the utility services and/or reasonable modification of the tree's root or branch structure.
- d. **Overplanting.** The tree(s) is crowding other protected tree(s) to the extent that removal is necessary to ensure the long-term viability of adjacent tree(s).
- e. **Economic Enjoyment and Hardship.** The retention of the tree(s) restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly zoned and situated properties, and the applicant has demonstrated to the satisfaction of the approval authority that there are no reasonable alternatives to preserve the tree(s). A minor reduction of the potential number of residential units or building size due to the tree location does not represent a severe limit of the economic enjoyment of the property.

**Public Noticing (Single-Family Residential):** Upon rendering a decision on an application, the Community Development Director will mail a notice to neighboring property owners informing them of the decision. This notice will begin a 10 day appeal period. If an appeal is not received, the tree(s) may be removed once the appeal period has passed.

**Public Noticing (All Other Properties):** After an application is submitted and reviewed, a notice will be mailed to the owners of record within a 300-foot radius of the subject property. The notice will be mailed a minimum of 10 calendar days before a decision is rendered. Once a decision is rendered, a 10 day appeal period will begin. If an appeal is not received, the tree(s) may be removed once the appeal period has passed.

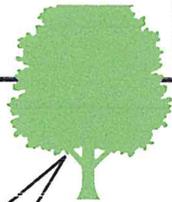


Street

4 ft

Tree to be removed.  
Circumference is 50  
Inch

Fence (Boundary)



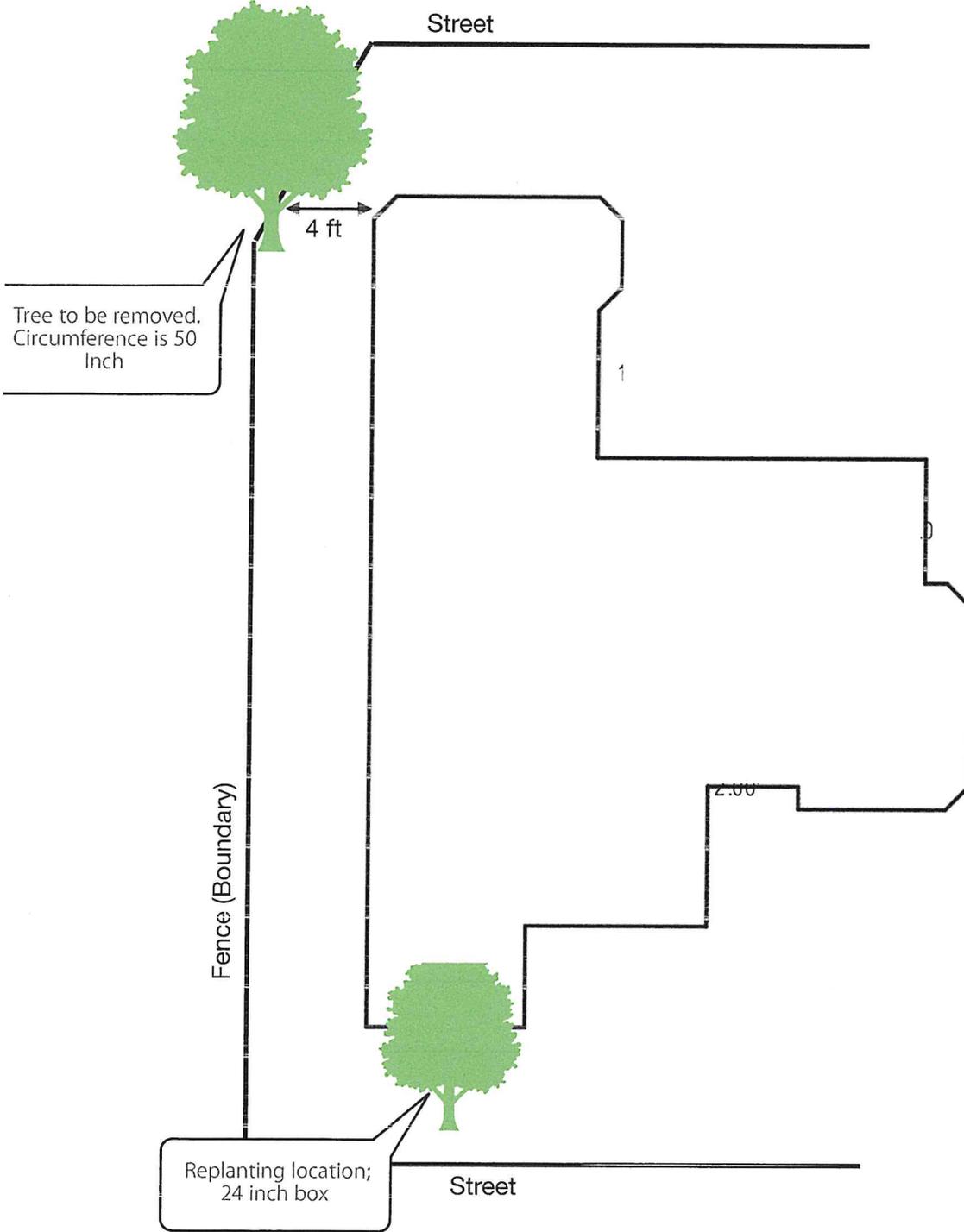
Replanting location;  
24 inch box

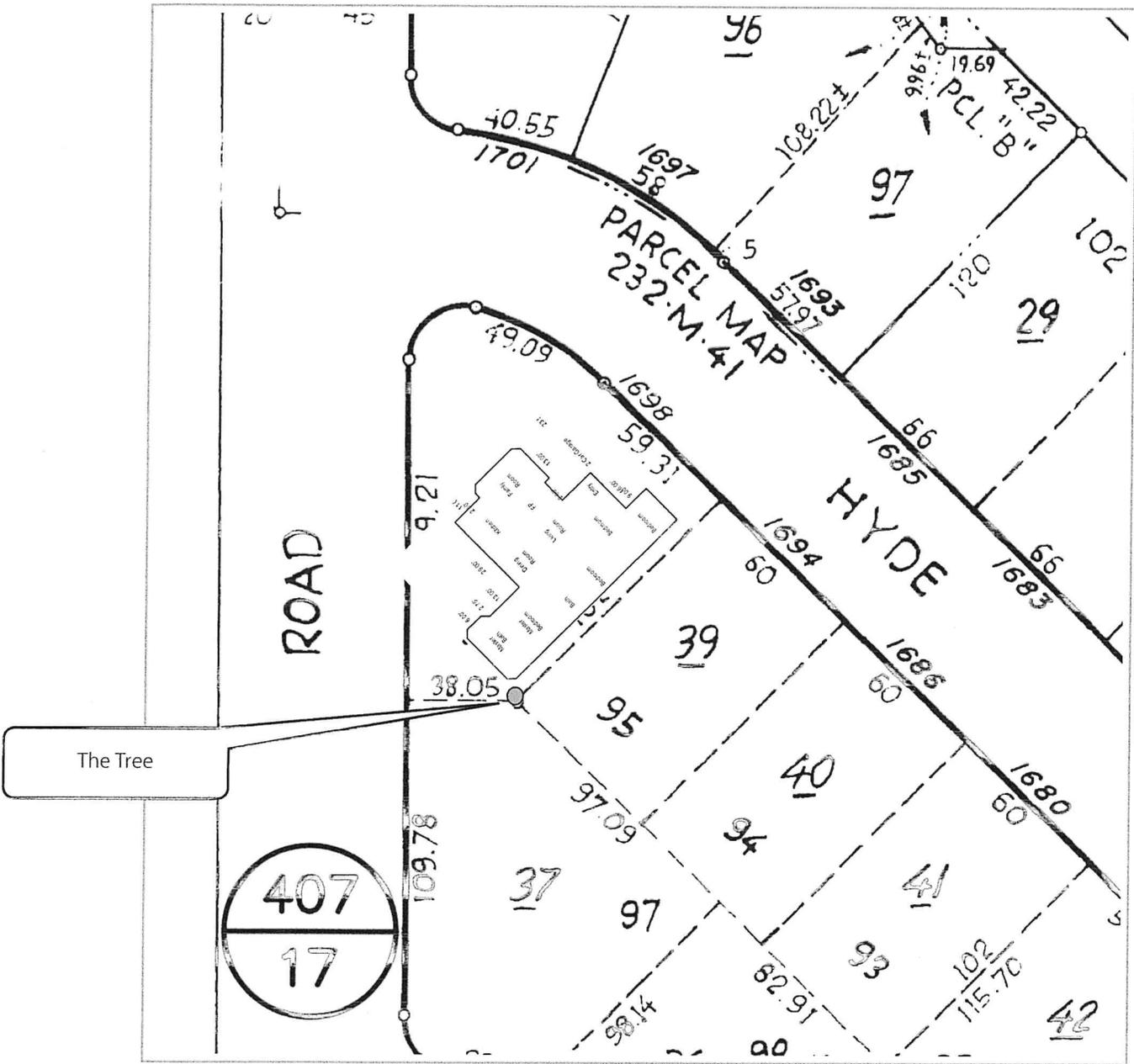
Street

1

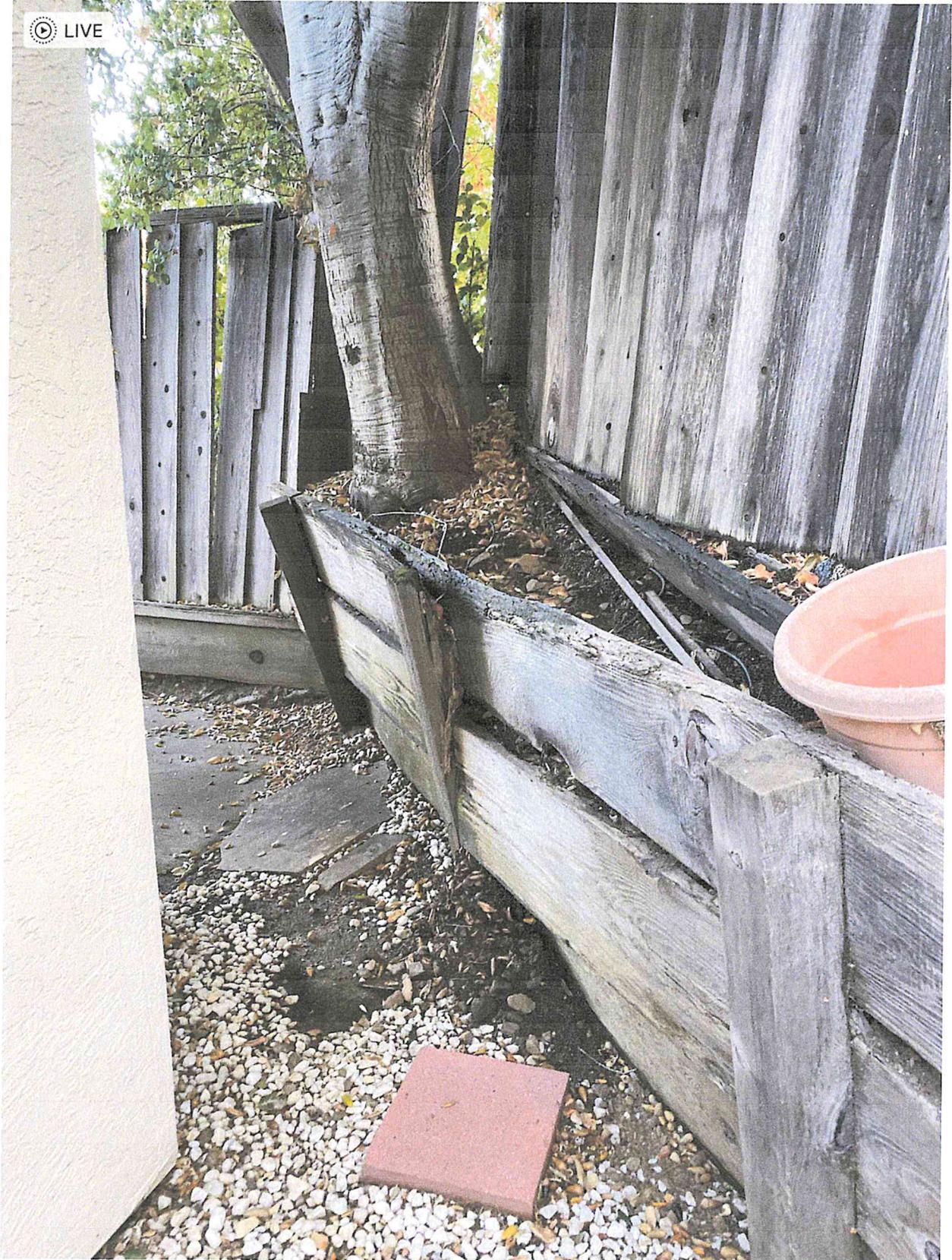
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2.00





LIVE















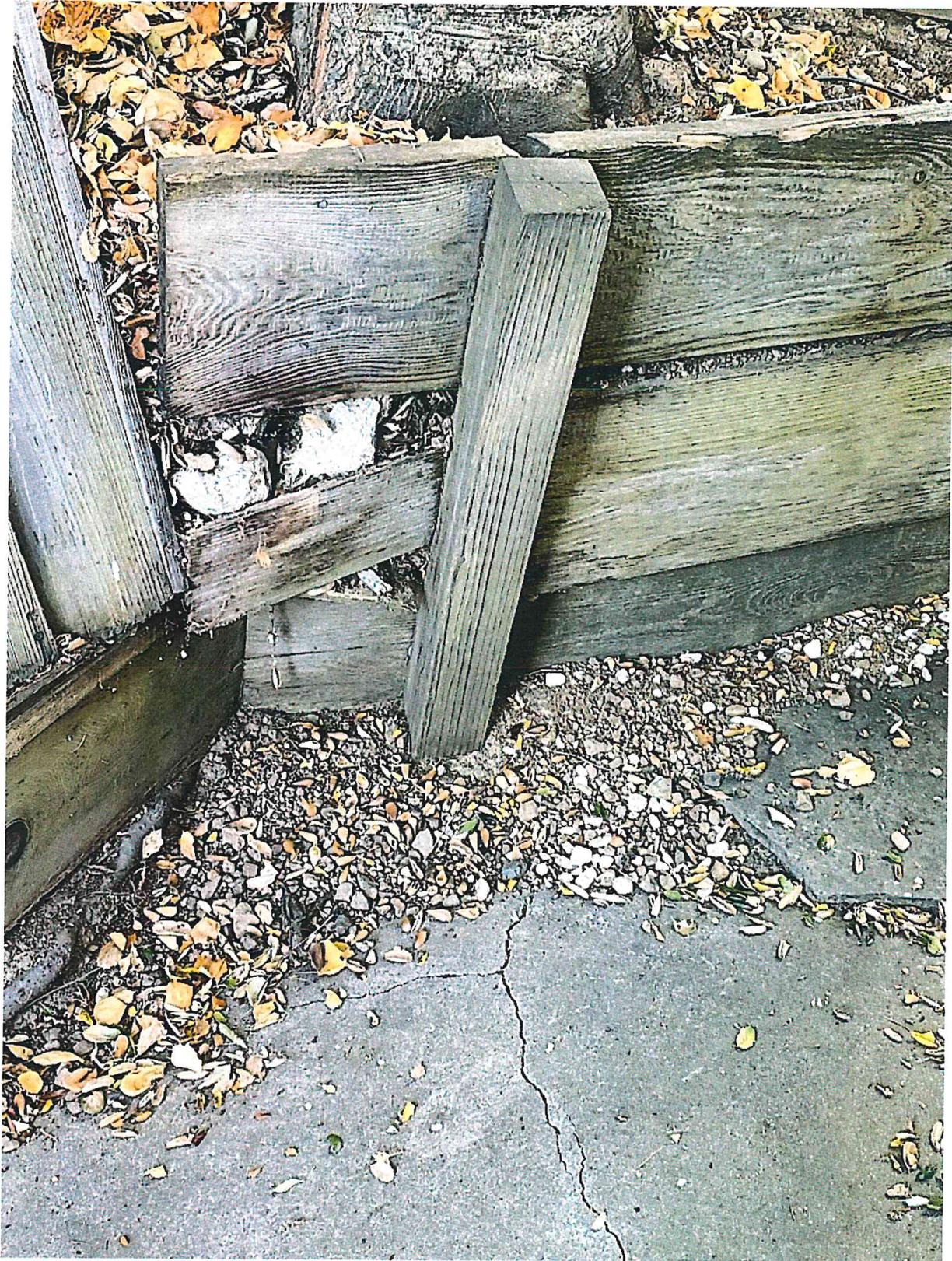














On Nov 12, 2019, at 8:36 AM, Paula Ruffinelli <paular@campbellca.gov> wrote:

## Re: Request to remove Tree

Nitin Srivastava <nituks@hotmail.com>

Tue 11/12/2019 9:20 AM

To: Paula Ruffinelli <paular@campbellca.gov>

**WARNING: This email originated from an external sender!**

---

Hi Paula -

Here is the pics that show the crack. The crack in the cement has increased significantly which is troubling and points to roots of the trees moving towards the house.

However my major concern is the retaining wall, which the tree is pushing out, and breaking. With seasonal rain and storm that may be coming, I'm worried that if I don't get the tree removed and fix the retaining wall, it will create liability and issue for me.

Based on what you saw, in person, do you have doubts on the removal?

Thx  
Nitin

Nitin,

I am reviewing the tree removal permit and had to trace back to this email regarding a crack in the cement. I did not see any crack when I did an inspection, do you have any photos of this?

Thank you

Paula

---

**From:** Nitin Srivastava <nituks@hotmail.com>  
**Sent:** Tuesday, October 1, 2019 9:42 AM  
**To:** Planning Division <planning@campbellca.gov>  
**Subject:** Request to remove Tree

**WARNING: This email originated from an external sender!**

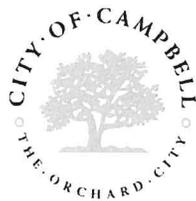
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Hello,

I'm a Campbell resident (1698 HYDE DR. CAMPBELL CA 95008). We have an Oak Tree in our property which has grown significantly in last few year. As such it has broken our retaining wall, is creating a crack on the foundation and cement floor.

I understand Oak tree is protected tree. I also counseled with few retaining wall constructors and all said that the tree must be removed to save the house. I would like to seek permission to remove the tree. Please let me know the process and next steps.

Thanks,  
Nitin Srivastava



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**CITY OF CAMPBELL**  
Community Development Department

November 20, 2019

Nitin Srivastava  
1648 Hyde Dr  
Campbell, Ca, 95008

**Re: File No:** PLN2019-192  
**Address:** 1648 Hyde Dr  
**Application:** Tree Removal Permit  
**Status:** Denied

Dear Applicant,

The Campbell Planning Division has completed review of your Tree Removal Permit application (PLN2019-192) for removal of one (1) Oak Tree measuring 15” in diameter located at the back of the abovementioned property.

Pursuant to Campbell Municipal Code Sec. 21.32.080 (Campbell Tree Protection Ordinance), the Community Development Director may only approve a Tree Removal Permit after making at least one of the following findings:

1. Diseased or Danger of Falling - The tree or trees are diseased or presents a danger of falling that cannot be controlled or remedied through reasonable preservation and/or preventative procedures and practices such that the public health or safety requires its removal.
2. Structure Damage - The tree or trees can have caused or may imminently cause significant damage to the existing main structure(s) that cannot be controlled or remedied through reasonable modification of the tree’s root or branch structure.
3. Utility Interference - The tree or trees have interfered with utility services where such interference cannot be controlled or remedied through reasonable modification/relocation of the utilities or reasonable modification of the tree’s root or branch structure.
4. Overplanting - The tree(s) is crowding other protected tree(s) to the extent that removal is necessary to ensure the long-term viability of adjacent tree(s).
5. Economic Enjoyment and Hardship - The retention of the tree(s) restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly zoned and situated properties, and the applicant has demonstrated to the satisfaction of the approval authority that there are no reasonable alternatives to preserve the tree(s). A minor reduction of the potential number of residential units or building size due to the tree location does not represent a severe limit of the economic enjoyment of the property.

The stated reason for removal states structural damage because the home has grown very close to the home and broken the retaining wall.

Based upon a review of the application documents, the Community Development Director has determined that the required findings for approval have not been met and the application is denied.

Finding #2 applies to main structure(s) which, per Section 21.32.020 of Campbell Municipal Code, includes dwelling units, in-ground swimming pools, detached garages, and other accessory structures over 200 square feet. Damage to walkways, patios, fences, retaining walls or other paved areas, which are not considered main structures, cannot substantiate a request for removal. Based on the areas staff was allowed to inspect, staff did not observe signs of damage or imminent damage to the existing structure, foundation or the rear neighbor's property.

This decision is final in 10 calendar days of the Community Development Director's decision, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 North First Street, Campbell, on or before December 2 2019. A written appeal must be accompanied by the required \$200 appeal filing fee.

If you have any questions regarding this letter, please contact me by phone at (408) 866-2732 or by email at [paular@cityofcampbell.com](mailto:paular@cityofcampbell.com).

Sincerely,

A handwritten signature in blue ink, appearing to read "Paula Ruffinelli". The signature is fluid and cursive, with a large initial "P" and "R".

Paula Ruffinelli  
Planning Technician

cc: Paul Kermoyan, Community Development Director

Date: Dec-2

RECEIVED

DEC 02 2019

CITY OF CAMPBELL  
PLANNING DEPT.

Sub: APPEAL to Reconsider  
File: PLN2019-192

I want to appeal the decision to DENY my request to remove the tree from my backyard. As I pointed out in my application and in my discussions with Paula Ruffinelli, that the tree is posing a danger to house, and us.

My words can't articulate the risks, if the tree is not removed, but I sent pictures and talked to Paula few times. Here is the Summary, again,

- ① The Crack on the concrete floor, leading up to basement
- ② The tree is sitting on retaining wall and has broken the wall. It has also broken the fences.
- ③ The tree is inclining towards the house, and makes it risky to fix the retaining wall. Again, the pics and details have been provided in previous communications.

I will request you to reconsider your decision.

Thank you

Nitin Srivastava

1698 HYDE DR, LOS GATOS CA 95032

**Naz Healy**

---

**From:** Harvey Richmond <hwrmaupin@gmail.com>  
**Sent:** Sunday, March 8, 2020 11:56 AM  
**To:** Naz Healy  
**Subject:** Fwd: Tree Removal Permit - 1698 Hyde Drive

**WARNING: This email originated from an external sender!**

I failed to mention, in my first email, that there is another large tree, near the other back corner of the lot at 1698 Hyde Drive. This a conifer, and the home builder did leave adequate space, between the retaining wall and the fence along Pollard Road, for a large tree. I believe this conifer has been there since the homes were built.

Yours,  
Harvey Richmond

Begin forwarded message:

**From:** Harvey Richmond <[hwrmaupin@gmail.com](mailto:hwrmaupin@gmail.com)>  
**Subject:** Tree Removal Permit - 1698 Hyde Drive  
**Date:** March 5, 2020 at 2:49:38 PM PST  
**To:** [nazh@campbellca.gov](mailto:nazh@campbellca.gov)

My name is Harvey Richmond, my address is 1694 Hyde Drive, next door to 1698 Hyde Drive. I would like to express my support for the removal of the oak tree at the rear of 1698 Hyde Drive.

The oak tree is planted in a location, at the top of a retaining wall next to the fence between our two properties. I do not know whether the oak tree was planted by a former owner of the property, or by a squirrel burying an acorn. It almost certainly was not left in that location by the home builder. It is a location better suited for a tree rose than a large oak.

When these houses were built, in 1967 and 1968, there were three very large, ancient oak trees further down the street, near 1603, 1627 and the line between 1606 and 1610 Hyde Drive. The builder, the Elwood Leep development company made special provision to try to save those trees, causing the sidewalks to curve around them, and into the respective lots, so as not to cut into the roots near the base of the trees. In at least one of the three cases, the curb outside the planting area, was curved outward, cutting into the parking area along that part of the street, for the same purpose.

No provision of any kind was made for a space for a large tree where the subject oak tree is located, which is why I say it is better suited to a tree rose planting.

The growth of the oak tree, in its present location, has contributed to the breakdown of the fence between the two properties, 1694 and 1698 Hyde Drive, and of the retaining wall below the tree. For the past one or two years the owner of the 1698 property and I have discussed getting the fence repaired. Finally, in December of last year he, the owner at 1698, hired a contractor to make the repairs. The contractor rebuilt the retaining wall and the fence. I do not know, but the other owner surely does, whether the retaining wall had to be moved closer to his house. The fence, however, did have to be moved. The result was that a corner of my property moved from my side to his side of the fence.

If a permit is not granted to remove the tree I have a few questions:

First, would I need a permit to remove unwanted branches of the tree on my side of the fence?

Second, would I need a permit to cut away any roots that cross under the fence, robbing moisture from plants on my side?

Third, If I were to cut away some of those roots and the tree were to die and cause damage by falling onto his house, would I be liable for the damage?

Fourth, If the tree were to die and fall, whether or not I cut any roots, would the City of Campbell be liable for damage, after having refused a permit?

Fifth, having helped to pay for the contractor's work in moving the fence have I given away lawful title to a part of my property?

Sincerely,

Harvey W. Richmond



**CITY OF CAMPBELL • PLANNING COMMISSION**  
**Staff Report • September 22, 2020**

**PLN-2020-48** Public Hearing to consider the application of Grand Petroleum Inc., for a  
**Grand Petroleum** Modification (PLN-2020-48) to a previously approved Conditional Use  
**Inc.** Permit (UP 78-2) with Site and Architectural Review to allow site and  
 building alterations to an existing gasoline service station including  
 reconfiguration of the fuel station layout, a new fuel station canopy, new  
 trash enclosure, restriping of parking stalls, installation of new landscaping,  
 and accessibility improvements, for property located at **1533 W. Campbell**  
**Avenue** in the C-1 (Neighborhood Commercial) Zoning District.

**STAFF RECOMMENDATION**

That the Planning Commission take the following action:

1. **Adopt a Resolution** (reference **Attachment 1**), approving a Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station.

**ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find that this project is Categorical Exempt under Section 15301 (Class 1) of the California Environmental Quality Act (CEQA) Guidelines, pertaining to alterations to existing private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination.

**PROJECT DATA**

**Zoning District:** C-1 (Neighborhood Commercial)

**General Plan Designation:** *Neighborhood Commercial*

**Net Lot Size:** 15,297 square-feet

**Operational Hours:** 6:00 AM to 11:00 PM, daily.

**Building Area:**

Existing Buildings: 1,521 square feet (no change)

New Canopy: 1,824 square feet

New Trash Enclosure: 360 square feet

3,705 square feet (Total Square-Footage)

**Floor Area Ratio (FAR):** .12 .40 (Max. Allowed)

**Landscaping:** 13% (2,046 SF) 12% (Min. Required)

**Building Height:** 20 ½ feet 35 feet (Max. Allowed)

**Parking:** 6 spaces 6 spaces (Min. Required)

<b>Setbacks (Canopy):</b>	<u>Proposed</u>	<u>Required</u>
North	68 feet	10 feet
South	33 feet	15 feet
West	10 ½ feet	5 feet (or ½ wall height)
East	37 feet	15 feet

## DISCUSSION

Project Site: The project site is an approximately 15,300 square-foot parcel located at the northwest corner of West Campbell Avenue and North San Tomas Aquino Road, within the C-1 (Neighborhood Commercial) Zoning District. The Planning Commission approved a Conditional Use Permit (UP 78-2) on April 4, 1978 for construction of a gasoline service station on the property. The station currently has four gasoline dispensers covered with a canopy as well as a smog station shop and a small convenience market. The site is bordered by the "Wing Center" retail shopping center to the north and west, as shown below:



Proposal: The submitted application would allow for site and building alterations to the service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and various accessibility improvements (reference **Attachment 2** – Project Plans). This work is being done in association with a State-mandated replacement of the station's underground fuel tanks. No changes to the existing smog-shop or convenience market are proposed, nor are any operational changes (e.g., late-night hours, alcohol service, etc.) to the station.

## ANALYSIS

Zoning: The project site is located within the Neighborhood Commercial (C-1) Zoning District. A gasoline service station with a convenience market is an allowable use subject to approval of a Conditional Use Permit (CUP). Hence, any change to the facility requires approval of a Modification to the existing 1978 CUP. The existing smog shop is no longer permitted in the C-1 Zoning District and is considered a legal non-conforming use. However, since the smog shop is not being expanded or otherwise modified, it may be allowed to remain as a "grandfathered" use.

General Plan: The property is designated by the General Plan as *Neighborhood Commercial*. The purpose of the C-1 Zoning District is to accommodate businesses that serve the surrounding neighborhoods—as compared to regional-serving businesses that serve the wider City—as described by the General Plan:

The Neighborhood Commercial category is designed to encourage the location of commercial uses at major intersections in residential areas. Neighborhood Commercial uses accommodate small-scale, lower intensity commercial and office uses that provide goods and services to the adjacent residential neighborhood and are accessible by automobile, bicycle, transit, and by foot. Neighborhood Commercial areas should be designed to encourage convenient pedestrian and bicycle travel to and from surrounding neighborhoods. The architecture of the buildings should be compatible to the neighborhood. Grocery stores, pharmacies, restaurants, laundries and personal services are examples of neighborhood commercial uses.

Maintenance and renovation of a neighborhood-serving gasoline service station is consistent with the General Plan in that it would provide services and goods valuable to the community. The proposal would also be consistent with General Plan Land Use policies that encourage a variety of uses, particularly those within walking distance of residences.

Policy LUT-5.3: Variety of Commercial and Office Uses: Maintain a variety of attractive and convenient commercial and office uses that provide needed goods, services and entertainment.

Policy LUT-11.2: Services Within Walking Distance: Encourage neighborhood services within walking distance of residential uses.

Design: The new canopy would be designed to match the materials of the convenience market/smog-shop building, incorporating stucco columns and tiled roof, as well as the existing red and blue color scheme. To what extent this approach is consistent with the various General Plan policies and strategies identified below, is a matter for the Planning Commission to determine. Although a more contemporary approach to the canopy design might be considered, unless the convenience market/smog-shop building were also remodeled—at an increased cost to the property owner—this would result in incongruent building designs on the property.

Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces, and natural resources.

Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.

Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.

Operational Hours: The City has never approved "late-night activities" for the service station. As such, the business is allowed to operate from 6:00 AM to 11:00 PM, daily. The

Alcohol Sales: Although the City did grant Conditional Use Permit approval for the sale of alcoholic beverages in the mid 1990's (denied by the Planning Commission but approved City Council on appeal), the previous business owner never exercised the approval by securing a liquor license. As such, the approval lapsed and is now void. Presently, the applicant has indicated no desire to sell alcoholic products recognizing the proximity of a liquor store immediately behind the station.

Parking: The City's parking requirements require a total of six parking stalls for the service station (in addition to the fueling spaces); two for the convenience market (1/250 SF) and four for the smog-shop (2 per bay). As the project would include restriping of the parking stalls, a total of six parking stalls would be provided.

Landscaping: The property's existing landscaping areas will be slightly reconfigured and rehabilitated with new drought-tolerant plantings and a new irrigation system in compliance with the State's Model Water Efficient Landscaping Ordinance (MWELO).

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) reviewed this application at its meeting of September 9, 2020. The Committee was supportive of the project's design and configuration as presented.

Attachments:

1. Draft Resolution
2. Project Plans



Prepared by:

\_\_\_\_\_  
Daniel Fama, Senior Planner

Approved by:

  
\_\_\_\_\_  
Paul Kermoyan, Community Development Director

**RESOLUTION NO. 457\_**

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A MODIFICATION (PLN-2020-48) TO A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (UP 78-2) WITH SITE AND ARCHITECTURAL REVIEW TO ALLOW SITE AND BUILDING ALTERATIONS TO AN EXISTING GASOLINE SERVICE STATION INCLUDING RECONFIGURATION OF THE FUEL STATION LAYOUT, A NEW FUEL STATION CANOPY, NEW TRASH ENCLOSURE, RESTRIPING OF PARKING STALLS, INSTALLATION OF NEW LANDSCAPING, AND ACCESSIBILITY IMPROVEMENTS, FOR PROPERTY LOCATED AT **1533 W. CAMPBELL AVENUE.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to File No. PLN-2020-48:

1. The Project Site is a 15,297 square-foot parcel improved with a gasoline service station with a convenience market and motor vehicle maintenance facility, approved by Conditional Use Permit 'UP 78-2,' granted on April 4, 1978 by adoption of Planning Commission Resolution No. 1683.
2. The Project Site is located at the northwest corner of West Campbell Avenue and North San Tomas Aquino Road.
3. The project site is zoned C-1 (Neighborhood Commercial) as shown on the Campbell Zoning Map.
4. The Project Site is designated *Neighborhood Commercial* as shown on the Campbell General Plan Map.
5. The Proposed Project is an application for a Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and accessibility improvements.
6. The existing motor vehicle maintenance facility ("smog shop") is a legal non-conforming use subject to the provisions of CMC Section 21.58.040 (Restrictions on nonconforming uses). As this use is not being expanded or otherwise modified, it may remain with the Proposed Project.
7. City Council approval of 'UP' 95-15, as extended by Planning Commission approval of a one-year extension ('R' 96-01), for the off-site sale of alcoholic beverages was

never exercised by obtainment of a liquor license from the Department of Alcoholic Beverage (ABC), and is therefore void.

8. The Proposed Project would be consistent with the following General Plan policy and strategies:

Policy LUT-5.3: Variety of Commercial and Office Uses: Maintain a variety of attractive and convenient commercial and office uses that provide needed goods, services and entertainment.

Policy LUT-11.2: Services Within Walking Distance: Encourage neighborhood services within walking distance of residential uses.

Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces, and natural resources.

Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.

Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

Conditional Use Permit Finding (CMC Sec. 21.45.040):

1. The proposed use is allowed within the applicable zoning district with Conditional Use Permit approval, and complies with all other applicable provisions of this Zoning Code and the Campbell Municipal Code;
2. The proposed use is consistent with the General Plan;
3. The proposed site is adequate in terms of size and shape to accommodate the fences and walls, landscaping, parking and loading facilities, yards, and other development features required in order to integrate the use with uses in the surrounding area;
4. The proposed site is adequately served by streets of sufficient capacity to carry the kind and quantity of traffic the use would be expected to generate;
5. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses on-site and in the vicinity of the subject property; and
6. The establishment, maintenance, or operation of the proposed use at the location proposed will not be detrimental to the comfort, health, morals, peace, safety, or general welfare of persons residing or working in the neighborhood of the proposed

use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.

Site and Architectural Review Permit Finding (CMC Sec. 21.42.060.B):

7. The project will be consistent with the general plan;
8. The project will aid in the harmonious development of the immediate area; and
9. The project is consistent with applicable adopted design guidelines, development agreement, overlay district, area plan, neighborhood plan, and specific plan(s).

Environmental Findings (CMC Sec. 21.38.050):

10. The project is Categorically Exempt under Section 15301 (Class 1) of the California Environmental Quality Act (CEQA) Guidelines, pertaining to alterations to existing private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and accessibility improvements, for property located **at 1533 W. Campbell Avenue**, subject to the attached Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 22nd day of September, 2020, by the following roll call vote:

AYES: Commissioners:  
NOES: Commissioners:  
ABSENT: Commissioners:  
ABSTAIN: Commissioners:

APPROVED: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL**  
**Conditional Use Permit Modification (PLN-2020-48) with**  
**Site and Architectural Review Permit**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and accessibility improvements, for property located at **1533 W. Campbell Avenue**. The project shall substantially conform to the Revised Project Plans, stamped as received by the Community Development Department on July 23, 2020, except as may be modified by the Conditions of Approval contained herein.
2. Permit Expiration: The Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review ("Approval") shall be valid for one (1) year from the date of final approval. Within this one-year period an application for a building permit must be submitted. Failure to meet this deadline or expiration of an issued building permit will result in the Approval being rendered void. Once established, this Approval shall be valid in perpetuity on the property subject to continued operation of the previously approved gasoline service station except upon revocation pursuant to Condition of Approval No. 10 (Revocation of Permit). If this Approval expires or is voided, operation of the gasoline service station shall revert back to Conditional Use Permit 'UP' 78-2 (PC Resolution No. 1683).
3. Previous Conditions of Approval: Upon the effective date of this Approval, the previously approved Conditions of Approval provided in Conditional Use Permit 'UP' 78-2 (PC Resolution No. 1683) shall be void and shall permanently be superseded in their entirety by the Conditions of Approval specified herein, except as noted by Condition of Approval No. 2 (Approval Expiration).
4. Planning Final Required: Planning Division clearance is required prior to Building Permit final. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.

5. Subsequent Building Improvements: Exterior improvements to convenience market/smog shop building that are determined to be consistent with the architectural design provided in the approved project plans may be administratively reviewed and approved by the Community Development Director.
6. Signage: All new signage shall require separate approval of a Sign Permit.
7. Timely Completion: Once under construction it shall be the obligation of the property owner and contractor to demonstrate continued progress on the project. In the event the building permit expires, the City may impose fines or exercise administrative remedies to compel timely completion of work.
8. Landscaping: This project is subject to the updated California Model Water Efficient Landscape Ordinance (MWELO) and may comply with the Prescriptive Compliance Option in Appendix D. This document is available at: <http://www.cityofcampbell.com/DocumentCenter/View/176> or on the Planning Division's Zoning and Land Use webpage through [www.cityofcampbell.com](http://www.cityofcampbell.com). The building permit application submittal shall demonstrate compliance with the applicable MWELO and landscaping requirements and shall include the following:
  - a. Planting and Irrigation Plans that meet all requirements of the Prescriptive Compliance Option in Appendix D.
  - b. A completed Landscape Information Form.
  - c. A note on the Cover Sheet in minimum 1/2" high lettering stating "Planning Final Required. The new landscaping indicated on the plans must be installed prior to final inspection. Changes to the landscaping plan require Planning approval."

**Note:** All existing landscaping areas, including all areas currently covered in artificial turf, shall be required to be rehabilitated with new landscaping plantings.
9. Operational Standards: Operation of the existing gasoline service station with a convenience market and motor vehicle repair and maintenance facility shall conform to the following operational standards. Significant deviations from these standards (as determined by the Community Development Director) shall require approval by the Planning Commission.
  - a. **Approved Use**: The approved use is "gasoline station" with an ancillary "convenience market" and "motor vehicle repair and maintenance, minor" (smog shop) facility, as defined by the Campbell Municipal Code and limited by the operational standards listed herein. Activity inconsistent with these land use definitions is prohibited.
  - b. **Hours of Operation**: Hours of Operation for the "gasoline station" with an ancillary "convenience market" and "motor vehicle repair and maintenance, minor" facility shall be 6:00 AM to 11:00 PM, daily. Except for emergencies, no customers or employees shall be present on the property outside of approved Hours of Operation.

- c. **Smoking:** "No Smoking" signs shall be posted on the premises in compliance with CMC Sec. 6.11.060.
- d. **Noise:** Regardless of decibel level, no noise generated by gasoline service station and its ancillary uses shall obstruct the free use of neighboring properties so as to unreasonably interfere with the comfortable enjoyment of the neighboring residents. In the event verified complaints are received by the City regarding such noise, the Community Development Director may immediately curtail the Hours of Operation, pursuant to Condition of Approval No. 10 (Revocation of Permit).
- e. **Trash Disposal and Clean-Up:** Refuse and recycling receptacles shall be kept within the trash enclosure except during collection in compliance with CMC Chapter 6.04 (Garbage and Rubbish Disposal). Emptying of trash receptacles and placement of refuse and recyclable materials into the trash enclosure receptacles shall occur only during the approved "Hours of Operation."
- f. **Alcohol Sales:** The sale of alcoholic beverages is prohibited.
- g. **Loitering:** There shall be no loitering allowed on the premises. The business owner is responsible for monitoring the premises to prevent loitering.
- h. **Property Maintenance:** The property is to be maintained free of any combustible trash, debris, and weeds until the time that actual construction commences. Any vacant existing structures shall be secured, by having windows boarded up and doors sealed shut, or be demolished or removed from the property (Section 11.201 and 11.414, 1985 Ed. Uniform Fire Code).
- i. **Landscape Maintenance:** All landscaped areas shall be continuously maintained in accordance with CMC Chapter 21.26. Landscaped areas shall be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.
- j. **Outdoor Storage:** No outdoor storage is permitted on the subject property, including the storage equipment, materials, and inoperable vehicles.
- k. **Parking and Driveways:** All parking and driveway areas shall be maintained in compliance with the standards provided in CMC Chapter 21.28 (Parking and Loading). Parking stalls shall not be used to store vehicles pending service.
- l. **Security Plan:** If deemed necessary by the Police Department, the business owner shall prepare a security plan to the satisfaction of the Police Chief, including, but not limited to, provision of private security and/or installation of a security camera system.
- m. **Limitations of Use:** The existing "motor vehicle repair and maintenance, minor" (smog shop) facility shall not be enlarged or otherwise intensified, consistent with CMC Section 21.58.040 (Restrictions on nonconforming uses).

10. Construction Activities: The applicant shall abide by the following requirements during construction:
- a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
  - b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
  - c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
  - d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
  - e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
  - f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.
11. Revocation of Permit: Operation of the existing gasoline service and its ancillary uses pursuant to this Approval is subject to Sections 21.68.020, 21.68.030 and 21.68.040 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke a Conditional Use Permit if it is determined that operation of the use has become a nuisance to the City's public health, safety or welfare or for violation of the Conditional Use Permit or any standards, codes, or ordinances of the City of Campbell.

At the discretion of the Community Development Director, if the establishment generates three (3) verifiable complaints related to violations of conditions of approval (e.g., noise, parking, etc.) within a twelve (12) month period, a public hearing before the Planning Commission may be scheduled to consider modifying conditions of approval or revoking its Conditional Use Permit. The Community Development Director may commence proceedings for the revocation or modification of the Approval upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. The Director may also at such time immediately restrict the establishment's Hours of Operation to address noise complaint in a timely manner. In exercising this authority, the decision making body may consider the following factors, among others:

- a. The number and types of Police Department calls for service at or near the establishment that are reasonably determined to be a direct result of patrons actions;
- b. The number of complaints received from residents, business owners and other citizens concerning the operation of an establishment,

- c. The number of arrests for alcohol, drug, disturbing the peace, fighting and public nuisance violations associated with an establishment;
- d. Violation of conditions of approval.

### **Building Division:**

12. Permits Required: A building permit application shall be required for the building and site improvements.
13. Trash Enclosure: Access to the trash enclosure appears to be restricted by the concrete wheel stops as-drawn and the parking signage that is not-drawn. At building permit submittal push the two accessories as far to the left as able.

### **PUBLIC WORKS DEPARTMENT**

14. General Note: The City of Campbell's adopted Streetscape Standards and have identify this portion of West Campbell Avenue as an Image Street with very specific frontage improvement requirements as shown on page 9 of the document. If the scope of this project triggers the requirement for the installation of the streetscape improvements (see page 14 of the document) then the applicant will be required to construct these improvements and have them completed prior to occupying the building. From the Planning level documents submitted, the project is proposing to decrease the number fueling positions from 8 to 6 and therefore does not appear to trigger the Image Street requirements – it will however trigger standard street improvement requirements including the repair of damage sidewalk, the installation of ADA compliant driveways, and the installation of street trees. The Streetscape Standards can be viewed here: (<http://www.campbellca.gov/DocumentCenter/View/168>).
15. Construction Drawings: The applicant shall submit the following permit applications prior to, or concurrent with the main Building permit application:
  - a. Encroachment Permit for Street Improvement Plans: The frontage improvements for the project shall be shown on a separate street improvement plan as detailed here: <https://www.campbellca.gov/187/Street-Improvements>
  - b. Building Permit for On-Site / Grading & Drainage Plans: The on-site grading, drainage, stormwater, landscaping, ADA and site improvements for the project shall be shown on a separate building permit plan as detailed here: <https://www.campbellca.gov/DocumentCenter/View/16594>
16. Preliminary Title Report: *Prior to issuance of any grading or building permits for the site*, the applicant shall provide a current (within the past 6 months) Preliminary Title Report.
17. Drainage System: Prior to occupancy clearance, the applicant shall refurbish, remodel, and reconstruct the on-site drainage system, as necessary, to demonstrate that the facilities are functioning normally in accordance with the requirements of the City.

18. Storm Water Information: On the preliminary grading/utility plans show the area to be disturbed.

19. Stormwater Pollution Prevention Measures: The Grading and Drainage Plan (sheet C1) is showing total area disturbed to be 3,952 sf. The following conditions will be updated if the total area disturbed is equal or more than 5,000 sf.

Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2003.

20. Trash Capture: Install trash capture inserts (KriStar FloGard or approved equal) in all on-site storm drain catchbasins, and a full trash capture screen (StormTek ST3G or approved equal) in the existing storm drain catchbasin along the frontage.

21. Plan Lines: Prior to issuance of any grading or building permits for the site, the applicant shall provide a plan layout showing the correct distance from the street centerline to the property line, dimensions of sidewalk and other relevant information in the public right of way.

22. Utilities: All on-site utilities shall be installed underground per Section 21.18.140 of the Campbell Municipal Code for any new or remodeled buildings or additions. Applicant shall comply with all plan submittals, permitting, and fee requirements of the serving utility companies.

Utility locations shall not cause damage to any existing street trees. Where there are utility conflicts due to established tree roots or where a new tree will be installed, alternate locations for utilities shall be explored. Include utility trench details where necessary.

23. Undergrounding Street Frontage Utilities: The project is decreasing the number of existing fueling positions from 8 to 6 and therefore does not trigger the applicability criteria in Section 21.18.140 of the Campbell Municipal Code.

24. Water Meter(s) and Sewer Cleanout(s): Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.

25. Utility Coordination Plan: Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
26. Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
27. Street Improvement Agreements / Plans / Encroachment Permit / Fees / Deposits: *Prior to issuance of any grading or building permits for the site*, the applicant shall execute a street improvement agreement, cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approve by the City Engineer:
- a. Show the future property line with the implementation of the Image Street plan along Campbell Avenue project frontage.
  - b. Show location of all existing utilities within the existing public right of way.
  - c. Relocation of all existing utilities including utility boxes, covers, poles, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.
  - d. Upgrade of the existing driveways along Campbell Avenue and San Tomas Aquino Road project frontages to City standard ADA compliant driveways.
  - e. Removal of uplifted, broken and non-standard sidewalk segments along Campbell Avenue and San Tomas Aquino Road project frontages. Removal of sidewalk shall be from score mark to score mark.
  - f. Installation of City standard curb, gutter and sidewalk.
  - g. Street Trees and Tree Well:
    - i. Removal of the existing tree stump and tree well along San Tomas Aquino Road project frontage. Tree well shall be replace with City standard sidewalk.
    - ii. Relocation of the tree well along Campbell Avenue frontage to the west. Tree well shall be 15' away from the existing shared driveway with the adjacent property to the west.
    - iii. Installation of City approved street trees, *tree wells and irrigation*.

- h. Installation of full trash capture device (StormTek ST3G or approved equal) in existing storm drain inlet along project frontages.
  - i. Construction of conforms to existing public and private improvements, as necessary.
  - j. Submit final plans in a digital format acceptable to the City.
28. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy and/or final building permit signoff for any and/or all buildings, the applicant shall have the required *street improvements* installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
29. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to: trees, lawn, plantings, irrigation, etc. Trees shall not be pruned in a manner that would not allow the tree to grow to a mature height.
30. Utility Encroachment Permit: Separate encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.

## **FIRE DEPARTMENT**

31. Fire Sprinklers Required: (As noted on Sheet A0.0) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CBLMC
32. Fire Alarm Requirements: (As noted on Sheet A0.0) Refer to CFC Sec. 907 and the currently adopted edition of NFPA 72. Submit shop drawings (3 sets) and a permit application to the SCCFD for approval before installing or altering any system. Call (408) 378-4010 for more information.
33. Access: Fire department access to the site, the building, and to all fire protection systems shall be maintained at all times, in accordance with CFC Chapter 5. (As noted on Sheet A0.0).
34. Water Supply Requirements: (As noted on Sheet A0.0) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the

design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

35. Construction Site Fire Safety: (As noted on Sheet A0.0) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33
36. Address Identification: (Modifications as noted on Sheet A0.0) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
37. Tank Removal: Further review and permits are required for the tank removal and new installation processes. (As noted on Sheet A0.0)



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

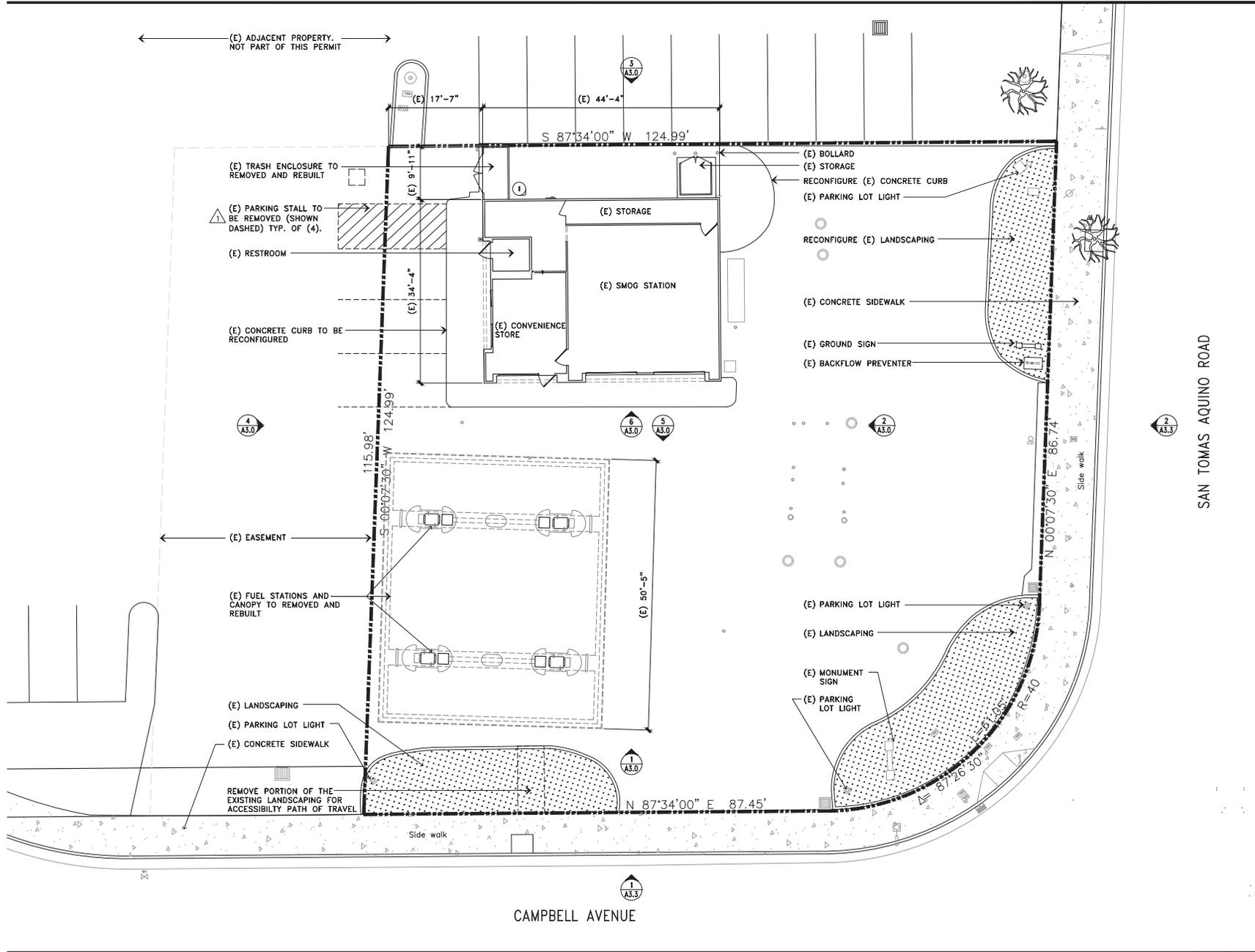
PROJECT INFORMATION



A0.0

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FIRE PROTECTION NOTE	LOCATION MAP	PROJECT TEAM																																																																																										
<p>1. INSTALL NEW SPRINKLER SYSTEM IN ALL EXISTING STRUCTURES AS WELL AS PROPOSED TRASH ENCLOSURE. SHOP DRAWINGS FOR MODIFICATION OF FIRE SPRINKLER SYSTEM TO BE SUBMITTED BY LICENSED FIRE SPRINKLER CONTRACTOR TO THE FIRE DEPT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.</p> <p>2. PROVIDE PORTABLE FIRE EXTINGUISHER, LOCATION AND SPECIFICATION IN ACCORDANCE WITH UC STANDARD 10-1</p> <p>3. ALL PORTION OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MIN SIZE OF THE EXTINGUISHER SHALL BE 2-A-10-BC</p> <p>4. ALL COMBUSTIBLE INTERIOR DECORS ARE TO BE PROTECTED BY FIRE RETARDANT APPROVED BY LOCAL JURISDICTIONS AND TO BE APPLIED AND BE CERTIFIED BY AN APPLICATOR FOR CITY'S APPROVAL. INTERIOR FINISH, DECORATIVE MATERIALS AND FURNISHINGS SHALL COMPLY WITH THE REQUIREMENTS OF 2010 CALIFORNIA FIRE CODE, CHAPTER 8.</p> <p>5. ADDRESS IDENTIFICATION: (MODIFICATIONS AS NOTED ON SHEET A0.0) NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.</p> <p>6. FIRE DEPARTMENT ACCESS TO THE SITE, THE BUILDING, AND TO ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH CFC CHAPTER 5</p> <p>7. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7</p> <p>8. ONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33</p>		<p><b>PROPERTY OWNER</b> GURBACHAN CHAHAL 1331 REDMOND AVE., SAN JOSE, CA 95120</p> <p><b>TENANT</b> GRAND PETROLEUM INC 605 CONTRA COSTA BLVD . CONCORD, CA 94523 CONTACT: AMIN SALKI (T) 510.331.8405 (E) SALKI@YAHOO.COM</p> <p><b>ARCHITECT</b> STUDIO 02 INC 1136 E HAMILTON AVE #100 . CAMPBELL . CA 95008 CONTACT: SUNNY TAM AIA LEED BD+C (T) 408.730.8877 (F) 408.716.2996 (E) SUNNY@STUDIO02.NET</p> <p><b>CIVIL</b> GREEN CIVIL ENGINEERING, INC. 1900 S NORFOLK STREET #350 . SAN MATEO . CA 94403 CONTACT: AMBROSE WONG (T) 650.931.2514 (E) AWONG@GREEN-CE.COM</p> <p><b>LANDSCAPE</b> THNORTON LANDSCAPE ARCHITECTURE, INC. 1220 DIAMOND WAY, SUITE 245 . CONCORD, CA 94520 CONTACT: TOM NORTON (T) 925.822.3085 (E) TOM@THNORTON.COM</p>																																																																																										
<p>1. PRIOR TO OCCUPANCY CLEARANCE, THE APPLICANT SHALL REFURBISH, REMODEL, AND RECONSTRUCT THE ON-SITE DRAINAGE SYSTEM, AS NECESSARY, TO DEMONSTRATE THAT THE FACILITIES ARE FUNCTIONING NORMALLY IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY</p> <p>2. PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS FOR THE SITE, THE APPLICANT SHALL PROVIDE A PLAN LAYOUT SHOWING THE CORRECT DISTANCE FROM THE STREET CENTERLINE TO THE PROPERTY LINE, DIMENSIONS OF SIDEWALK AND OTHER RELEVANT INFORMATION IN THE PUBLIC RIGHT OF WAY</p> <p>3. THE PROJECT IS DECREASING THE NUMBER OF EXISTING FUELING POSITIONS FROM 8 TO 6 AND THEREFORE DOES NOT TRIGGER THE APPLICABILITY CRITERIA IN SECTION 21.18.140 OF THE CAMPBELL MUNICIPAL CODE</p> <p>4. OWNERS, CURRENT AND FUTURE, ARE REQUIRED TO MAINTAIN THE LANDSCAPED PARK STRIP AND TREE WELLS IN THE PUBLIC RIGHT OF WAY. THIS INCLUDES, BUT IS NOT LIMITED TO: TREES, LAWN, PLANTINGS, IRRIGATION, ETC. TREES SHALL NOT BE PRUNED IN A MANNER THAT WOULD NOT ALLOW THE TREE TO GROW TO A MATURE HEIGHT</p>	<p><b>PROJECT DESCRIPTION</b></p> <p>SERVICE UPGRADE FOR EXISTING SMOG CHECK AND GAS STATION.</p> <ul style="list-style-type: none"> <li>- RECONFIGURE EXISTING FUEL STATION LAYOUT</li> <li>- NEW FUEL STATION CANOPY</li> <li>- NEW ACCESSIBLE VAN STALL</li> <li>- NEW TRASH ENCLOSURE</li> <li>- REPLACE EXISTING UNDERGROUND SINGLE WALL TANKS PER SB445 REQUIREMENT</li> <li>- EXISTING SMOG STATION/CONVENIENCE STORE TO REMAIN</li> <li>- STANDARD STREET IMPROVEMENT REQUIREMENTS INCLUDING THE REPAIR OF DAMAGE SIDEWALK, THE INSTALLATION OF ADA COMPLIANT DRIVEWAYS, AND THE INSTALLATION OF STREET TREES PER CAMPBELL MUNICIPAL CODE 11.24.040</li> </ul> <p><b>DRAWING INDEX</b></p> <p><b>ARCHITECTURAL</b></p> <p>A0.0 PROJECT INFORMATION                  A1.0 EXISTING / DEMOLITION PLAN                  A2.0 DEVELOPMENT SITE PLAN                  L-1 PLANTING PLAN                  A2.5 DIMENSIONED DEVELOPMENT SITE PLAN                  A3.0 EXISTING EXTERIOR ELEVATIONS                  A3.1 PROPOSED EXTERIOR ELEVATIONS                  A3.2 PROPOSED COLORED EXTERIOR ELEVATIONS                  A3.3 STREETSCAPE ELEVATIONS                  A4.0 ROOF PLAN                  C-1 GRADING AND DRAINAGE PLANS                  C-2 UTILITY PLAN                  C-3 EROSION CONTROL PLAN                  C-4 BLUEPRINT FOR A CLEAN BAY                  A4.5 CIRCULATION PLAN / ACCESSIBILITY PLAN                  E0.0 ELECTRICAL GENERAL INFORMATION                  EP1.0 ELECTRICAL SITE PHOTOMETRIC STUDY                  SV-1 BOUNDARY SURVEY                  A5.0 EMERGENCY ACCESS PLAN                  A5.1 TRASH MANAGEMENT PLAN                  A7.0 SITE PHOTOGRAPHS</p>	<p><b>PROJECT DATA</b></p> <table border="1"> <thead> <tr> <th>APN</th> <th>307-16-013</th> <th></th> </tr> </thead> <tbody> <tr> <td>ZONING</td> <td>C-1</td> <td></td> </tr> <tr> <td>GENERAL PLAN DESIGNATION</td> <td>NEIGHBORHOOD COMMERCIAL</td> <td></td> </tr> <tr> <td>SITE AREA (SF)</td> <td>15297</td> <td></td> </tr> <tr> <td>CONSTRUCTION TYPE</td> <td>4/4</td> <td></td> </tr> <tr> <td>EXISTING USE</td> <td>SMOG CHECK / GAS STATION</td> <td></td> </tr> <tr> <td>PROPOSED USE</td> <td>SMOG CHECK / GAS STATION</td> <td></td> </tr> <tr> <td>EXISTING BUILDING AREA (SF)</td> <td>1521</td> <td></td> </tr> <tr> <td>SMOG STATION (SF)</td> <td>852</td> <td></td> </tr> <tr> <td>CONVENIENCE STORE (SF)</td> <td>309</td> <td></td> </tr> <tr> <td>STORAGE (SF)</td> <td>360</td> <td></td> </tr> <tr> <td>FIRE SPRINKLER</td> <td>NONE PRESENT</td> <td>INSTALL NEW SPRINKLER SYSTEM <sup>1</sup></td> </tr> <tr> <td>PROPOSED BUILDING AREA (SF)</td> <td>1521</td> <td></td> </tr> <tr> <td>SMOG STATION (SF)</td> <td>852</td> <td></td> </tr> <tr> <td>CONVENIENCE STORE (SF)</td> <td>309</td> <td></td> </tr> <tr> <td>STORAGE (SF)</td> <td>360</td> <td></td> </tr> <tr> <td>EXISTING CANOPY AREA (SF)</td> <td>2118</td> <td></td> </tr> <tr> <td>PROPOSED CANOPY AREA (SF)</td> <td>1824</td> <td></td> </tr> <tr> <td>EXISTING TRASH ENCLOSURE (SF)</td> <td>50</td> <td></td> </tr> <tr> <td>PROPOSED TRASH ENCLOSURE (SF)</td> <td>176</td> <td></td> </tr> <tr> <td>EXISTING LOT COVERAGE</td> <td>24.1%</td> <td></td> </tr> <tr> <td>PROPOSED LOT COVERAGE</td> <td>23.0%</td> <td></td> </tr> <tr> <td>EXISTING NUMBER OF PARKING</td> <td>12</td> <td></td> </tr> <tr> <td>FUELING SPACE</td> <td>8</td> <td></td> </tr> <tr> <td>CONVENIENCE STORE</td> <td>4</td> <td></td> </tr> <tr> <td>NUMBER OF PARKING REQUIRED</td> <td>2</td> <td>1/250 PER CH. 21.28</td> </tr> <tr> <td>CONVENIENCE STORE</td> <td>2</td> <td></td> </tr> <tr> <td>PROPOSED NUMBER OF PARKING</td> <td>12 <sup>1</sup></td> <td></td> </tr> <tr> <td>FUELING SPACE</td> <td>6 <sup>1</sup></td> <td></td> </tr> <tr> <td>CONVENIENCE STORE</td> <td>6 <sup>1</sup></td> <td></td> </tr> </tbody> </table>	APN	307-16-013		ZONING	C-1		GENERAL PLAN DESIGNATION	NEIGHBORHOOD COMMERCIAL		SITE AREA (SF)	15297		CONSTRUCTION TYPE	4/4		EXISTING USE	SMOG CHECK / GAS STATION		PROPOSED USE	SMOG CHECK / GAS STATION		EXISTING BUILDING AREA (SF)	1521		SMOG STATION (SF)	852		CONVENIENCE STORE (SF)	309		STORAGE (SF)	360		FIRE SPRINKLER	NONE PRESENT	INSTALL NEW SPRINKLER SYSTEM <sup>1</sup>	PROPOSED BUILDING AREA (SF)	1521		SMOG STATION (SF)	852		CONVENIENCE STORE (SF)	309		STORAGE (SF)	360		EXISTING CANOPY AREA (SF)	2118		PROPOSED CANOPY AREA (SF)	1824		EXISTING TRASH ENCLOSURE (SF)	50		PROPOSED TRASH ENCLOSURE (SF)	176		EXISTING LOT COVERAGE	24.1%		PROPOSED LOT COVERAGE	23.0%		EXISTING NUMBER OF PARKING	12		FUELING SPACE	8		CONVENIENCE STORE	4		NUMBER OF PARKING REQUIRED	2	1/250 PER CH. 21.28	CONVENIENCE STORE	2		PROPOSED NUMBER OF PARKING	12 <sup>1</sup>		FUELING SPACE	6 <sup>1</sup>		CONVENIENCE STORE	6 <sup>1</sup>	
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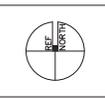


UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPPELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

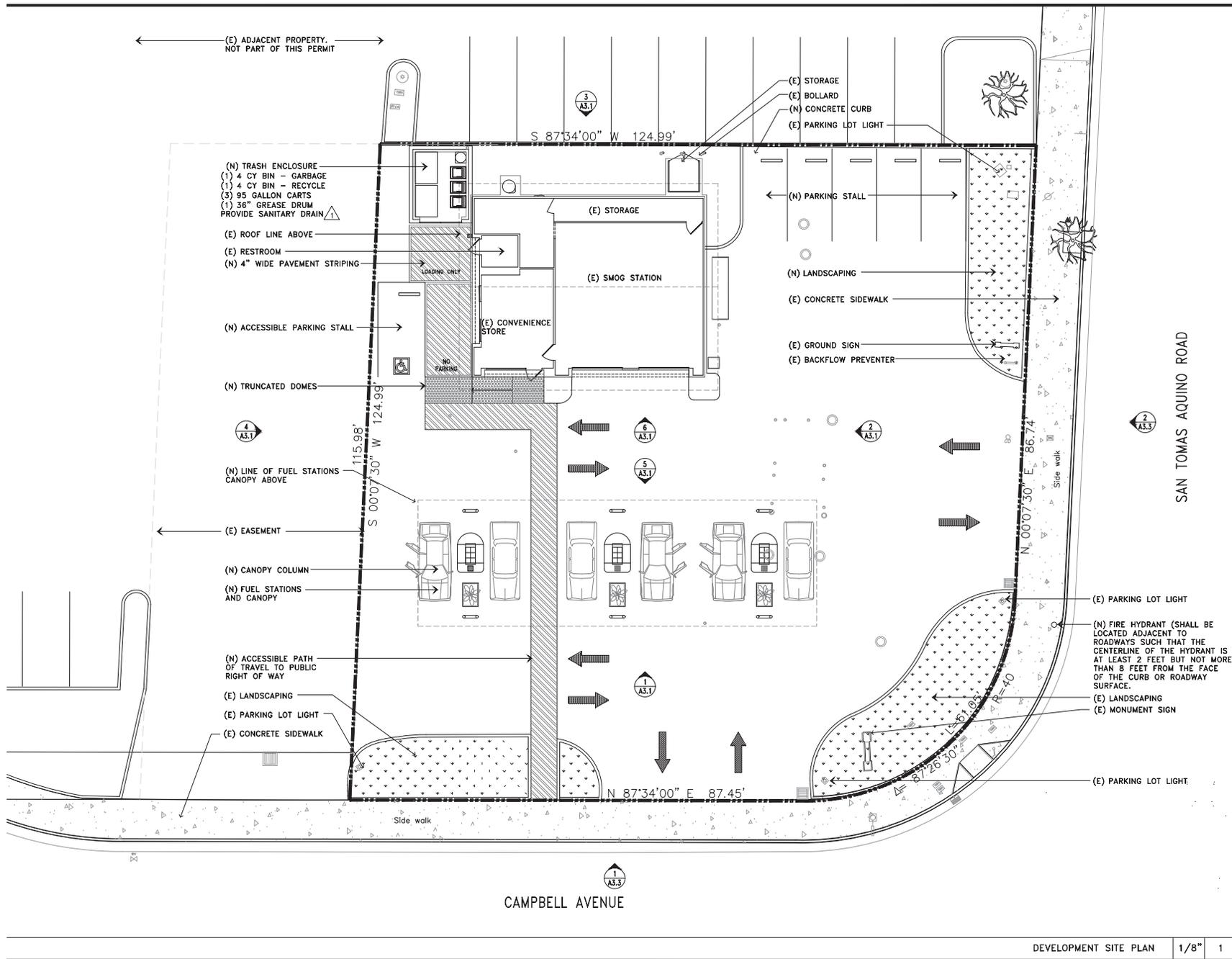
PROJECT NO.: 19-7230

EXISTING/DEMOLITION PLAN



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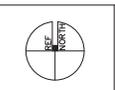


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PROJECT NO.: 19-7230

DEVELOPMENT SITE PLAN



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# 1533 WEST CAMPBELL AVE. CAMPBELL CA 95008 LANDSCAPE CONCEPT

## PLANTING NOTES

- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS. CONTRACTOR SHALL NOT PROCEED WITH WORK PRIOR TO CLARIFICATION BY LANDSCAPE ARCHITECT OR CITY INSPECTOR.
- CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
- REFER TO PLANTING SPECIFICATIONS FOR INSPECTION/CERTIFICATION SCHEDULE.
- IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS.
- TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT BUT NOT BEFORE IRRIGATION COVERAGE TEST No. 1 HAS BEEN APPROVED (SEE SPECIFICATIONS).
- PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
- LANDSCAPE CONTRACTOR SHALL TAKE FOUR (4) SOIL SAMPLES FROM THE SITE AT LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER. THESE SAMPLES SHALL BE TAKEN AT A DEPTH OF 12" AFTER ROUGH GRADING AND SUBMITTED TO AN APPROVED SOIL AND PLANT LABORATORY FOR AGRICULTURAL SUITABILITY TESTING. THE COST OF TESTING SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERSEDE THE SOIL PREPARATION AND BACKFILL MIX SPECIFICATIONS (SEE SPECIFICATIONS). THE CONTRACTOR SHALL SUBMIT A COPY OF ALL SOILS REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO MODIFICATION OF THESE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS/HER CONTRACTOR REPLACEMENT ITEMS SHALL BE EXACT DUPLICATES OF ORIGINAL WORK OR PLANTS, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- CLEAN UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY OWNER'S REP.
- WEED ABATEMENT: AFTER EARTHWORK, INSTALLATION OF IRRIGATION SYSTEM AND SOIL PREPARATION, BUT PRIOR TO PLANTING, PERFORM WEED ABATEMENT PROGRAM TO ALL PLANTING AREAS AS FOLLOWS:
  - APPLY SULFATE OF AMMONIA AT THE RATE OF 5 LBS PER 1,000 SQ. FT. TO ALL AREAS TO BE PLANTED.
  - KEEP AREA MOIST BY REGULAR IRRIGATION FOR A PERIOD OF TWO (2) WEEKS TO GERMINATE EXISTING WEED SEEDS.
  - AT THE END OF TWO WEEKS, APPLY 'ROUND UP' OR EQUAL SYSTEMIC HERBICIDE. DO NOT IRRIGATE WITHIN SIX (6) HOURS AFTER APPLICATION. REFER TO MFG. SPECIFICATIONS FOR PERIOD OF TIME REQUIRED FROM TIME OF APPLICATION TO TIME OF PLANTING. AFTER COMPLETE WEED KILL, REMOVE ALL WEED RESIDUE AND TOP-GROWTH AND DISPOSE OF IN A LEGAL MANNER.
- ALL HERBICIDES SHALL BE APPLIED ONLY BY A CALIFORNIA LICENSED APPLICATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PLANT MATERIAL INDICATED ON PLANS. QUANTITIES INDICATED ON PLAN ARE FOR ESTIMATION PURPOSES.
- TREES WITHIN 5' OF PAVING SHALL HAVE ROOT BARRIERS INSTALLED PER MANUF. SPECIFICATIONS. ROOT BARRIER SHALL BE AMERICAN DRAINAGE ROOT BARRIER MODEL RB-24 AVAILABLE THRU: NDS (800) 726-1994
- SOIL MANAGEMENT SHALL BE PER SOILS REPORT, PROVIDED BY OWNER

- WATER NOTES:**
- THE LANDSCAPE SHALL COMPLY WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELCO)
  - INCORPORATE COMPOSTS AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SF TO A DEPTH OF 6" - ALL PLANTER AREAS
  - A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
  - AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER SHALL BE UTILIZED. CONTROLLER SHALL HAVE NON-VOLATILE MEMORY.
  - CONTROLLER TO BE HUNTER PRO-C WITH SOLAR SYNC WEATHER SENSOR OR APPROVED EQUAL.
  - SUB-SURFACE IRRIGATION SHALL BE UTILIZED FOR ALL LANDSCAPE AREAS UTILIZING NETAPM THERMINE CY OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
  - IRRIGATION SUB-METER SHALL BE INSTALLED FOR IRRIGATION SERVICE.
  - AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A WRITTEN CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

MAINTENANCE OF LANDSCAPING (OWNER'S), CURRENT AND FUTURE, ARE REQUIRED TO MAINTAIN THE LANDSCAPED PARK STRIP AND TREE WELLS IN THE PUBLIC RIGHT OF WAY. THIS INCLUDES, BUT IS NOT LIMITED TO: TREES, LAWN, PLANTINGS, IRRIGATION, ETC. TREES SHALL NOT BE PRUNED IN A MANNER THAT WOULD NOT ALLOW THE TREE TO GROW TO A MATURE HEIGHT.

## IRRIGATION NOTES

- INSTALL ALL IRRIGATION COMPONENTS ACCORDING TO LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY ENCROACHMENT INTO ADJACENT PROPERTY, R.O.W.S, EASEMENTS, SETBACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER TRADES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR/REPLACE AT NO ADDITIONAL COST TO THE OWNER, ANY DAMAGE TO UNDERGROUND UTILITIES THAT MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGES TO OPERATIONS OR WORK OF OTHER CONTRACTORS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ACTIVITIES WITH ALL AGENCIES AND OTHER TRADES.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE SITE PRIOR TO COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO PROJECT LANDSCAPE ARCHITECT AND CITY INSPECTOR FOR DIRECTION. ANY CONTINUATION OF WORK IS AT THE CONTRACTOR'S RISK AND EXPENSE.
- THE CONTRACTOR SHALL ONLY APPLY SUFFICIENT WATER TO PROMOTE HEALTHY GROWTH OF THE PLANT MATERIAL. AT NO TIME WILL THE CONTRACTOR APPLY WATER AT A RATE OF FREQUENCY WHICH CAUSES RUNOFF OR SOIL SATURATION.
- REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION OF ALL COMPONENTS.
- THE WORK SHOWN ON THESE PLANS IS DIAGRAMATIC. ALL ITEMS, IE. CONTROLLERS, VALVES, MAINLINES, SLEEVES, IRRIGATION HEADS, ETC. ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. DO NOT SCALE DIMENSIONS. DETAIL DRAWINGS MAY CLARIFY LOCATION OF SOME ITEMS. THE CONTRACTOR SHALL NOT LOCATE ANY ITEMS WHERE OBVIOUS THAT THEY ARE IN CONFLICT WITH UNDERGROUND UTILITIES, STRUCTURES, OTHER IMPROVEMENTS, OR VEHICULAR OR PEDESTRIAN SAFETY/CONSIDERATIONS.
- ADJUST ALL HEADS FOR MINIMUM OVERSPRAY ON ANY NONPLANTED AREAS AND COMPLETE COVERAGE OF LANDSCAPE AREAS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC FOR THE EXISTING CONDITIONS (USE VARIABLE ARC NOZZLES AS NECESSARY).
- LOCATE ALL SHRUB SPRAY HEADS 6" FROM EDGE OF PAVING.
- DO NOT USE FIXED RISERS EXCEPT ON SLOPES. MARKED OR UNMARKED.
- USE 4" POP-UP HEADS IN TURF AREAS, AND 6" POP-UP HEADS IN SHRUB AREAS.
- USE VARIABLE ARC NOZZLES FOR AREAS OTHER THAN 90, 180, OR 360 DEGREES.
- SLEEVE IRRIGATION WIRING, LATERAL LINES AND MAINLINE UNDER ALL PAVING. ALL SLEEVES TO BE 2x SIZE OF PIPE TO BE SLEEVED.
- USE CHECK VALVES AS REQ'D TO ELIMINATE LOW HEAD DRAINAGE.
- USE HUNTER PRESSURE COMPENSATING DEVICES ON ALL NOZZLES.
- WHERE VERTICAL OBSTRUCTIONS IN THE LANDSCAPE AREA INTERFERE WITH THE SPRAY PATTERN OF ANY SPRINKLER RESULTING IN THE IMPROPER COVERAGE OF IRRIGATION, THE IRRIGATION CONTRACTOR SHALL RECTIFY THE COVERAGE OF IRRIGATION. THE IRRIGATION CONTRACTOR SHALL RECTIFY THE SITUATION BY FIELD ADJUSTMENT TO THE IRRIGATION SYSTEM. THIS MAY REQUIRE THE ADDITION OF QUARTER SIZE SPRINKLERS TO EACH SIDE OF THE OBSTRUCTION OR OTHER MEASURES. ALL SUCH ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PIPING AND WIRE CONDUIT PENETRATIONS THROUGH WALLS AND INSTALLATION OF ANY IRRIGATION EQUIPMENT UNDER PAVING MUST BE COORDINATED WITH THE GENERAL CONTRACTOR AND CONTRACTORS OF ALL VARIOUS TRADES THAT MAY BE INVOLVED TO ELIMINATE PROBLEMS THAT MAY ARISE FROM INACCESSIBILITY OF DAMAGE TO ANOTHER TRADES WORK.

## PRELIMINARY WATER USE CALCULATIONS

### 1533 WEST CAMPBELL AVE.

Eto	45.3
Total HA	2,046
Special HA	0
ETAF Average	0.40
ETAF Total	0.40

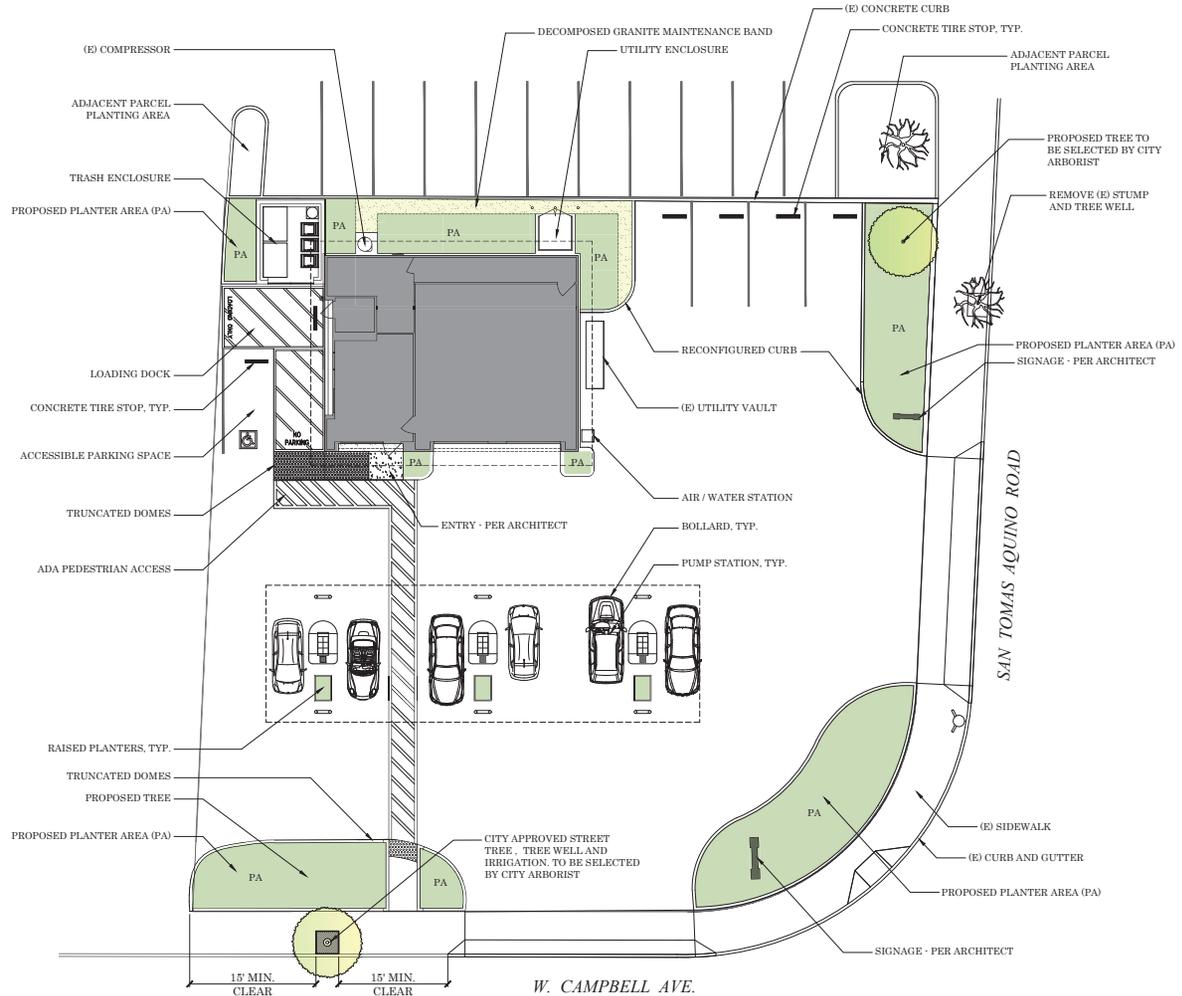
$$MAWA = (Eto)(0.62) [(0.45)(A)] + [(1)-(0.45) \cdot SIA]$$

MAWA	25,859 Gallons
	3,457 HCF

$$ETWU = (Eto)(0.62)(ETAF)(AREA)$$

ETWU	22,986 Gallons
------	----------------

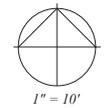
AVG. WUCOLS PLANT FACTOR (PF) = 0.4



## PRELIMINARY PLANT LIST

BOTANICAL NAME	COMMON NAME	WUCOLS (PF)	NOTES
<b>TREES</b>			
LORHOSSTEMON CONFERTUS	BRISBANE BOX	MOD/MED	25' AVG. SPREAD
<b>SHRUBS</b>			
ACACIA YUCOSIN ITT	COUSIN ITT ACACIA	LOW	
AGAVE VILMORINIANA	OCTOPUS AGAVE	LOW	
CAREX DIVULSA	BERKELEY SEDGE	LOW	
CLEMATIS ANAMOR	VIOLET TRUMPET VINE	MOD/MED	
DIELIS BICOLOR	FORTNIGHT LILY	LOW	
LOMANDRA LONGIFOLIA BREEZE	MAT RUSH	LOW	
PITTOSPORUM TOBIIRA	MOCK ORANGE	LOW	
TRICHARRIS OFFICINALIS LOCKWOOD DE FOMEST	DRYWIP ROSEMARY	LOW	
SALVA GREGGII 'SIERRA LINDA'	AUTUMN SAGE	LOW	
WESTRINGIA SPECIES	WESTRINGIA	LOW	

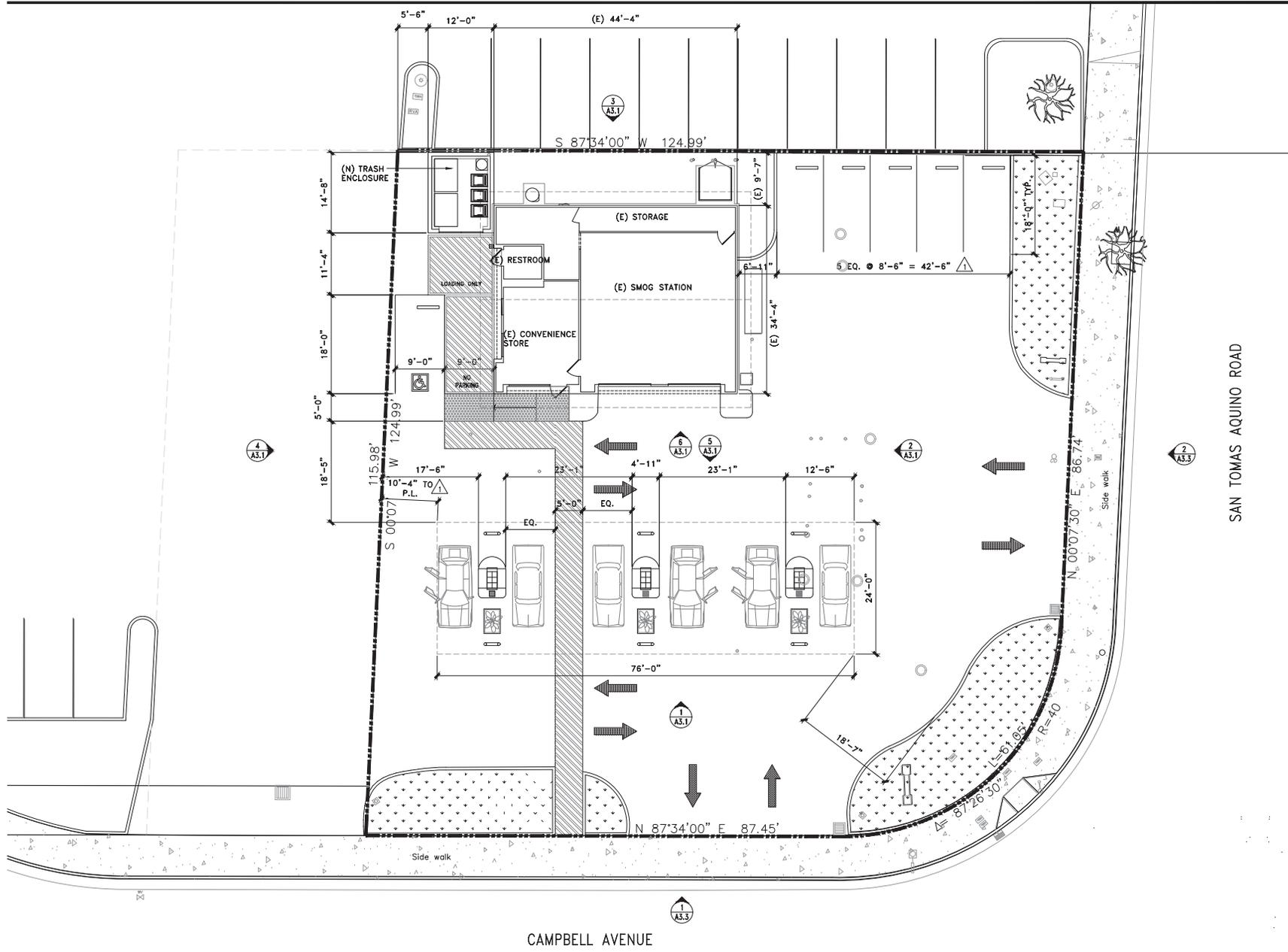
AVG. WUCOLS PLANT FACTOR 0.4  
SUNSET ZONE: 15



**T H NORTON**  
Landscape Architecture, Inc.  
25 CRESCENT DRIVE #474  
PLEASANT HILL CA 94520  
phone: 925 822 3085  
www.thnorton.com

L-1  
SHEET 1 of 1  
4/17/20

PROJECT: 41720, 4/17/20, 4/17/20, 4/17/20



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPPELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

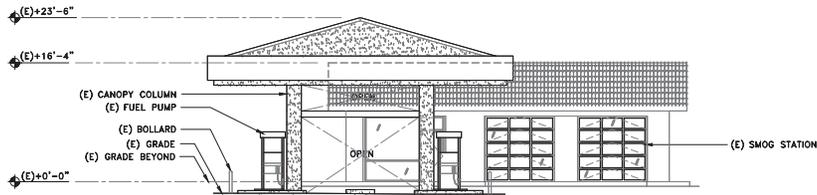
DIMENSIONED  
 DEVELOPMENT SITE PLAN



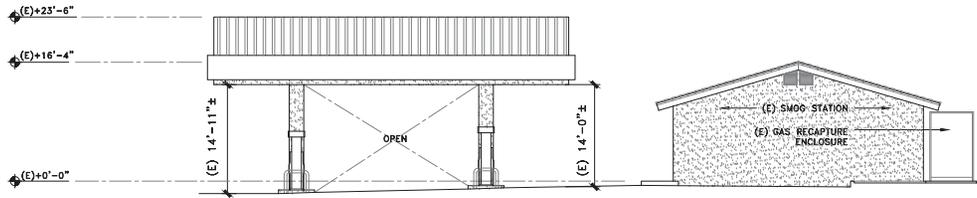
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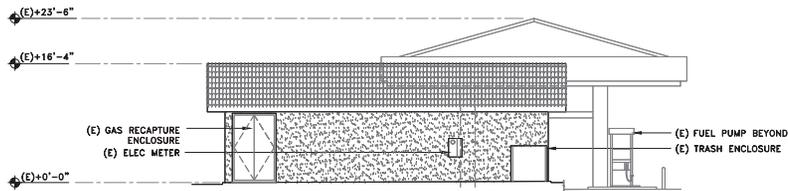
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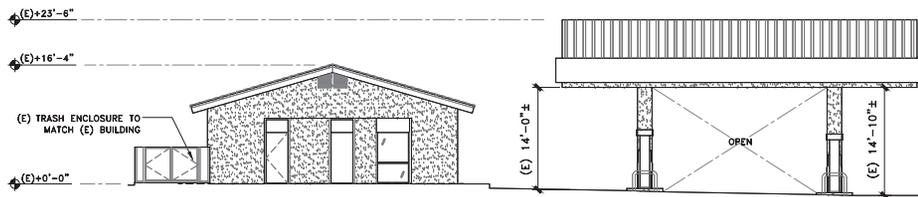
(E) SOUTH ELEVATION 1/8" 1



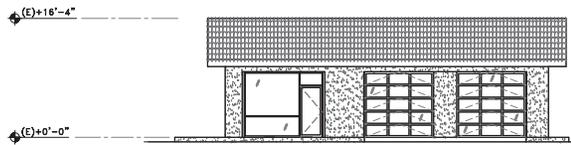
(E) EAST ELEVATION 1/8" 2



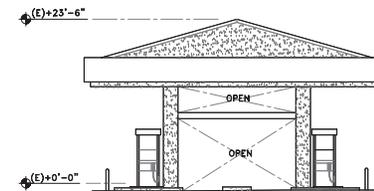
(E) NORTH ELEVATION 1/8" 3



(E) WEST ELEVATION 1/8" 4



(E) SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



(E) NORTH ELEVATION - FUEL STATIONS 1/8" 5



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
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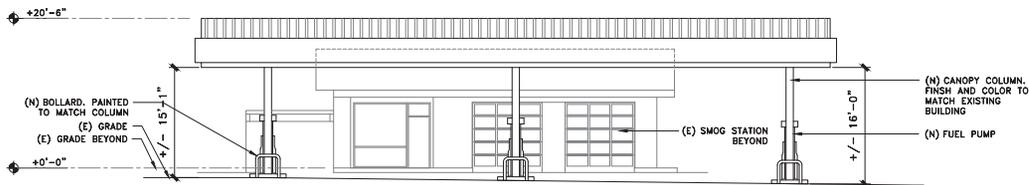
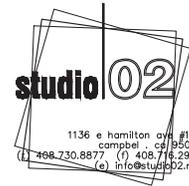
PROJECT NO.: 19-7230

EXISTING EXTERIOR ELEVATIONS

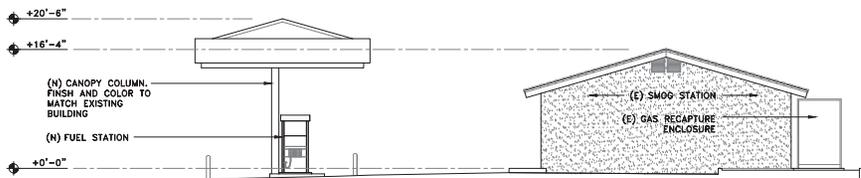


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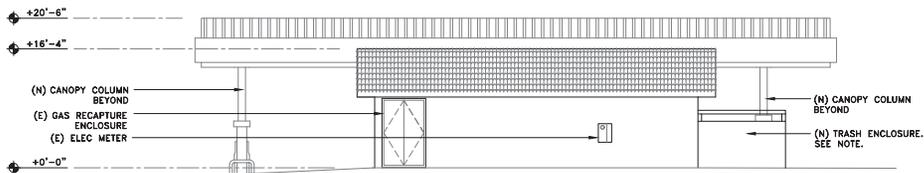
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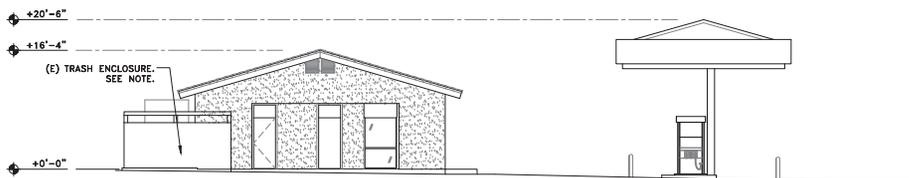
PROPOSED SOUTH ELEVATION 1/8" 1



PROPOSED EAST ELEVATION 1/8" 2



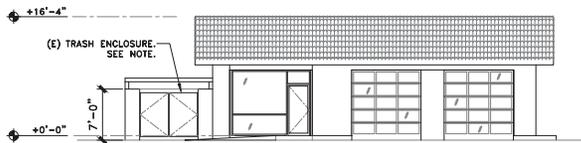
PROPOSED NORTH ELEVATION 1/8" 3



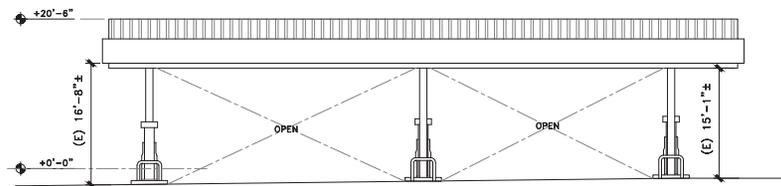
**NEW TRASH ENCLOSURE NOTE**

1. TEXTURED (STUCCO OR CLADDING) MASONRY WALLS DESIGNED TO MATCH THE PRIMARY STRUCTURE
2. SOLID CONCRETE FLOOR FLUSH AT THE DOOR THRESHOLD
3. METAL LOCKING DOORS
4. SOLID ROOF COVERING
5. SANITARY DRAIN CONNECTION
6. FIRE SPRINKLER PROTECTION
7. PROVIDE AN ACCESSIBLE PATH-OF-TRAVEL

PROPOSED WEST ELEVATION 1/8" 4



PROPOSED SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



PROPOSED NORTH ELEVATION - FUEL STATIONS 1/8" 5

UNIFORM DEVELOPMENT APPLICATION  
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PROJECT NO.: 19-7230

PROPOSED  
EXTERIOR ELEVATIONS



A3.1

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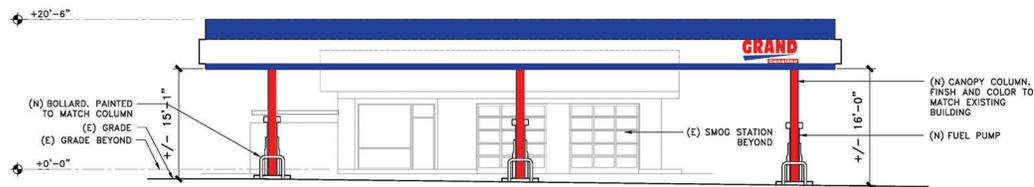
PROJECT NO.: 19-7230

**COLORED ELEVATIONS**

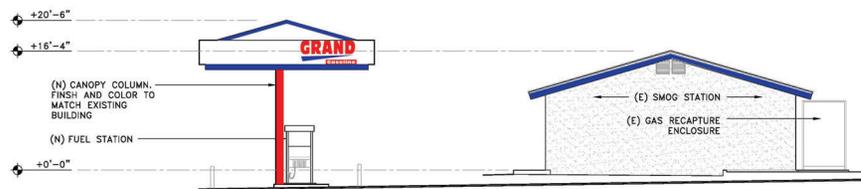


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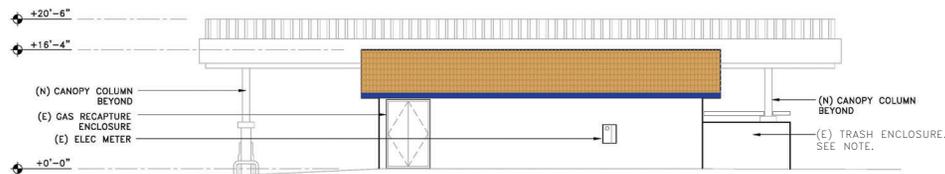
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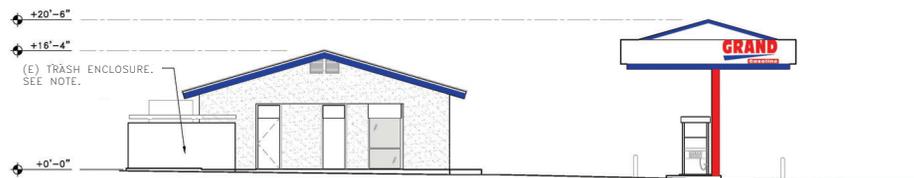
PROPOSED SOUTH ELEVATION 1/8" 1



PROPOSED EAST ELEVATION 1/8" 2



PROPOSED NORTH ELEVATION 1/8" 3

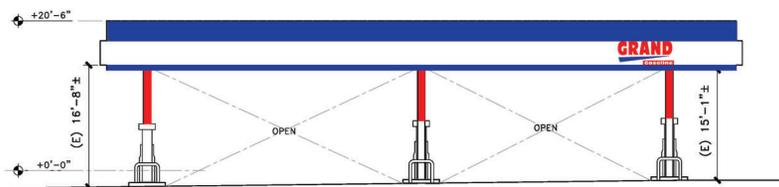


**NEW TRASH ENCLOSURE NOTE**  
 1. TEXTURED (STUCCO OR CLADDING) MASONRY WALLS DESIGNED TO MATCH THE PRIMARY STRUCTURE  
 2. SOLID CONCRETE FLOOR FLUSH AT THE DOOR THRESHOLD  
 3. METAL LOCKING DOORS  
 4. SOLID ROOF COVERING  
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 6. FIRE SPRINKLER PROTECTION  
 7. PROVIDE AN ACCESSIBLE PATH-OF-TRAVEL

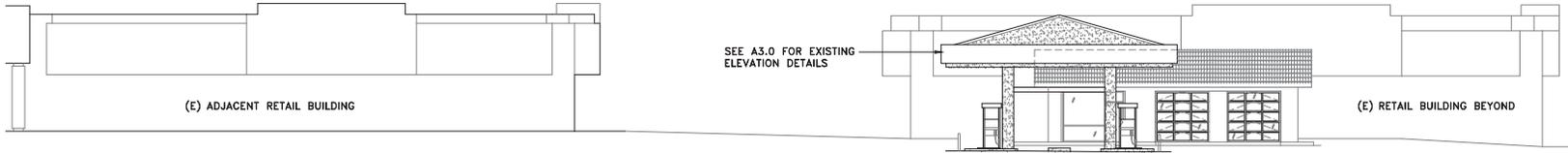
PROPOSED SOUTH ELEVATION 1/8" 4



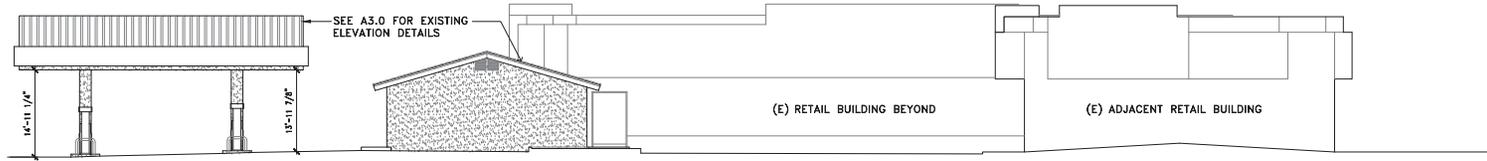
PROPOSED SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



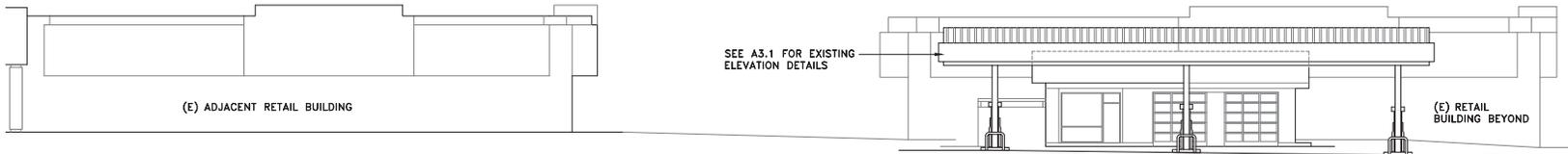
PROPOSED NORTH ELEVATION - FUEL STATIONS 1/8" 5



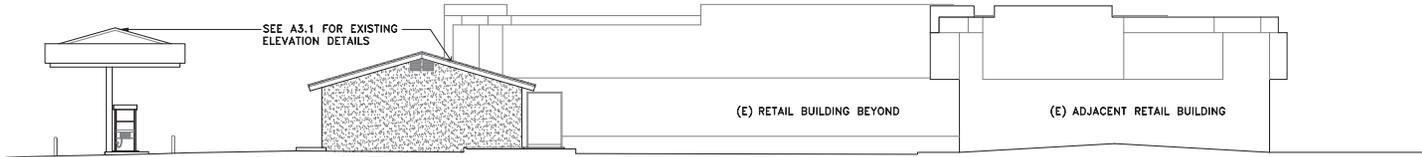
EXISTING STREETSCAPE ELEVATION – CAMPBELL AVE SIDE 10' 1



EXISTING STREETSCAPE ELEVATION – SAN TOMAS AQUINO SIDE 10' 2



PROPOSED STREETSCAPE ELEVATION – CAMPBELL AVE SIDE 10' 3



PROPOSED STREETSCAPE ELEVATION – SAN TOMAS AQUINO SIDE 10' 4



UNIFORM DEVELOPMENT APPLICATION  
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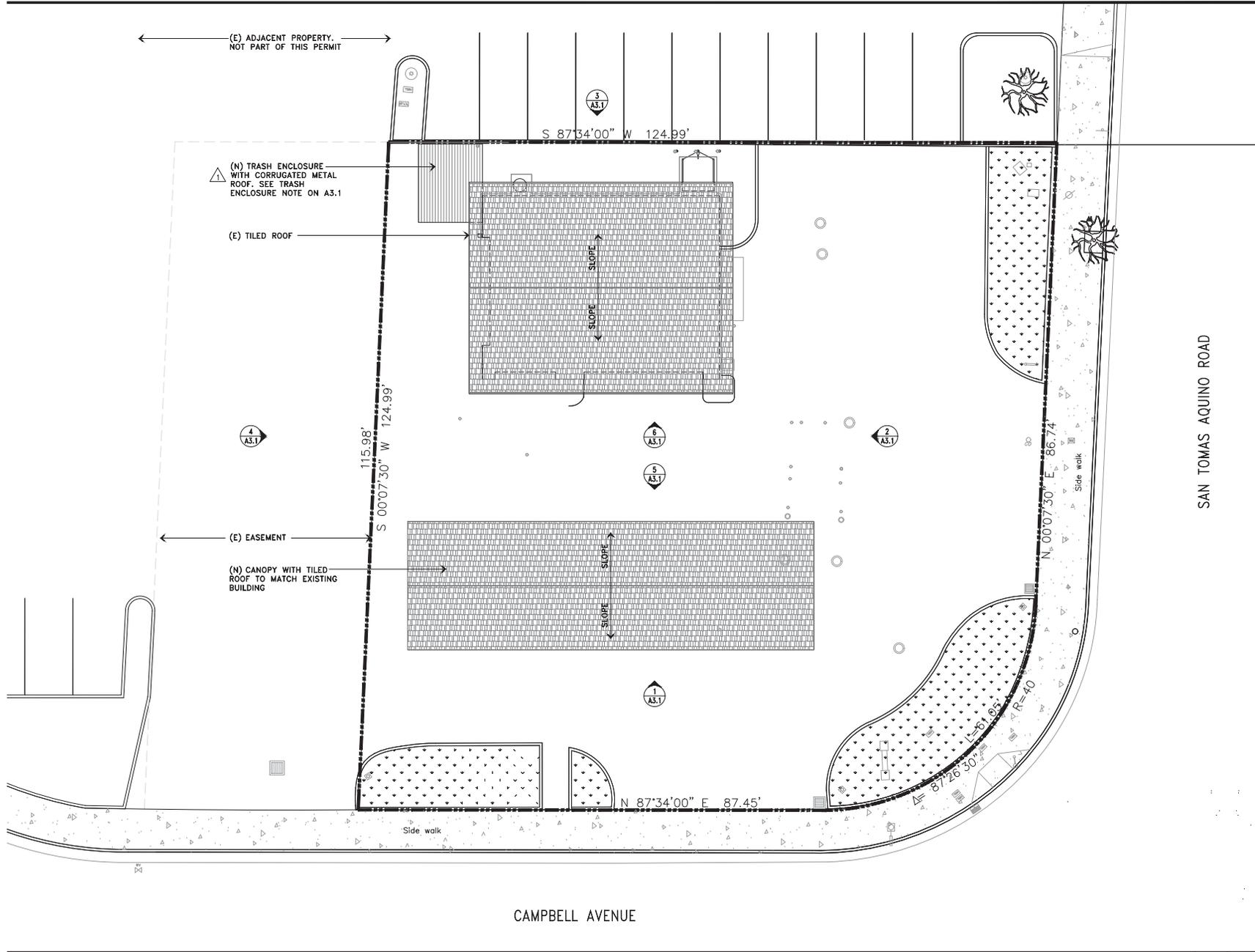
PROJECT NO.: 19-7230

STREETSCAPE ELEVATIONS



A3.3

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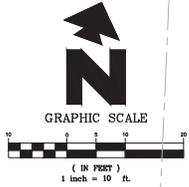
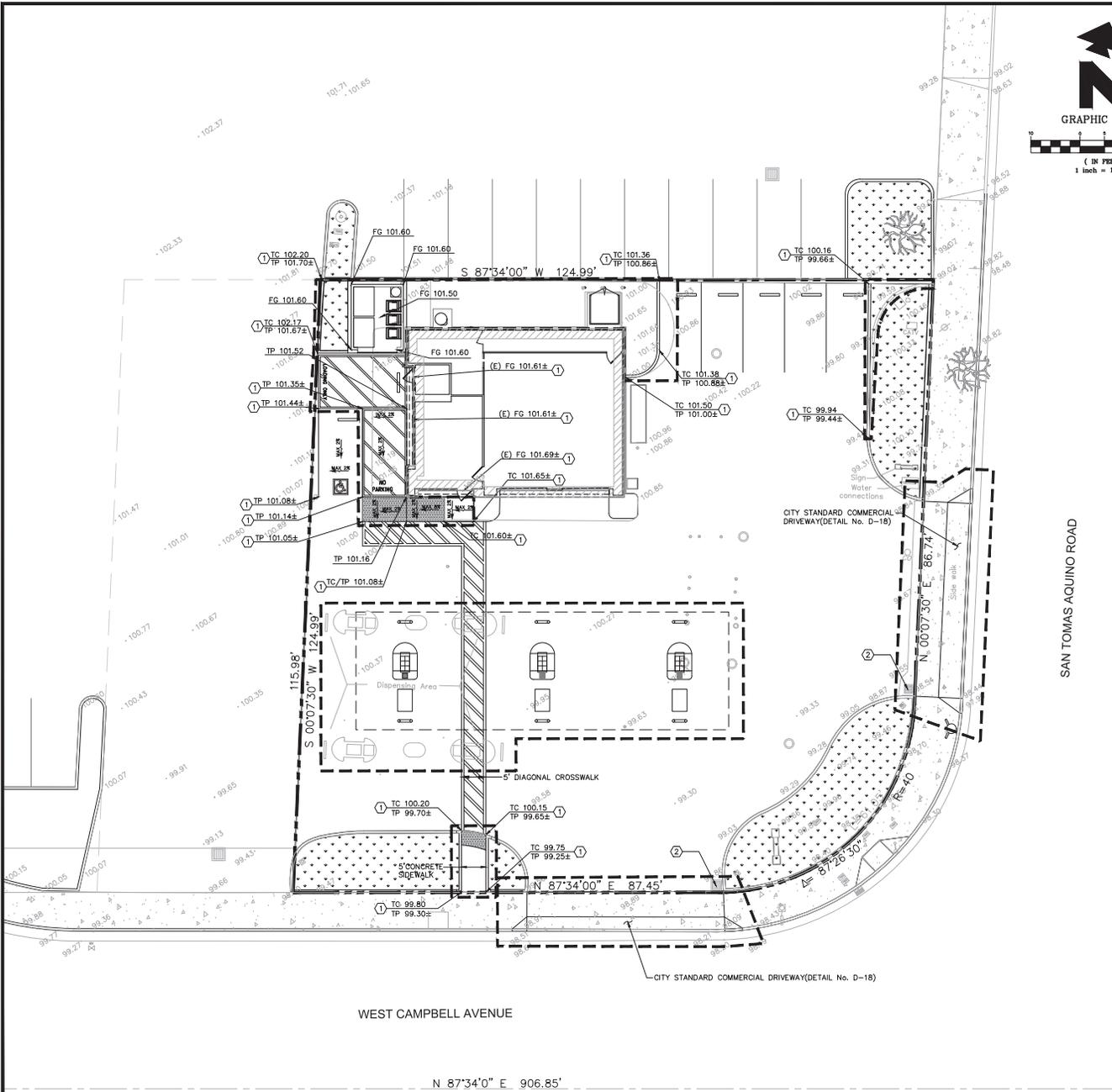
- 01.15.20 ISSUED FOR PLANNING
- 03.31.20 ISSUED FOR PLANNING
- 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

ROOF PLAN



A4.0



**GENERAL NOTES:**

1. IF ANY EXISTING STRUCTURES AND UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AND UTILITIES AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROJECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE COVERING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURE AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAIN/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH CITY OF CAMPBELL AND RELATED UTILITY AGENCIES STANDARDS.
10. A GRADING/HAULING PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.

**LEGENDS**

- = LANDSCAPE AREA
- = DETECTABLE WARNING SURFACE
- = LIMITS OF BUILDING ROOF
- = FLOW DIRECTION
- = EX. SPOT ELEVATION
- = AREA OF DISTURBANCE

**ABBREVIATION**

- FG FINISHED GRADE
- MAX MAXIMUM
- TC TOP OF CURB
- TP TOP OF PAVEMENT

**GRADING NOTES**

- ① MATCH EXISTING ELEVATION
- ② INSTALL TRASH CAPTURE INSERTS (KRISTAR FLO-COR OR APPROVED EQUAL) AND TRASH CAPTURE SCREEN (STORMTEX T33G OR APPROVED EQUAL)

**PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:**

AREA TYPE	EXISTING	PROPOSED
LOT AREA	15,295 SF	
	0.35 ACRE	
TOTAL LAND DISTURBANCE	0	4,898
BUILDING/DISPENSER ROOF	3,998	3,763
PARKING/DRIVEWAY	9,331	9,443
WALKWAY	0	69
TOTAL IMPERVIOUS AREA	13,329	13,275
LANDSCAPE/GRAVEL	1,969	2,023
PAVER	0	0
TOTAL PERVIOUS AREA	1,969	2,023

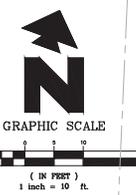
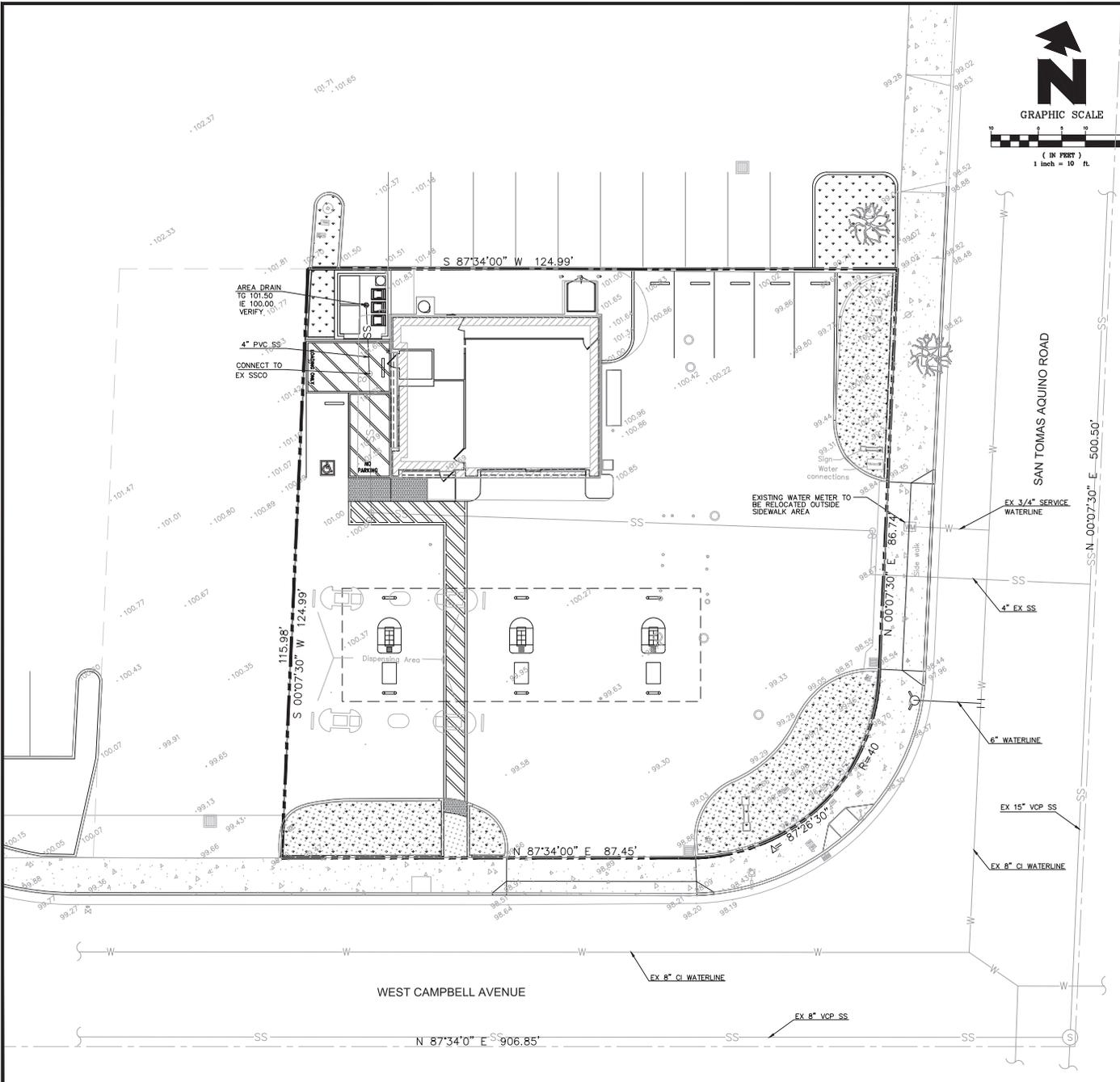
**GRADING AND DRAINAGE PLAN**  
**1533 WEST CAMPBELL AVENUE**  
**CAMPBELL, CA 95008**



**SCALE**  
 VERTICAL: 1"=AS SHOWN  
 HORIZONTAL: 1"=AS SHOWN

DATE: 07/07/2020  
 DESIGNED: TC  
 DRAWN: TC  
 REVIEWED: AW  
 JOB NO.: -

**SHEET**  
**C1**  
 1 OF 4 SHEET



**UTILITY GENERAL NOTES:**

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF HAYWARD OR LOCAL UTILITY COMPANIES FOR UTILITY STANDARDS FOR WATER, GAS & WASTEWATER.
- UTILITY PIPE BEDDING & TRENCH BACKFILL INSTALLED PER DETAIL OR CITY STANDARD.
- ALL SANITARY SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL UTILITY LOCATIONS SHALL NOT CAUSE DAMAGE TO ANY EXISTING STREET TREES. WHERE THERE ARE UTILITY CONFLICTS DUE TO EXISTING TREE ROOTS, ALTERNATIVE LOCATION FOR UTILITIES SHALL BE EXPLORED BEFORE RELOCATE REMOVE AND INSTALLED NEW TREE.
- SUBMIT UTILITY COORDINATION PLANS AND SCHEDULE FOR APPROVAL BY CITY ENGINEER FOR THE INSTALLATION AND/OR ABANDONMENT OF UTILITIES PRIOR TO ISSUANCE OF BUILDING PERMIT.

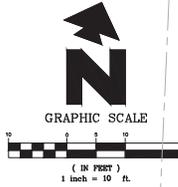
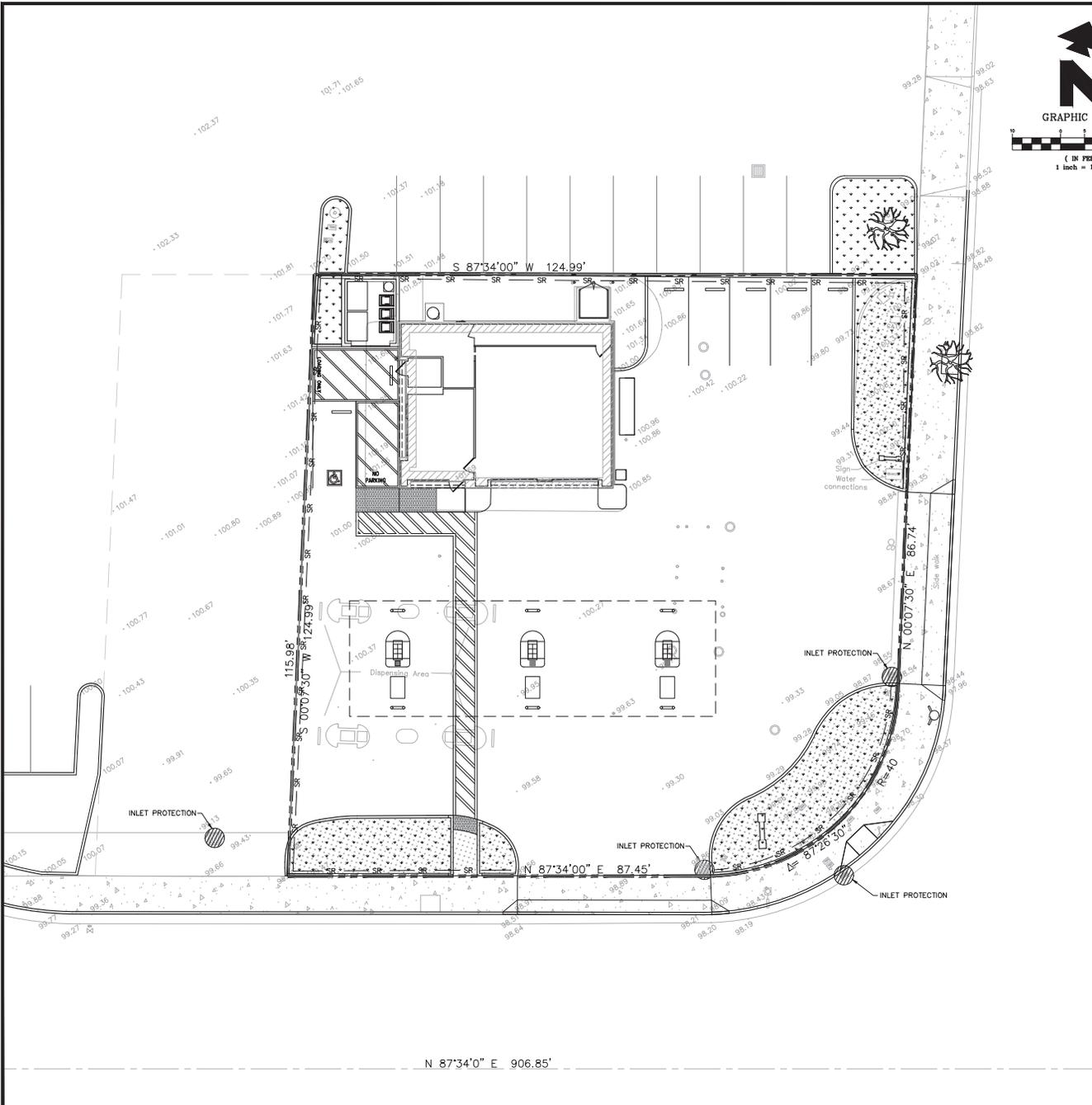
**ABBREVIATION**

CI	CAST IRON
EX	EXISTING
FG	FINISHED GRADE
IE	INVERT ELEVATION
PVC	POLYVINYL CHLORIDE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TG	TOP OF GRATE
VCP	VITRIFIED GLAY PIPE

**LEGEND**

	EX. SANITARY SEWER MANHOLE
	EX. WATER METER
	EX. SANITARY SEWER CLEANOUT
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	FIRE HYDRANT
	AREA DRAIN

DATE									
REV.									
<b>UTILITY PLAN</b>									
1533 WEST CAMPBELL AVENUE CAMPBELL, CA 95008									
 CIVIL ENGINEERING, INC. INFO@GREENC.COM 1800 S. NORFOLK ST., SUITE 350 SAN MATEO, CA 94408									
<b>SCALE</b>									
VERTICAL: 1"=AS SHOWN									
HORIZONTAL: 1"=AS SHOWN									
DATE:	07/07/2020								
DESIGNED:	TC								
DRAWN:	TC								
REVIEWED:	AW								
JOB NO.:									
<b>SHEET</b>									
<b>C2</b>									
2 OF 4 SHEET									



**EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE TOWN ENGINEER.
3. DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
4. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
5. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE TOWN REPRESENTATIVE OF ANY FIELD CHANGES.
6. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
8. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
9. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
10. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
11. DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
12. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
13. WITH THE APPROVAL OF THE TOWN INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

**MAINTENANCE NOTES**

- A. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.

**DEMOLITION NOTES:**

1. THE EXISTING BUILDING SHALL BE REMOVED ENTIRELY. NO GRADING REQUIRED BEYOND REPAIR AT FOUNDATION REMOVAL AREAS.
2. LOCATE AND MARK ALL UNDERGROUND UTILITIES. THE UTILITIES SHALL BE TREATED AS FOLLOWS:

**WATER SERVICE**

- A. EXISTING WATER SHALL BE CAPPED AND REMOVED IF NECESSARY FOR NEW CONSTRUCTION.

**ELECTRICAL SERVICE**

- A. ELECTRICAL LINE SHALL BE PROTECTED IN PLACE.

**GAS SERVICE**

- A. GAS LINE SHALL BE PROTECTED IN PLACE.

**LEGEND**

- SR = STRAW ROLL
- (Symbol: circle with diagonal lines) = INLET PROTECTION

**ABBREVIATIONS:**

- SR = STRAW ROLL
- TYP = TYPICAL

REV.	DATE	DESCRIPTION

**EROSION CONTROL PLAN**  
 1533 WEST CAMPBELL AVENUE  
 CAMPBELL, CA 95008

**GREEN**  
 CIVIL ENGINEERING, INC.  
 INFO@GREENCIVIL.COM  
 800 S. INDIPOLK ST., SUITE 350  
 SAN MATEO, CA 94403



**SCALE**

VERTICAL: 1"=AS SHOWN  
 HORIZONTAL: 1"=AS SHOWN

DATE:	07/07/2020
DESIGNED:	TC
DRAWN:	TC
REVIEWED:	AW
JOB NO.:	-

**SHEET**  
**C3**  
 3 OF 4 SHEET

**FRESH CONCRETE AND MORTAR APPLICATION**

**BEST MANAGEMENT PRACTICES FOR:**

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt area, not down the driveway or into the street or storm drain.
- Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.
- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete as a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

**STORM DRAIN POLLUTION FROM MASONRY AND PAVING**

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials in the storm drains or creeks causes serious problems and is prohibited by law.

**DURING CONSTRUCTION**

- Don't mix up more fresh concrete or mortar than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

**POOL/FOUNTAIN/SPA MAINTENANCE**

- Never discharge pool or spa water to a street or storm drain.

OR

- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.

- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algicides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

**LANDSCAPING/GARDEN MAINTENANCE**

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will run into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

**HEAVY EQUIPMENT OPERATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

**BEST MANAGEMENT PRACTICES FOR THE: PAINTING/CLEANUP**

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

**WHAT CAN YOU DO?**

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**PAINT REMOVAL**

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyltin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous-dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spike into soil. Or, check with the local wastewater treatment authority to find out if you can collect (trap or vacuum) building cleaning water and dispose to the sanitary sewer.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

**SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM**

**EARTH MOVING ACTIVITIES**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DURING CONSTRUCTION**

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**GENERAL BUSINESS PRACTICES**

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test possible groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operation of grading equipment
- Paving machines
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over application by water trucks to dirt control.

**ASPHALT/CONCRETE REMOVAL**

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hove down streets to clean up tracked dirt.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

**BEST MANAGEMENT PRACTICES FOR THE: MATERIALS/WASTE/HANDLING**

**WHAT CAN YOU DO?**

- Construction industry
- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Keep materials out of the rains-precipitated runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dirt" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

**STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES**

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and streams. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

**IN THE SANTA CLARA VALLEY, STORM DRAIN FLOW DIRECTLY TO LOCAL CREEKS AND SAN FRANCISCO BAY, WITH NO TREATMENT. STORM WATER POLLUTION IS A SERIOUS PROBLEM FOR WILDLIFE DEPENDENT ON OUR WATERWAYS AND FOR THE PEOPLE WHO LIVE NEAR POLLUTED STREAMS OR BAYLANDS. SOME COMMON SOURCES OF THIS POLLUTION INCLUDE SPILLED OIL, FUEL, AND FLUIDS FROM VEHICLES AND HEAVY EQUIPMENT. CONSTRUCTION DEBRIS; LANDSCAPING RUNOFF CONTAINING PESTICIDES AS WEED KILLERS; AND MATERIALS SUCH AS USED MOTOR OIL, ANTIFREEZE, AND PAINT PRODUCTS THAT PEOPLE POUR OR SPILL INTO A STREET OR STORM DRAIN.**

**THIRTEEN VALLEY CITIES HAVE JOINED TOGETHER WITH SANTA CLARA COUNTY AND THE SANTA CLARA VALLEY WATER DISTRICT TO EDUCATE LOCAL RESIDENTS AND BUSINESS AND FIGHT STORM DRAIN POLLUTION.**

- Practice Source Reduction—minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

**SPILL RESPONSE AGENCIES**

1. Dial 911
2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710
3. Governor's Office of Emergency Services, Warning Center (800) 852-7550 (24 hours).

**LOCAL POLLUTION CONTROL AGENCIES**

- Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 927-0710
- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Sunnyvale Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Quality Control Plant (415) 325-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

**BLUEPRINT FOR A CLEAN BAY**  
**1533 WEST CAMPBELL AVENUE**  
**CAMPBELL, CA 95008**



**SCALE**

VERTICAL: 1"=AS SHOWN  
 HORIZONTAL: 1"=AS SHOWN

DATE: 07/07/2020

DESIGNED: TC  
 DRAWN: TC  
 REVIEWED: AW  
 JOB NO.: -





UNIFORM DEVELOPMENT APPLICATION SERVICE STATION AT

**1533 W CAMPBELL AVE**

CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING



PROJECT NO.: 19-7230

ELECTRICAL GENERAL INFORMATION



**E0.0**

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LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
⊕	20A	120/277V SPST SWITCH, LOWER CASE LETTER INDICATES SWITCHES CONTROLLED BY SWITCH, PROVIDE ONE PER SWITCH/LEG.
⊕	3	20A 120/277V, THREE WAY SWITCH.
⊕	2	20A 120/277V, SWITCH WITH FLOT LIGHT.
⊕	20	20A 120/277V BY-PASS SWITCH, 0.0 MOMENTARY SPST SWITCH.
⊕	1W	TIMER SWITCH, DIGITAL, 20A, 120V.
⊕	1	HORSEPOWER RATED TOGGLE SWITCH WITH THERMAL OVERLOADS.
⊕	D	DIMMER SWITCH, VA RATING AS SHOWN AND AS REQUIRED.
⊕	15A	15A 120/277V DUAL, TECH (A.N.O.) VACUUMY SWITCH SENSOR, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SWITCH.
⊕	15A	CEILING MOUNTED DUAL, TECH OCCUPANCY SENSOR (RNO), H= HALLWAY COVERAGE TYPE, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SENSOR.
⊕	15A	ROOM CONTROLLER, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY CONTROLLER.
⊕	15A	PLUG LOAD CONTROLLER, COMPATIBLE WITH ROOM CONTROLLER.
⊕	15A	20A POWERLEAF PACK FOR OCCUPANCY SENSOR, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SWITCH.
⊕	15A	EMERGENCY LIGHTING TRANSFER CONTROL DEVICE.
⊕	15A	DUPLEX RECEPTACLE, 120V, 20A (WP= WEATHERPROOF, AS INDICATED).
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, GFCI.
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, ABOVE COUNTER.
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, ISOLATED GROUND.
⊕	15A	QUADRIPLEX RECEPTACLE, 20A, 120V.
⊕	15A	CORO DRAP RECEPTACLE, 20A, 120V.
⊕	15A	CEILING MOUNTED RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	SPLIT WIRED DUPLEX RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	SPLIT WIRED DOUBLE DUPLEX RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	FLOOR BOX WITH DUPLEX RECEPTACLE, 20A, 120V.
⊕	15A	SINGLE RECEPTACLE, SEE EQUIPMENT SCHEDULE FOR NEMA CONFIG.
⊕	15A	USB CHARGER AND TAMPER RESISTANT RECEPTACLE, 20A, 120V, ABOVE COUNTER OR GFI AS REQUIRED.
⊕	15A	POWER POLE, SEE DETAIL FOR MORE INFORMATION.
⊕	15A	FUSED DISCONNECT SWITCH WITH DUAL ELEMENT FUSES PER EQUIPMENT NAME PLATE RATING.
⊕	15A	FUSED DISCONNECT SWITCH WITH MOTOR STARTER AND DUAL ELEMENT FUSES PER EQUIPMENT NAME PLATE RATING.
⊕	15A	NON FUSIBLE DISCONNECT SWITCH.
⊕	15A	MOTOR OUTLET AND FLEX CONNECTION TO MOTOR.
⊕	15A	METER, METER SOCKET.
⊕	15A	GROUP BREAKER.
⊕	15A	GROUNDING ELECTRODE SYSTEM (UFER, GROUND ROD, U.G. WATER PIPE, STRUCTURAL STEEL).
⊕	15A	PANELBOARD.
⊕	15A	JUNCTION BOX, WALL MOUNTED, SIZE TO CODE, TAPE AND TAG WIRES.
⊕	15A	JUNCTION BOX, CEILING MOUNTED, SIZE TO CODE, TAPE AND TAG WIRES.
⊕	15A	SECURITY OUTLET, BOX - 12"X12" STUD TO CEILING SPACE.
⊕	15A	TELEPHONE / DATA / COMBINATION DATA AND TELEPHONE OUTLET.
⊕	15A	HVAC SMOKE DETECTOR, S.M.D.
⊕	15A	FIRE SMOKE DAMPER.
A		AMPERE
AC		AMPERE INTERRUPTING CAPACITY
AF		ABOVE FINISHED FLOOR
AWG		AMERICAN WIRE GAUGE
C		CONDUIT
CU		COPPER
D		ONE WAY DISTANCE OF FEEDER OR BRANCH CIRCUIT
(E) / (N) / (L)		EXISTING / NEW / RELOCATED
EF		EXHAUST FAN
EM		EMERGENCY
FV		FIELD VERIFY
GFI		GROUND FAULT INTERRUPTER
G, GND		GROUND
HP		HORSEPOWER
ISC		SHORT CIRCUIT CURRENT
MCB		MAIN CIRCUIT BREAKER
MLO		MAIN LUG ONLY
NEC		NATIONAL ELECTRICAL CODE
P		POLE
PH		PHASE
PROVIDE		FURNISH, INSTALL, CONNECT
(R) / (RR)		REMOVE / REMOVE AND RELOCATE
RMC		RIGID METAL CONDUIT
S.A.D.		SEE ARCHITECTURAL DRAWINGS
S.M.D.		SEE MECHANICAL DRAWINGS
S.P.D.		SEE PLUMBING DRAWINGS
UN		UNLESS OTHERWISE NOTED
V		VOLTS
VA		VOLT AMPERE
VD		VOLTAGE DROP
VD		VARIABLE FREQUENCY DRIVE
WP		WEATHERPROOF
-42		SUBSCRIPT LOCATED NEXT TO THE DEVICE MEANS 42" AFF TO CENTER OF DEVICE

GENERAL NOTES	
1.	CODE COMPLIANCE IS MANDATORY. NOTHING IN THESE DRAWINGS AND SPECIFICATIONS PERMITS WORK NOT CONFORMING TO THESE CODES. WHERE WORK IS SHOWN TO EXCEED MINIMUM CODE REQUIREMENTS, COMPLY WITH DRAWINGS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH THE LATEST RULES, CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: A. 2019 CALIFORNIA ELECTRICAL CODE B. 2019 CALIFORNIA BUILDING CODE C. 2019 CALIFORNIA MECHANICAL CODE D. 2019 CALIFORNIA PLUMBING CODE E. 2019 CALIFORNIA FIRE ALARM AND NOTIFICATION CODE F. 2019 CALIFORNIA ENERGY CODE, PART 6 G. LOCAL UTILITY COMPANIES H. ANY OTHER LOCAL CODES, ORDINANCES AND JURISDICTIONS
2.	ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION.
3.	ALL SINGLE AND GANGED PLATES SHALL BE THERMOPLASTIC AND SHALL MATCH THE DEVICE IN COLOR. COORDINATE DEVICE COLOR WITH THE ARCHITECT PRIOR TO INSTALLATION. GANG DEVICES AT GROUP LOCATIONS UNDER A SINGLE COVER PLATE.
4.	THE ELECTRICAL PLANS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL OF THE ARCHITECTURAL DETAIL OR SPECIFICS OF CONSTRUCTION, TAKE ALL DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS, PRIOR TO ROUGH AND FINISH. CONTRACTOR TO REVIEW ALL SUBMITTALS OF EQUIPMENT PROVIDED BY OTHER TRADE AND MAKE NECESSARY ADJUSTMENTS.
5.	ALL CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE MADE WITH A MINIMUM OF 24" OF WEATHERPROOF FLEXIBLE CONDUIT TO PREVENT SOUND AND VIBRATION TRANSMISSION TO THE STRUCTURE.
6.	COORDINATE ALL MOTOR OVERLOADS AND/OR FUSES FURNISHED BY THIS CONTRACT WITH THE ACTUAL EQUIPMENT INSTALLED. SIZE OVERLOADS BASED ON MOTOR NAMEPLATE FULL LOAD CURRENT AND SERVICE FACTOR. FUSES FOR MOTOR AND TRANSFORMER CIRCUITS SHALL BE DUAL ELEMENT. FUSES FOR OTHER "NON-WIRE" LOADS SHALL BE FAST ACTING. ALL FUSES SHALL BE CURRENT LIMITING CLASS RK1 OR CLASS 1, UNLESS OTHERWISE NOTED. FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
7.	GROUNDING CONDUCTORS ARE GENERALLY NOT SHOWN. GROUND AND BOND TOGETHER ALL EQUIPMENT, RACEWAYS, MOTORS, PANELBOARDS AND SWITCHBOARDS, ETC. IN ACCORDANCE WITH NEC ARTICLE 250. BONDING OF ALL INTERIOR METAL PIPING SHALL BE IN ACCORDANCE WITH NEC ARTICLE 250 AS FOLLOWS: A. ALL INTERIOR METAL WATER PIPING SHALL BE BONDED TO ONE OR MORE GROUNDING ELECTRODES USED. THE BONDING JUMPER SHALL BE USED IN ACCORDANCE WITH NEC ARTICLE 250. B. INTERIOR METAL PIPING THAT MAY BECOME ENERGIZED (A GAS PIPING, ETC.) SHALL BE BONDED TO ONE OR MORE GROUNDING ELECTRODES USED. THE BONDING JUMPER SHALL BE SIZED IN ACCORDANCE WITH NEC ARTICLE 250, USING THE RATING OF THE CIRCUIT THAT MAY ENERGIZE THE PIPING SYSTEM. C. INTERIOR METAL PIPING SYSTEM SEPARATED BY A PLUMBING EQUIPMENT (E.G. METER, WATER HEATER) SHALL BE PROVIDED WITH A BONDING JUMPER SIZED PER NEC ARTICLE 250. ALL GROUNDING ELECTRODE INSTALLED IN THE BUILDING (SINGLE OR MULTIPLE SERVICES) SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING ELECTRODE SYSTEM.
8.	INSTALL ALL WALL MOUNTED POWER, TELEPHONE AND DATA OUTLETS AT -15" A.F.F. TO BOTTOM OF THE BOX, UNLESS OTHERWISE NOTED. INSTALL ALL LIGHTING CONTROL SWITCHES, FIRE ALARM PULLSTATIONS, AND WALL TELEPHONE JACKS AT -48" A.F.F. TO TOP OF THE BOX, UNLESS OTHERWISE NOTED.
9.	CONDUIT PENETRATION OF FIRE RATED PORTIONS OF A STRUCTURE SHALL BE EFFECTIVELY SEALED AND SLEEVED WITH STEEL FLEX 3 FEET EACH SIDE OF THE PENETRATION, OR OTHER APPLIED METHODS.
10.	FIRE ALARM CABLE SHALL BE INSTALLED IN CONDUIT WHERE REQUIRED BY CODE.
11.	RECESSED LIGHT FIXTURES INSTALLED WHERE THERE ARE NO LISTINGS IS REQUIRED TO BE I.C. RATED. ALL LIGHT SWITCHES NOT WITHIN 6" OF THE LUMINAIRE SHALL BE EQUIPPED WITH A PLOTT LIGHT, EVEN IF NOT SHOWN IN THE DRAWINGS. CONTRACTOR TO PROVIDE ALL REQUIRED SEISMIC SUPPORT WIRES FOR THE LIGHTING FIXTURES. PENDANT FIXTURES SHALL BE PROVIDED WITH SEISMIC SUPPORT WIRES SO AS NOT TO HIT ANYTHING ON A 48" DEGREE SWING AND AS REQUIRED BY THE AHJ.
12.	ALL EQUIPMENT SHALL BE LISTED AND SHALL BE INSTALLED AS PER THEIR LISTINGS. INSTALLATION INSTRUCTION FOR ALL LISTED EQUIPMENT SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR AT THE TIME OF INSPECTION. ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION. ALL RECEPTACLES SHALL COMPLY WITH THE LATEST EDITION OF THE N.E.C. EVEN IF NOT SPECIFICALLY IDENTIFIED IN THE DRAWINGS (SPD, AFCI, TAMPER RESISTANT, HOSPITAL, GRADE, ETC.)
13.	CONTRACTOR TO SUBMIT LOAD SUMMARY (SERVICE CAGE SHEET) TO THE ELECTRIC UTILITY COMPANY FOR COORDINATION TO THE EXISTING SERVICE LATERAL/UNDERGROUND CONDUCTOR AND ASSOCIATED UTILITY TRANSFORMER.
14.	STRUCTURAL STEEL FIRE PROOFING THAT WERE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED BY THIS CONTRACTOR.
15.	CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE SUBMITTING BID.
16.	CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, ETC. REQUIRED.
17.	CONTRACTOR SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL UNDER WRITERS OR OTHER APPOINTED INSPECTION Agency CERTIFICATES "ELECTRICAL INSPECTION". THESE CERTIFICATES SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.
18.	IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE OPERATING ELECTRICAL SYSTEM. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL WIRING, EQUIPMENT, MATERIAL, ETC. REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THEY SHALL BE ADDRESSED TO ARCHITECT PRIOR TO BID. NO EXTRA CHARGES WILL BE ALLOWED.
19.	ELECTRICAL SERVICE SHALL BE COORDINATED WITH THE EXISTING FIELD CONDITIONS.
20.	CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE EXACT LOCATIONS (REFER TO HVAC DRAWINGS), WIRE AND CONNECT TO ALL HVAC EQUIPMENT, INCLUDING CONTROLS AND THERMOSTATS.
21.	COURT NUMBER ON THE DRAWINGS ARE FOR IDENTIFICATION ONLY AND DO NOT INDICATE THE POSITION ON THE PANEL BOARD. CONNECT THE CIRCUITS WITH THE LIGHTS/LOADS AND THE RECEPTACLE CIRCUITS NEAR THE TOP OF THE PANEL, AND THE MORE HEAVILY LOADED CIRCUITS NEAR THE BOTTOM. BALANCE ALL CIRCUITS EVENLY BETWEEN PHASES SO THAT FEEDER WIRES CARRY APPROXIMATELY EQUAL CURRENT. ALL PHASES MUST BE BALANCED WITHIN 10% LOSS. CONTRACTOR SHALL REBALANCE IF NECESSARY.
22.	BRANCH CIRCUIT CONDUCTORS SHALL NOT BE LESS THAN NO. 12AWG. THE INSULATION SHALL BE COLOR CODED, AND SHALL BE 600 VOLT, TYPE THHN/THWN COPPER.
23.	CABLES IN HIGH TEMPERATURE AREAS SHALL HAVE INSULATION TYPE SUITABLE FOR THE TEMPERATURE. CABLES USED IN SPACES FOR ENVIRONMENTAL AIR SHALL CONFORM WITH APPLICABLE NEC REQUIREMENTS.
24.	ALL WIRING USED IN RETURN OR DISCHARGE AIR PLenums SHALL BE PLenum RATED OR INSTALLED PER METHODS APPROVED BY THE LATEST EDITION OF THE NEC FOR SUCH APPLICATION.
25.	BRANCH CIRCUITS FOR POWER AND LIGHTING SHALL NOT BE LESS THAN #12 AWG. OR AS NOTED. WIRES ARE TO BE SIZED FOR THE APPROPRIATE VOLTAGE DROPS.
26.	ALL EQUIPMENT AND LIGHT FIXTURES WIRING SHALL NOT BE LESS THAN #12 AWG TYPE SFF-2 AND FLEXIBLE CORDS SHALL NOT BE LESS THAN #12 AWG TYPE 5.
27.	CONTROL WIRING SHALL NOT BE LESS THAN #14 AWG UNLESS OTHERWISE NOTED.
28.	HOMERUNS SHOWN ARE SCHEMATIC. CONTRACTOR MAY ORIGINATE HOMERUNS FROM DIFFERENT LOCATIONS. ALL WIRE INCLUDING HOMERUNS SHALL BE Delineated ON AS-BUILT DRAWINGS.
29.	ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED.
30.	ALL SLAB PENETRATIONS SHALL BE INSTALLED AND FIRE RATED PER NATIONAL, STATE AND LOCAL CODES.
31.	DO NOT MAKE ANY CHANGES OR SUBSTITUTIONS WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER.
32.	GUARANTEE ALL WORK, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
33.	THIS DESIGN IS BASED ON INTIAL DESIGN DATA. GENERAL CONTRACTOR TO SUPPLY AND INSTALL FEEDERS, FUSES AND CIRCUIT BREAKERS TO MATCH THE NAMEPLATE RATING OF ALL EQUIPMENT. THIS SHALL BE INCLUDED IN THE INTIAL BID PROPOSAL, AND BID EXTRAS SHALL BE ENTERAINED.
34.	THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH GOOD COMMERCIAL PRACTICE INCLUDING THE INSTALLATION OF ALL THE EQUIPMENT MATERIALS AND SYSTEMS AND THE FINAL CONNECTIONS TO THE OWNER'S EQUIPMENT AND FIXTURES AS REQUIRED BY THE OWNER. THE CONTRACTOR SHALL ALSO FURNISH TEMPORARY WIRING AND LIGHTING TO PROVIDE A MINIMUM OF 24 HOURS WORK AREA FOR USE OF ALL THE TRADES DURING CONSTRUCTION AND THE INSTALLATION OF THE OWNERS FIXTURES. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL TEMPORARY WIRING UPON COMPLETION OF CONSTRUCTION OF ALL TRADES.
35.	CONTRACTOR SHALL LABEL ALL JUNCTION BOX, OUTLETS, LIGHT SWITCH, ETC. WITH CIRCUIT NUMBER ON INTERIOR OF COVER PLATE.
36.	CONTRACTOR SHALL PROVIDE SEISMIC RESTRAINTS AND SUPPORTS FOR ALL FLOOR AND CEILING MOUNTED ELECTRICAL EQUIPMENT TO RESIST EARTHQUAKE EFFECTS DETERMINED IN ACCORDANCE WITH THE BUILDING CODE.
37.	THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL SUPPLEMENTARY SUPPORT, INCLUDING SUPPORT STEEL AS REQUIRED TO HANG ALL EQUIPMENT AND LIGHTING FROM THE EXISTING STRUCTURE IN ACCORDANCE WITH THE ARCHITECTURAL/STRUCTURAL SUPPORT AND LOADING CRITERIA.
38.	IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE FULLY DIMENSIONED COORDINATION DRAWINGS FOR ALL OF HIS RESPECTIVE WORK. THESE DRAWINGS MUST BE FULLY COORDINATED WITH ALL EXISTING CONDITIONS. ALL HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL, LIGHTING, STRUCTURAL AND ARCHITECTURAL SYSTEMS PRIOR TO PREPARING COMPOSITE MULTI DISCIPLINE COORDINATION DRAWINGS.
39.	ALL DISCONNECTING MEANS AND EQUIPMENT INDICATED ON THE DRAWING SHALL BE IDENTIFIED BY NAMEPLATE IN COMPLIANCE WITH THE NEC 110.22.
40.	ALL WIRING FOR THE EMERGENCY LIGHTING AND EMERGENCY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 700.
41.	THE WIRING METHODS AND MATERIALS INDICATED IN THE SPECIFICATIONS AND ON THE DRAWINGS SHALL BE INSTALLED AND CONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 300.
42.	THE ELECTRICAL SERVICE AND DISTRIBUTION SYSTEM AS INDICATED ON THE RISER DIAGRAM AND MATERIALS INDICATED IN THE SPECIFICATIONS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 230.
43.	ALL OVER CURRENT PROTECTION SHALL BE IN COMPLIANCE WITH THE NEC SECTION 240.
44.	PRIOR TO ANY REQUIRED CUTTING AND PATCHING OF CONCRETE FLOOR AND/OR CUTTING OF ROOF CONTRACTOR SHALL COORDINATE WITH BUILDING ENGINEER, SEAL ALL EXTERIOR AND PREWALL PENETRATIONS.
45.	FOR ALL LIGHTING FIXTURES MOUNTED IN HUNDING CEMENT THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL INDIVIDUAL SUPPORT AT EACH CORNER OF RECESSED LIGHTING TRIGGER CONNECTED TO BUILDING STEEL ABOVE ALL CONDUIT AND MC CABLE MOUNTED ABOVE HUNG CEILING SHALL BE INDIVIDUALLY SUPPORTED IN THE SAME FASHION AS PER NEC REQUIREMENTS.
46.	NO "DOUBLING UP" ON CIRCUIT BREAKERS OR CONDUCTOR SPLICES WITH IN PANEL BOARDS SHALL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE JUNCTION BOXES ADJACENT TO PANELBOARDS AS REQUIRED TO SPACE COMMON CIRCUITS CONNECTORS.
47.	DO NOT SCALE FROM THESE DRAWINGS.
48.	PLANS ARE PREPARED WITH THE REQUIRED BRANCH CIRCUITS INDICATED BY CIRCUITS NUMBERS. PROVIDE AND INSTALL ALL CONDUITS, CONDUCTORS, BOXES, MISCELLANEOUS FITTINGS, ETC. FOR A COMPLETE AND OPERABLE SYSTEM (HOME RUN SHOWN). BRANCH CIRCUIT INSTALLATION SHALL COMPLY WITH SPECIFICATIONS AND NEC.
49.	NATIONALLY RECOGNIZED TESTING LABORATORY SHALL TEST ALL EQUIPMENT IN COMPLIANCE WITH Q. NEC ART. 110.3.
50.	ALL CONDUITS SHALL MAINTAIN FIVE (5) FEET CLEARANCE IN FRONT OF HVAC SUPPLY AND RETURN.
51.	CONTRACTOR TO PROVIDE CONDUIT EXPANSION COUPLINGS AND BONDING JAMPERS WHERE REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR EXPANSION JOINT LOCATION.
52.	PROVIDE IDENTIFIED HANDLE TIES FOR ALL MULTI WIRE BRANCH CIRCUITS PER NEC 210.4(B).
53.	THE WORKING SPACES ABOVE THE ELECTRICAL EQUIPMENT SHALL BE MAINTAINED PER NEC 110.28(A). THE DEDICATED EQUIPMENT SPACE SHALL BE MAINTAINED PER NEC 110.26(B).
54.	THE CONTRACTOR FOR THIS WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS OF ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.

CAL. GREEN BUILDING CODE REQUIREMENTS	
BUILDING COMMISSIONS	
CONTRACTOR SHALL PROVIDE AND INCLUDE IN BID:	
A.	TESTING AND ADJUSTING, TESTING AND ADJUSTING OF SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY BEST PRACTICES AND AHP-CIBEST STANDARDS OF EACH SYSTEM AS DETERMINED BY THE BUILDING OFFICIAL. PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
TESTING AND ADJUSTMENT PROCEDURE FOR LIGHTING CONTROLS	
WALL AND CEILING MOUNTED OCCUPANCY SENSOR	
TESTER SHALL MANUALLY TURN ON LIGHT FIXTURE VIA THE SWITCH PROVIDED. ONCE LIGHT FIXTURE IS TURNED ON, TESTER SHALL INITIATE TIMER. SET TO MAXIMUM 30 MINUTES. AFTER WHICH THE LIGHT FIXTURES SHALL BE AUTOMATICALLY TURNED OFF EITHER AT THE END OF THE MAXIMUM ALLOWED 30 MINUTES OR EARLIER. IF FIXTURE DO NOT TURN OFF AFTER THE MAXIMUM ALLOWED TIME, TESTER TO OPEN OCCUPANCY SENSOR COVER AND CHECK TIMER SETTING AND ADJUST AUTOMATIC OFF TIMER TO 30 MINUTES OR LESS AND REPEAT PROCEDURE.	
TESTER TO FOLLOW MANUFACTURERS INSTRUCTION ON HOW TO SETUP OCCUPANCY SENSOR TO ENSURE SENSOR IS WORKING AND SENSITIVITY.	
WALL SWITCH FOR MANUAL ON/OFF AND DIMMING:	
TESTER SHALL MANUALLY TURN ON LIGHT FIXTURE VIA THE SWITCH PROVIDED. ONCE LIGHT FIXTURE IS TUNED ON, TESTER SHALL DIM FIXTURE VIA THE DIMMING FUNCTION AND BUTTONS/SLIDER ON THE SWITCH AND OBSERVE FIXTURE TO ENSURE THAT LIGHT FIXTURES LIGHT LEVEL IS REDUCED UNIFORM AS THE FIXTURE IS DIMMED DOWN AND PAPPED UP.	
IF LIGHT FIXTURE IS NOT TURNED ON/OFF OR DIMMED, TESTER TO CHECK CONNECTION BETWEEN SWITCH, POWER PACK AND SENSOR. IF APPLICABLE TO ENSURE ALL WIRING IS DONE CORRECTLY PER MANUFACTURERS INSTALLATION INSTRUCTION AND REPEAT TESTING PROCEDURE.	
AUTOMATIC OFF VIA TIMELOCK AND CONTRACTOR	
TESTER SHALL INSPECT TIMELOCK TO ENSURE THAT THE AUTOMATIC ON/OFF SCHEDULE IS SET PROPERLY PER TYPICAL CRITERIA. ONCE SCHEDULING IS SETUP, TESTER CAN ADJUST THE INTERNAL CLOCK OF THE TIMELOCK TO ADVANCE TO WITHIN 1 MINUTE OF THE AUTOMATIC ON/OFF TIME AS IF ALL LIGHTS SET TO TURN OFF AUTOMATICALLY BY THE TIMELOCK IS SHUT OFF AS IT SHOULD BE.	
IF LIGHTS DO NOT TURN OFF AT THE SET SCHEDULE, CHECK TO ENSURE THAT THE TIMELOCK IS SET UP PROPERLY AND ALL CONTRACTOR ARE CONNECTED PROPERLY TO THE TIMELOCK AND CHECK AGAIN.	
TESTING AND ACCEPTANCE PER TITLE 4:	
ALL TESTING AND ADJUSTMENT SHALL BE PROVIDED BY A PERSON/COMPANY THAT IS CERTIFIED TO PROVIDE TESTING, ADJUSTING AND PROVIDING ACCEPTANCE FORM/NCA PER TITLE 4 REQUIREMENTS. THIS IS REQUIRED FOR ALL LIGHTING CONTROL DEVICES AND SYSTEM.	
A FINAL REPORT FOR THE TESTING AND ADJUSTING OF ALL NEW SYSTEMS SHALL BE COMPLETED PRIOR TO FINAL APPROVAL BY THE FIELD INSPECTOR. THIS REPORT SHALL BE SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES. (4.14.1.4)	
AN OPERATION & SYSTEMS MANUAL SHALL BE PROVIDED TO THE OWNER OR REPRESENTATIVE AND TO THE FIELD INSPECTOR AT THE TIME OF FINAL INSPECTION. (4.14.1.4)	
B.	OPERATION AND MAINTENANCE (OM) MANUAL - PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH THE DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF QUANTITIES/MATERIALS FOR EACH SYSTEM. OM INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CFR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
C.	INSPECTIONS AND REPORTS - INCLUDE A COPY OF ALL INSPECTIONS, VERIFICATIONS, AND REPORTS, REQUIRED BY THE ENFORCING AGENCY.

DEMOLITION NOTES	
1.	WHERE REMOVAL OF AN EXISTING WORK (E.G. OUTLET, CONDUIT, WIRING ETC.) WILL RESULT IN LOSS OF CIRCUIT CONTINUITY, THE REMAINING ISOLATED PORTIONS OF THE CIRCUIT SHALL BE RECONNECTED TO THE NEAREST AVAILABLE AND APPROPRIATE EXISTING OUTLETS.
2.	WHERE EXISTING WIRING OR EQUIPMENT IS TO BE ABANDONED, IT SHALL BE REMOVED AND THIS WORK SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING: A. REMOVE WIRES AND CABLES BACK TO SOURCE B. REMOVE AND RELOCATE LIGHTING FIXTURES C. REMOVE DEVICES AND EQUIPMENT D. REMOVE EXPOSED CONDUITS E. CUT OFF A CAP REMARKED CONDUIT. STUBS SHALL NOT EXTEND ABOVE FLOOR F. REMOVE OTHER ITEMS NOT INCLUDED IN ITEMS (A) THRU (D)
3.	WHERE EXISTING WIRING, DEVICES AND EQUIPMENT ARE REMOVED, SUCH ITEMS SHALL NOT BE RE-USED UNLESS SPECIFICALLY DIRECTED AND APPROVED BY OWNER.
4.	REFER TO DEMOLITION NOTES ON ARCHITECTURAL DRAWINGS, REGARDING EXISTING LIGHT FIXTURES.
5.	REROUTE ALL CONDUITS THAT ARE TO REMAIN IN SERVICE AND WHICH CONFLICT WITH EQUIPMENT INSTALLATION.
6.	WHEREVER EXISTING ELECTRICAL DEVICES, CONDUITS, CABLES, OR OTHER ITEMS CONFLICT WITH REMOVAL WORK, WHETHER SHOWN OR NOT, RELOCATE THESE ITEMS.
7.	PATCH AND PAINT TO MATCH EXISTING, ALL AREAS AFFECTED BY REMOVAL OF ELECTRICAL EQUIPMENT AND DEVICES.
8.	DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES IN EXISTING CEILING AND WALLS WHICH ARE REQUIRED TO BE DEMOLISHED, WHETHER SHOWN OR NOT, MAINTAIN CIRCUITS TO ALL REMAINING DEVICES.
9.	ALL LIGHT FIXTURES, WIRING METHODS, ETC. WITH A PLenum CEILING MUST BE "PLenum RATED" AS PER LOCAL ORDINANCES.
10.	REMOVE ALL EQUIPMENT, DEVICES, WIRING AND EXPOSED CONDUIT NOT BEING USED.
11.	VERIFY ALL DEMOLITION WORK REQUIRED BY THE LANDLORD WITH LANDLORD'S REPRESENTATIVE PRIOR TO BID.

SHEET INDEX	
DWG NO.	DRAWING TITLE
E.0.0	ELECTRICAL GENERAL INFORMATION
E.P1.0	ELECTRICAL SITE PHOTOMETRIC PLAN
ELECTRICAL SCOPE OF WORK	
1.	PREPARE SITE LIGHTING PHOTOMETRIC CALCULATION. SEE E.P1 FOR MORE INFORMATION.

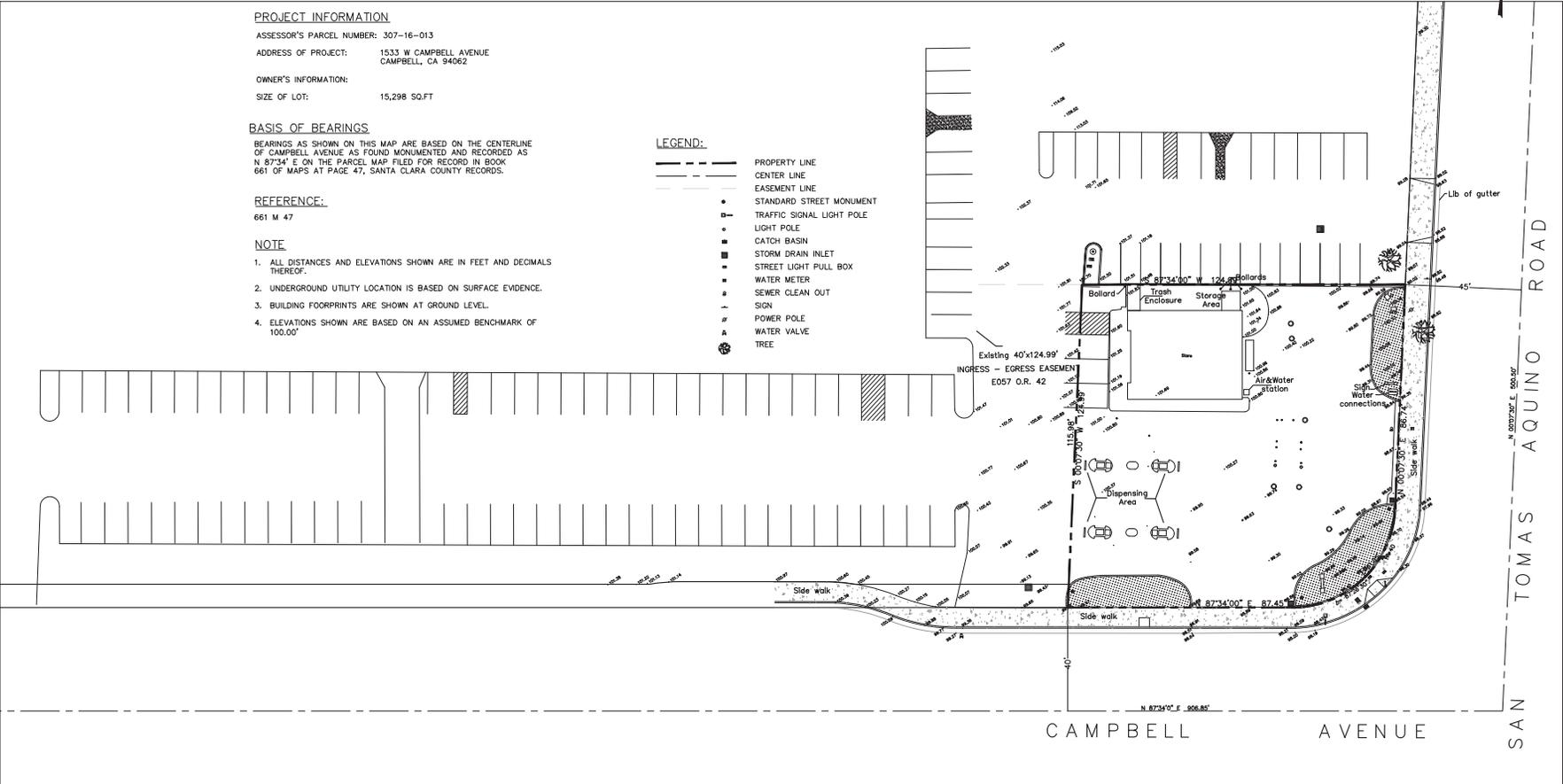


REVISIONS	BY

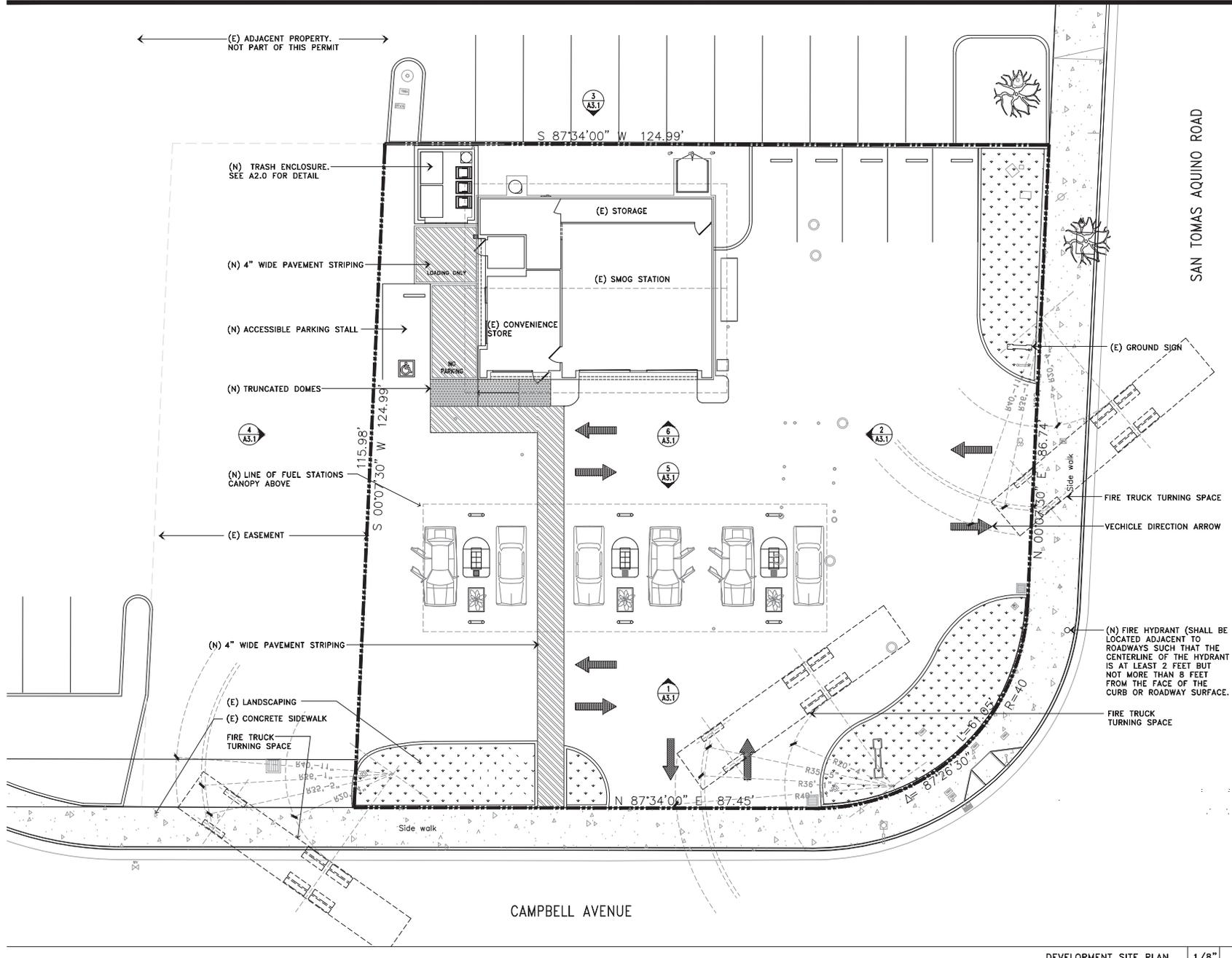
TOPOGRAPHIC SURVEY  
1533 W CAMPBELL AVENUE  
CAMPBELL, CA

DATE: 03/26/ 2019  
DRAWN BY: TP  
FIELD SURVEY BY: HE

SV-1



THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE AND SHALL NOT BE EXTENDED TO ANY OTHER PURPOSES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE AND SHALL NOT BE EXTENDED TO ANY OTHER PURPOSES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE AND SHALL NOT BE EXTENDED TO ANY OTHER PURPOSES.

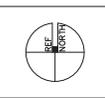


UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL · CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

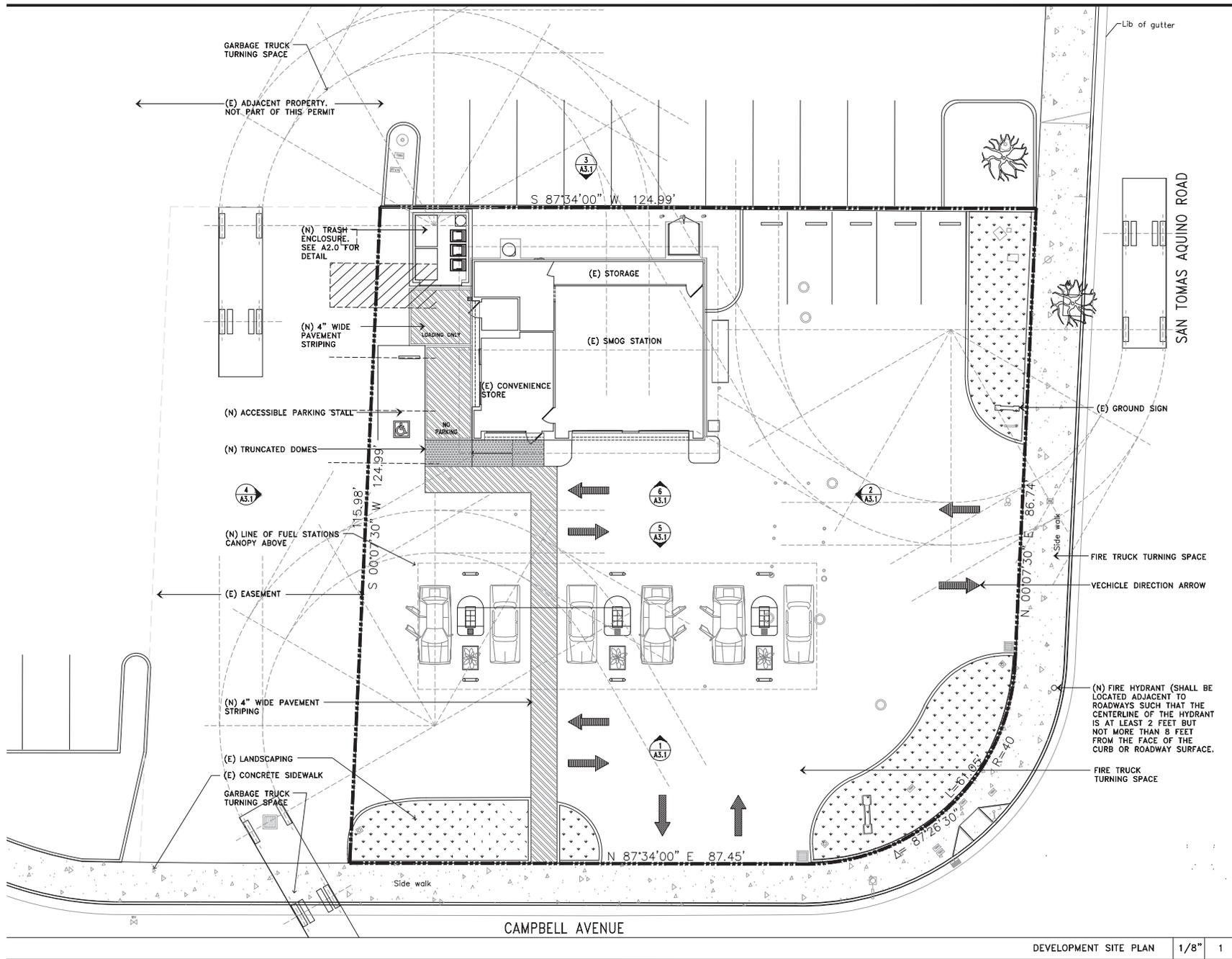
PROJECT NO.: 19-7230

EMERGENCY ACCESS PLAN



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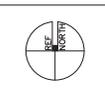


UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPPELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

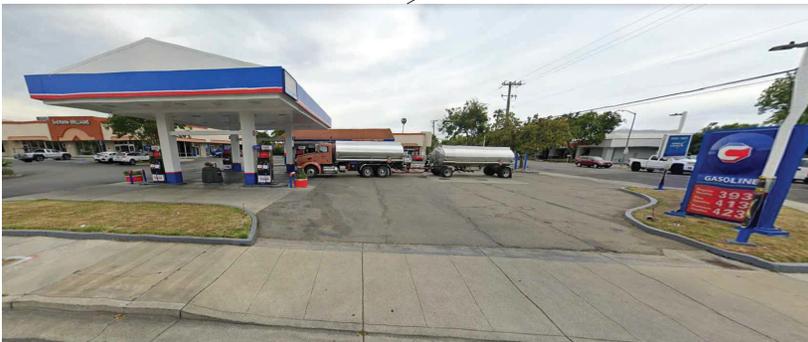
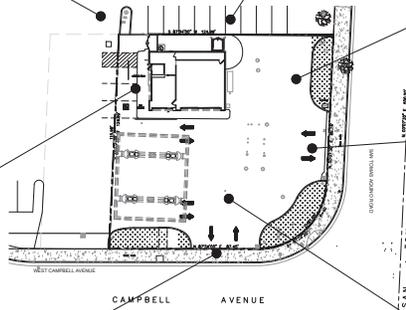
PROJECT NO.: 19-7230

TRASH MANAGEMENT PLAN



A5.1

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UNIFORM DEVELOPMENT APPLICATION  
SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
CAMPBELL, CA 95008

- 01.15.20 ISSUED FOR PLANNING
- 03.31.20 ISSUED FOR PLANNING
- 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

SITE PHOTOGRAPHS



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CITY OF CAMPBELL • PLANNING COMMISSION  
Staff Report • September 22, 2020

PLN2019-206

Schwager, M.

Public Hearing to consider the application of Michael Schwager for a Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building; a Parking Modification Permit to allow a reduction in the number of required parking stalls; and a Variance (PLN2019-207) to allow retention of existing overhead utility lines, for property located at **1055 Florence Way**, in the P-D (Planned Development) Zoning District.

**STAFF RECOMMENDATION**

That the Planning Commission take the following actions:

1. **Adopt a Resolution** (reference **Attachment 1**), recommending that the City Council approve a Planned Development Permit with a Parking Modification Permit to allow construction of a 7,002 square-foot single-story industrial building; and
2. **Adopt a Resolution** (reference **Attachment 2**), recommending that the City Council approve a Variance to allow retention of existing overhead utility lines.

**ENVIRONMENTAL (CEQA) DETERMINATION**

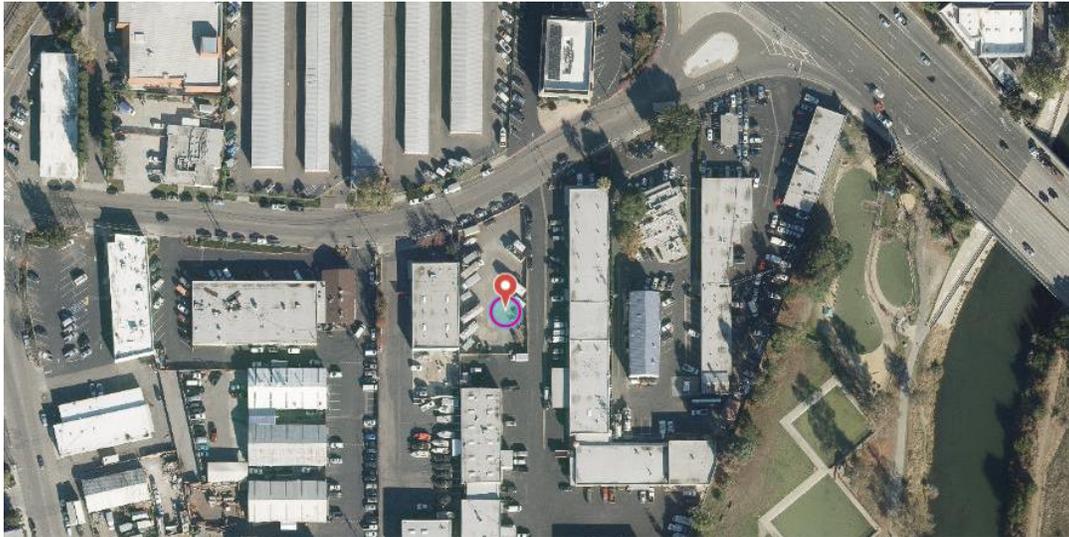
Staff recommends that the Planning Commission recommend that the City Council find this project Categorical Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to new construction of small structures which allows up to four (4) commercial buildings with a floor area not exceeding 10,000 square feet in an urbanized area.

**PROJECT DATA**

<b>Zoning District:</b>	P-D (Planned Development)	
<b>General Plan Designation:</b>	<i>Light Industrial</i>	
<b>Net Lot Size:</b>	17,487 square-feet	
<b>Building Area:</b>	7,002 square-feet	
<b>Floor Area Ratio (FAR):</b>	.40	
<b>Landscaping:</b>	13%	
<b>Building Height:</b>	32 feet	
<b>Parking:</b>	15 spaces (proposed)	18 spaces (required)
<b>Setbacks</b>		
Front (North):	10 feet	
Side (East):	22 feet (to edge of private street)	
Side (West):	10 feet	
Rear (South):	0 feet	

## DISCUSSION

Location: The project site is an approximately 17,500 square-foot vacant parcel located at the corner of E. Sunnyside Avenue and Florence Way (a private street). The property is within the P-D (Planned Development) Zoning District and the *Light Industrial* General Plan Land Use District. The site abuts industrial properties in all directions, as shown below:



Previous Project: In May 2012, the City Council approved a Planned Development rezoning and a Tentative Parcel Map to allow the subdivision of the subject property into two parcels and construction of a 6,700 square-foot light industrial building designed to accommodate automotive repair businesses. Although the lot split was finalized and the property remains zoned Planned Development, the approved building was never constructed, and the Planned Development Permit approval lapsed.

Proposed Project: The proposed project includes applications for a Planned Development Permit and a Parking Modification Permit to construct an approximately 7,000 square-foot light industrial building similar to that previously approved (reference **Attachment 3** – Project Plans). An application for a Variance to allow retention of existing overhead utility lines has also been submitted.

## ANALYSIS

Zoning/Land Use: The project site is located within the P-D (Planned Development) Zoning District. Development within the P-D Zoning District must be consistent with the underlying General Plan Land Use designation as well as applicable General Plan goals, policies, and strategies. As the project is a light industrial building consistent with the General Plan (see, below), it would be consistent with the intent of P-D Zoning District.

General Plan: The General Plan land use designation for the project site is *Light Industrial*. The Light Industrial designation is intended to protect industrial lands for a wide range of light manufacturing, industrial processing, general service, warehousing, storage and distribution, and automobile repair uses. Construction of a new light industrial building on a currently vacant lot would be in furtherance of the General Plan's intent as well as the following policies and strategies:

- Policy LUT-5.7: Industrial Areas: Industrial development should have functional and safe vehicular, bicycle and pedestrian circulation, good site and architectural design, be sensitive to surrounding uses, connect to public transit, and be energy efficient. New projects should contribute to the positive character of industrial areas and the overall image of the City.
- Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces and natural resources.
- Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.
- Strategy LUT-11.1d: Bicycle and Pedestrian Connections in Development: Encourage new or redeveloping projects to provide logical bicycle and pedestrian connections on site, between parking areas, buildings, and street sidewalks and to existing or planned public right-of-way facilities and encourage pedestrian passages between street-front sidewalks and rear-lot parking areas. Ensure that the bicycle and pedestrian connections interface safely.
- Strategy LUT-12.1c: Parking Lot Design: Design parking lots to minimize impacts on the street system by providing adequate sized driveways, sufficient queuing and efficient circulation.
- Strategy LUT-13.1: Variety of Uses: Attract and maintain a variety of uses that create an economic balance within the City while maintaining a balance with other community land use needs, such as housing and open space, and while providing high quality services to the community.

Architectural Design: The proposed building marries split-face block in alternating shades of grey with a contemporary entry treatment characterized by an accentuated vertical entry element with an angular roof cantilevering beyond the front building wall. To provide texture to the building, varied materials are also found, including white and orange colored stucco, metal fascia panels with a blackened finish, a composite wood accent, and a steel canopy above the entry door. The result is a purpose-built industrial building that still provides an enhanced architectural presence that will contribute to the improvement of the immediate area.

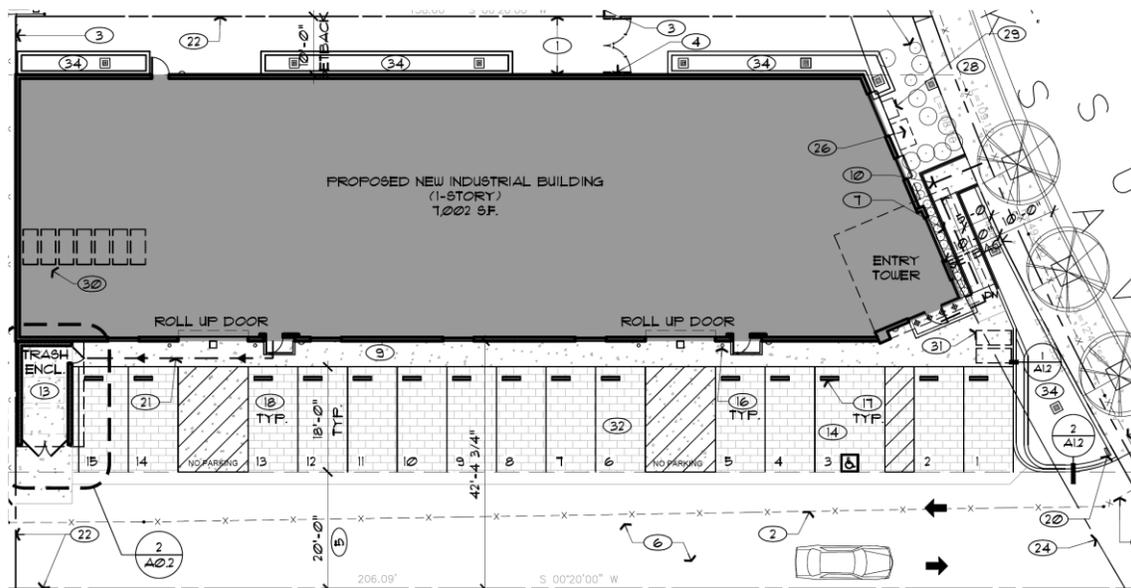


The architectural approach is consistent with the various General Plan policies and strategies identified below, which speak to the necessity of good design and site planning. Moreover, new development should be creatively designed to suit their location and be compatible with their surroundings.

- Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces, and natural resources.
- Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.

- Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.
- Strategy LUT-5.7a: Industrial Design Guidelines: Industrial Design Guidelines: Develop Industrial Design Guidelines with specific policies including, but not limited to the following:
- Require varied, high-quality, finished construction materials such as glass, stucco, plaster, or brick. No exposed concrete block or flat sheet metal.
  - Enhance the street frontage of building with landscaping and an emphasis on the office portion of the building.
  - Orient service activities such as loading docks to the rear of the site.

Site Layout/Circulation: Reflecting the property's geometry and orientation, the proposed site layout places the parking stalls along the left side of the building, rather than in front or behind it, as is customarily done. This is possible because Florence Way functions more as a large shared driveway rather than a true street. The building's entry is located at the northeast corner of the building to provide a visible presence along Sunnys Avenue. A ramp from the new public sidewalk will provide pedestrian access.



Parking: The City's parking standard for a general industrial building is one stall per 400 square-feet of gross floor area. For the 7,000 square-foot building, this would result in a requirement of 18 stalls (17.5 rounded up). As noted, the application includes a Parking Modification Permit to reduce the requirement to 15 stalls. In making such a request, the Zoning Code requires "the applicant to provide pertinent documentation necessary to establish evidence in support of the findings..." To this end, the applicant has provided the following statement:

We recognize the benefit and necessity of providing adequate parking in Campbell. When this project was first proposed and approved by the planning commission in 2012, 12 spaces were provided. We have reconfigured to add as many spaces as possible while still creating a viable commercial site. We propose that 15 parking spaces are ample for this site (a reduction of 3 from the 18 we calculate would be required according to the proposed land use). We therefore request a parking modification based on the following rationale:

- A. Other transit options will be utilized by some employees/customers at this location: 1075 Florence Way is 0.15 mi. (800 ft.) from a bike trail (the Los Gatos Creek Trail), 0.1 mi. (600 ft.) from a city planned bike lane (San Tomas), 0.17 mi. (900 ft.) from a city planned bike route (Winchester), 0.35 mi. from the Hacienda VTA bus stop (with other stops along Winchester), and 0.5 mi. from the Winchester VTA rail station. The building will be clean, modern, and urban, drawing tenants and clientele who embrace modern changes in the flow of transportation (ride sharing, bicycles, rail, and small, battery operated/assisted means of travel).
- B. This expectation is in keeping with the City of Campbell's General Plan; in fact, 1075 Florence Way is one of the few properties in the city with nearly immediate access to all three types of planned access for bicycles (lanes, routes, and paths/trails, per the Bicycle and Pedestrian Advisory Committee's Citywide Bike Map). Please find support for our requested parking variance with Exhibit A (reference **Attachment 4**), highlighting the City of Campbell's Bicycle Facility Map and its relationship to 1075 Florence Way.
- C. In addition to the General Plan, the Winchester Master Plan (which includes territory nearby 1075 Florence Way) speaks in concert with this expectation: "The Winchester Boulevard corridor is gradually evolving from a 'commercial strip,'...to a higher-value boulevard street with higher density office, infill residential development, and locally oriented commercial businesses... Public street improvements should support multi-modal transportation opportunities for vehicles, bikes and pedestrians" (pg. 13, "Vision Concept").
- D. Toward this end, we include indoor bicycle and battery powered/assisted device parking/storage and personal showering facilities on site.

What should be clarified is that the previous building approval was for a slightly smaller, 6,700 square-foot building that conformed to the City's parking requirements, but would have been limited to motor vehicle repair businesses. This project is 300 square-feet larger and is intended to accommodate a wider range of industrial businesses. In addition, the applicant needs to understand that fewer parking stalls for a speculatively designed building will limit the business types that can occupy the space (see following section). Staff has seen too many times these types of projects resulting in future parking modifications for uses that require a greater amount of parking than the original developer wished to provide. To this end, the Planning may wish to consider either reducing the building size and/or adding additional parking.

This being said, the Planning Commission may also consider the parking standard provided by the Institute of Transportation Engineers (ITE) as a point of comparison. The ITE *Parking Generation* guide indicates a parking demand of five vehicles based on the average ITE rate or seven vehicles based on the ITE fitted curve. This would suggest that the City's parking standard may exceed the actual parking demand for most industrial activities. To some degree, this may support an opinion that a lesser amount parking than required by the City's Parking Ordinance may be appropriate.

Land Use Restrictions: Since the site would have less than the normally required amount of parking, a recommended condition of approval would restrict the allowable land uses to manufacturing, warehousing, including contractor's *indoor* material and equipment storage. This would allow use of the building by the applicant, who has expressed a desire to occupy it as satellite location to their main San Jose office.

Since the property is zoned Planned Development, establishment of any other use would require discretionary review by Community Development Director through consideration of an Administrative Planned Development Permit. Through this process, the City may evaluate future land use proposals in consideration of the provided parking. As such, should the City Council approve the parking reduction, the City still retains the ability to evaluate potential parking impacts on a case-by-case- basis.

Landscaping: The project site would be landscaped in compliance with the City’s landscaping provisions and the State's Model Water Efficient Landscaping Ordinance (MWELo). In total, the project would result in a landscape area of approximately 2,250 square-feet or 13% of the site's lot area, exceeding the City's minimum 8% requirement for M-1 (Light Industrial) zoned properties.

Utility Variance: Campbell Municipal Code Section 21.18.140 requires the undergrounding of existing overhead utilities parallel with the project site's public street frontage (approximately 110 feet). However, the applicant's utility consultant found that to satisfy this requirement would require placement of two additional utility poles to accommodate the transition from overhead to below-ground service and disruption to neighboring properties' utility services (reference **Attachment 5 – Undergrounding Examination**). Unfortunately, this is an increasingly common occurrence stemming from more stringent PG&E requirements that suggest the City will eventually need to reevaluate its undergrounding of utility requirements. For this application, the applicant is requesting a Variance to allow retention of existing overhead utility lines and use of overhead service to the building. This approach is supported by the City's Public Works Department who has reviewed and concurs with the applicant's utility assessment.

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) reviewed this application at its meeting of August 25, 2020. The SARC members complimented the building's design as a good balance between architecture and economics and supported the requested parking modification request due to the proximity of the creek trail and incorporation of indoor bicycle/scooter parking and showering facility. The SARC also supported the utility variance finding that the imposition of the requirement is not worth the expense and complexity for such a small frontage.

Attachments:

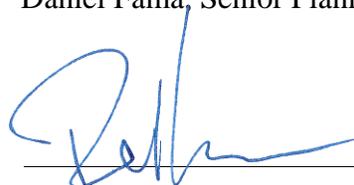
1. Draft Resolution (PD Permit)
2. Draft Resolution (TRP Permit)
3. Project Plans
4. Applicant's Transit Access Map
5. Undergrounding Examination

Prepared by:



Daniel Fama, Senior Planner

Approved by:



Paul Kermoyan, Community Development Director

**RESOLUTION NO. 457\_**

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING THAT THE CITY COUNCIL APPROVE A PLANNED DEVELOPMENT PERMIT (PLN2019-206) TO ALLOW CONSTRUCTION OF A 7,002 SQUARE-FOOT SINGLE-STORY INDUSTRIAL BUILDING AND A PARKING MODIFICATION PERMIT TO ALLOW A REDUCTION IN THE NUMBER OF REQUIRED PARKING STALLS, FOR PROPERTY LOCATED AT **1055 FLORENCE WAY**. FILE NO.: PLN2019-206

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Planned Development Permit (PLN2019-206) with a Parking Modification Permit:

1. The Proposed Project is application for a Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building with a Parking Modification Permit to allow a reduction in the number of required parking stalls; and an associated Variance to allow retention of existing overhead utility lines, under separate approval.
2. The Project Site is an approximately 17,500 square-foot vacant parcel located at the corner of E. Sunnyoaks Avenue and Florence Way.
3. The Project Site is an undeveloped component of a May 2012 City Council approval of a Planned Development rezoning and a Tentative Parcel Map to allow the subdivision of the subject property into two parcels and construction of a 6,700 square-foot light industrial building designed to accommodate automotive repair businesses. Although the lot split was finalized and the property remains zoned Planned Development, the approved building was never constructed, and the Planned Development Permit approval lapsed.
4. The Project Site is designated by the Campbell Zoning Map as P-D (Planned Development) and by the Campbell General Plan Land Use Diagram as *Light Industrial*.
5. Campbell Municipal Code Section 21.28.040, Table 3-1 (Parking Requirements by Land Use) specifies that 'General manufacturing, industrial, and processing uses' require parking in an amount equal to 1 stall per 400 square-feet of gross floor area. For the proposed 7,000 square-foot industrial building, this standard yields a requirement of 18 parking stalls (17.5 rounded up).
6. The requested Parking Modification Permit would allow a reduction in parking from 18 stalls to 15 stalls. The Project Applicant has requested the reduction due to the proximity public transportation and bicycle trails and incorporation of indoor bicycle and scooter parking, and personal showering facilities.

7. The Institute of Transportation Engineers (ITE) *Parking Generation* guide indicates a parking demand of five vehicles based on the average ITE rate or seven vehicles based on the ITE fitted curve for a 7,000 square-foot building.
8. The Planned Development Permit approval would restrict the allowable land uses to manufacturing and warehousing commensurate with the provided parking. Establishment of any other use would require discretionary review by Community Development Director through consideration of an Administrative Planned Development Permit.
9. The Proposed Project would be consistent with the following General Plan policies and strategies:

Policy LUT-5.7: Industrial Areas: Industrial development should have functional and safe vehicular, bicycle and pedestrian circulation, good site and architectural design, be sensitive to surrounding uses, connect to public transit, and be energy efficient. New projects should contribute to the positive character of industrial areas and the overall image of the City.

Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces and natural resources.

Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.

Strategy LUT-11.1d: Bicycle and Pedestrian Connections in Development: Encourage new or redeveloping projects to provide logical bicycle and pedestrian connections on site, between parking areas, buildings, and street sidewalks and to existing or planned public right-of-way facilities and encourage pedestrian passages between street-front sidewalks and rear-lot parking areas. Ensure that the bicycle and pedestrian connections interface safely.

Strategy LUT-12.1c: Parking Lot Design: Design parking lots to minimize impacts on the street system by providing adequate sized driveways, sufficient queuing and efficient circulation.

Strategy LUT-13.1: Variety of Uses: Attract and maintain a variety of uses that create an economic balance within the City while maintaining a balance with other community land use needs, such as housing and open space, and while providing high quality services to the community.

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Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.

Strategy LUT-5.7a: Industrial Design Guidelines: Industrial Design Guidelines: Develop Industrial Design Guidelines with specific policies including, but not limited to the following:

- Require varied, high-quality, finished construction materials such as glass, stucco, plaster, or brick. No exposed concrete block or flat sheet metal.
- Enhance the street frontage of building with landscaping and an emphasis on the office portion of the building.
- Orient service activities such a loading docks to the rear of the site.

10. In review of the proposed project, the Planning Commission considered the site circulation, traffic congestion, and traffic safety effects of the project, including the effect of the site development plan on traffic conditions on abutting streets; the layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exit driveways, and walkways; the arrangement and adequacy of off-street parking facilities to prevent traffic congestion; the location, arrangement, and dimensions of truck loading and unloading facilities; the circulation patterns within the boundaries of the development, and; the surfacing and lighting of the off-street parking facilities.
11. The Planning Commission further considered the landscaping design of the proposed project, including the location, height, and material offences, walls, hedges, and screen plantings to ensure harmony with adjacent development or to conceal storage areas, utility installations, and other unsightly aspects of the development; the planting of groundcover or other surfacing to prevent dust and erosion, and the preservation of existing healthy trees.
12. The Planning Commission further considered the proposed project's architectural and site layout, including the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to the surrounding neighborhood; the exterior design in relation to adjoining structures in terms of area, bulk, height, openings, and breaks in the facade facing the street; and appropriateness and compatibility of the proposed uses in relation to the adjacent uses and the area as a whole.
13. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

Planned Development Permit Findings (CMC Sec. 21.12.030.H.6)

1. The proposed development will clearly result in a more desirable environment and use of the land than would be possible under any other zoning district classification;
2. The proposed development will be compatible with the General Plan of the City and will aid in the harmonious development of the immediate area;

3. The proposed development will not result in allowing more residential units than would be allowed by other residential zoning districts, which are consistent with the General Plan designation of the property;
4. The proposed development will not be detrimental to the health, safety or welfare of the neighborhood or the City as a whole;
5. There is a reasonable relationship and a rough proportionality between the Conditions of Approval and the impacts of the project;
6. There is a reasonable relationship between the use of the fees imposed upon the project and the type of development project; and
7. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Parking Modification Permit Findings (CMC Sec. 21.28.050.G)

8. Due to the unique nature and circumstances of the project, or special development features, the anticipated number of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standard, and would be satisfied by the existing or proposed number of parking spaces, as supported by review of the applicant's documentation and/or a parking demand study prepared by a qualified transportation engineer accepted by the decision-making body;
9. Conditions of approval have been incorporated into the project to ensure the long-term adequacy of the provided off-street parking; and
10. Approval of the parking modification permit will further the purpose of the Parking and Loading Chapter.

Environmental Findings (CMC Sec. 21.38.050):

11. The project is Categorically Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to new construction of small structures which allows up to four (4) commercial buildings with a floor area not exceeding 10,000 square feet in an urbanized area

THEREFORE, BE IT RESOLVED that the Planning Commission recommends that the City Council approve a Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building and a Parking Modification Permit to allow a reduction in the number of required parking stalls, for property located at **1055 Florence Way**, subject to the attached recommended Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 22nd day of September, 2020, by the following roll call vote:

AYES: Commissioners:  
NOES: Commissioners:  
ABSENT: Commissioners:  
ABSTAIN: Commissioners:

APPROVED: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL**  
**Planned Development Permit (PLN2019-206) with a**  
**Parking Modification Permit**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building with a Parking Modification Permit to allow a reduction in the number of required parking stalls, for property located at **1055 Florence Way**. The project shall substantially conform to the Revised Project Plans, stamped as received by the Community Development Department on July 29, 2020, except as may be modified by the Conditions of Approval contained herein.
2. Permit Expiration: The Planned Development Permit (PLN2019-206) with a Parking Modification Permit ("Approval") shall be valid for two (2) years from the date of final approval. Within this two-year period an application for a building permit must be submitted. Failure to meet this deadline or expiration of an issued building permit will result in the Approval being rendered void.
3. Planning Final Required: Planning Division clearance is required prior to Building Permit final. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.
4. Timely Completion: Once under construction it shall be the obligation of the property owner and contractor to demonstrate continued progress on the project. In the event the building permit expires, the City may impose fines or exercise administrative remedies to compel timely completion of work.
5. Alternative Transportation Measures: The project must incorporate indoor bicycle, scooter, and motorcycle parking, and a personal showering facility, as shown on the Approved Project Plans.
6. Conditions of Approval: The adopted City Council Resolution, including these Conditions of Approval, shall be included in full behind the coversheet of the construction drawings submitted for a building permit.
7. Signage: All new signage shall require separate approval of a Sign Permit.

8. General Operational Standards: Occupancy of the approved industrial is subject to the following general operational standards:
- a. **Land Use Restriction**: The approved industrial building may only be occupied by a manufacturing and/or warehousing use (including contractor's indoor material and equipment storage). Establishment of any other use shall require approval of an Administrative Planned Development Permit.
  - b. **Hours of Operation**: Unless otherwise authorized by an Administrative Planned Development Permit, the hours of operation of any use within the approved industrial building is limited to 6:00 AM to 11:00 PM, daily.
  - c. **Smoking**: "No Smoking" signs shall be posted on the premises in compliance with CMC Sec. 6.11.060.
  - d. **Noise**: Regardless of decibel level, no noise generated within the approved industrial building shall obstruct the free use of neighboring properties so as to unreasonably interfere with the comfortable enjoyment of the neighboring residents. In the event verified complaints are received by the City regarding such noise, the Community Development Director may immediately curtail the Hours of Operation, pursuant to Condition of Approval No. 11 (Revocation of Permit).
  - e. **Trash Disposal and Clean-Up**: Refuse and recycling receptacles shall be kept within the trash enclosure except during collection in compliance with CMC Chapter 6.04 (Garbage and Rubbish Disposal). Emptying of trash receptacles and placement of refuse and recyclable materials into the trash enclosure receptacles shall occur only during the approved "Hours of Operation."
  - f. **Parking Management**: If the establishment results in excessive parking demand, the Community Development Director may require preparation of a parking management plan. If the parking management plan fails to adequately address the site's parking demand, the Community Development Director may commence a revocation hearing pursuant Condition of Approval No. 11 (Revocation of Permit).
  - g. **Loitering**: There shall be no loitering allowed on the premises. The business owner is responsible for monitoring the premises to prevent loitering.
  - h. **Property Maintenance**: The property is to be maintained free of any combustible trash, debris, and weeds until the time that actual construction commences. Any vacant existing structures shall be secured, by having windows boarded up and doors sealed shut, or be demolished or removed from the property (Section 11.201 and 11.414, 1985 Ed. Uniform Fire Code).
  - i. **Landscape Maintenance**: All landscaped areas shall be continuously maintained in accordance with CMC Chapter 21.26. Landscaped areas shall

be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.

- j. **Outdoor Storage:** No outdoor storage is permitted on the subject property, including the storage equipment, materials, and inoperable vehicles.
  - k. **Parking and Driveways:** All parking and driveway areas shall be maintained in compliance with the standards provided in CMC Chapter 21.28 (Parking and Loading).
  - l. **Security Plan:** If deemed necessary by the Police Department, the property owner shall prepare a security plan to the satisfaction of the Police Chief, including, but not limited to, provision of private security and/or installation of a security camera system.
9. **Landscaping:** This project is subject to the updated California Model Water Efficient Landscape Ordinance (MWELo). This document is available at: <http://www.cityofcampbell.com/DocumentCenter/View/176> or on the Planning Division's Zoning and Land Use webpage through [www.cityofcampbell.com](http://www.cityofcampbell.com). The building permit application submittal shall demonstrate compliance with the applicable MWELo and landscaping requirements and shall include the following:
- a. A Landscape Documentation Package prepared by an authorized and licensed professional demonstrating compliance with the full MWELo requirements with the following required elements:
    - 1) Project Information per Section 492.3.
    - 2) Water Efficient Landscape Worksheet per Section 492.4 (Appendix B of the MWELo).
      - i. Include the worksheet within the plan set AND
      - ii. Provide a separate 8.5x11 hard copy or pdf via email to the project planner.
    - 3) Soil Management Report per Section 492.5 (unless significant mass grading is planned, in which case the report shall be submitted prior to permit final).
    - 4) Landscape Design Plan per Section 492.6.
    - 5) Irrigation Design Plan per Section 492.7.
    - 6) Grading Design Plan per Section 492.8.

Note that a Soil Management Report (if not submitted as part of the Landscape Documentation Package) and Certificate of Completion will be required prior to permit final.
  - b. A completed Landscape Information Form.
  - c. A note on the Cover Sheet in minimum 1/2" high lettering stating "Planning Final Required. The new landscaping indicated on the plans must be installed prior to final inspection. Changes to the landscaping plan require Planning approval."

10. Construction Activities: The applicant shall abide by the following requirements during construction:
- a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
  - b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
  - c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
  - d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
  - e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
  - f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.
11. Revocation of Permit: Occupancy of the approved industrial building is subject to Sections 21.68.020, 21.68.030 and 21.68.040 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke the Planned Development Permit if it is determined that operation a use has become a nuisance to the City's public health, safety or welfare or for violation of the Conditional Use Permit or any standards, codes, or ordinances of the City of Campbell.

At the discretion of the Community Development Director, if the property generates three (3) verifiable complaints related to violations of conditions of approval (e.g., noise, parking, etc.) within a twelve (12) month period, a public hearing before the City Council may be scheduled, upon recommendation of the Planning Commission, to consider modifying conditions of approval or revoking the Planned Development Permit. The Community Development Director may commence proceedings for the revocation or modification of the Approval upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. In exercising this authority, the decision making body may consider the following factors, among others:

- a. The number and types of Police Department calls for service at or near the establishment that are reasonably determined to be a direct result of patrons actions;
- b. The number of complaints received from residents, business owners and other citizens concerning the operation of an establishment regarding parking, noise, and/or other operational impacts.
- c. Violation of conditions of approval.

## **PUBLIC WORKS DEPARTMENT**

12. General Note: The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11.24.040. The applicant will be required to apply for an Encroachment permit to construct frontage improvements as listed below.
13. Construction Drawings: The applicant shall submit the following permit applications prior to, or concurrent with the main Building permit application:
  - a. Encroachment Permit for Street Improvement Plans: The frontage improvements for the project shall be shown on a separate street improvement plan as detailed here: <https://www.campbellca.gov/187/Street-Improvements>
  - b. Building Permit for On-Site / Grading & Drainage Plans: The on-site grading, drainage, stormwater, landscaping, ADA and site improvements for the project shall be shown on a separate building permit plan as detailed here: <https://www.campbellca.gov/DocumentCenter/View/16594>
14. Grading and Drainage Plan: Prior to issuance of any grading or building permits for the site, the applicant shall conduct hydrology studies based on a ten-year storm frequency, prepare an engineered grading and drainage plan, and pay fees required to obtain necessary grading permits. Prior to occupancy, the design engineer shall provide written certification that the development has been built per the engineered grading and drainage plans.

In addition, a plan review letter will be required of the Geotechnical engineer for the entire grading and drainage system which should include but is not limited to a review of the subsurface of the non-compacted biotreatment material that may have potential for subsurface failure and surface failure due to vehicle loads.
15. Storm Water Information: On the preliminary grading/utility plans show the amount, in square footage, of:
  - a. Existing impervious area
  - b. Proposed impervious area
  - c. Proposed pervious area
16. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. Specifically the project must include source control, site design and treatment measures to achieve compliance with Provision C.3. of the NPDES Permit. Measures may include, but are not limited to, minimization of impervious surface area, vegetated swales, infiltration areas, and treatment devices. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* (“CA BMP Handbook”) by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* (“Start at the Source”) by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* (“Using Site Design Techniques”) by BASMAA, 2003.

Upon submission of the preliminary site/grading plans, the applicant shall calculate and submit to the City the amount of impervious surface created by the development including the types of stormwater controls to be used. The applicant shall submit preliminary sizing and design showing stormwater controls meet the City’s requirements.

Prior to issuance of any grading or building permits:

- a. The applicant’s designer or engineer shall submit the required certification indicating that sizing, selection, and design of treatment BMP’s for the project site has been completed to meet the requirements of the City of Campbell’s NPDES permit, No. 01- 119, Provision C.3.
- b. The applicant shall sign the “Covenants for the Operation and Maintenance of Stormwater Facilities” and submit a Stormwater Management Plan.

Prior to occupancy:

- a. A qualified BMP certifier is required to inspect the stormwater management facilities, submit a complete set of as-built drawings to Public Works Engineering, and certify on these drawings that:
  - i. The stormwater management facilities were constructed in compliance with the approved plans.
  - ii. The as-built drawings show all pertinent constructed dimensions, elevations, shapes, and materials.
  - iii. All variations in construction from the approved design plan have been identified, including omissions to and additions from the approved plan.
  - iv. Any changes are in conformance with local, state, or federal regulations.

17. Water Meter(s) and Sewer Cleanout(s): Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line. Revise plan to show the water meter and sewer clean out are behind the new property line.

18. Utilities: All on-site utilities shall be installed underground per Section 21.18.140 of the Campbell Municipal Code for any new or remodeled buildings or additions. Applicant shall comply with all plan submittals, permitting, and fee requirements of the serving utility companies.

19. Undergrounding Street Frontage Utilities: All overhead utility lines along the project's public street frontage shall be installed underground per Section 21.18.140 of the Campbell Municipal Code. Applicant shall comply with all utility applications, plan submittals, permitting, and fee requirements of the serving utility companies. Please note that the Municipal Code does not allow the setting of new poles, therefore the project is required to underground to the next existing pole beyond the project's frontage or receive a Variance.
20. Utility Coordination Plan: Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
21. Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
22. Plans / Encroachment Permit / Fees / Deposits: Prior to issuance of any grading or building permits for the site, the applicant shall execute a street improvement agreement, cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
  - a. Show location of all existing utilities within the new and existing public right of way.
  - b. Relocation of all existing utilities including utility boxes, covers, poles, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.
  - c. Installation of City approved street trees *and irrigation* at 30 feet on center.
  - d. Connection to public storm drain main as necessary to serve the project.
  - e. Installation of City standard ADA compliant driveway approach. Installation of engineered structural pavement section to centerline, as required by the City Engineer.
  - f. Installation of asphalt concrete overlay per street pavement restoration plan for utility installation and/or abandonment, as required by the City Engineer.
  - g. Installation of streetlights, conduits, conductors and related facilities in accordance with the City of Campbell's Street Lighting Policies.

- h. Installation of traffic control, stripes and signs.
  - i. Construction of conforms to existing public and private improvements, as necessary.
  - j. Submit final plans in a digital format acceptable to the City.
23. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy and/or final building permit signoff for any and/or all buildings, the applicant shall have the required *street improvements* installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
24. Property Corner Monuments: Prior to allowing occupancy and/or final building permit signoff for any and/or all buildings, Carroll Engineering shall set the monuments as shown on the recorded Parcel Map (878-M-29) for this property. Once completed, the monument bond deposit on file will be refunded.
25. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to: trees, lawn, plantings, irrigation, etc. Trees shall not be pruned in a manner that would not allow the tree to grow to a mature height.
26. Utility Encroachment Permit: Separate encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
27. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.
28. Trash Enclosure Requirements:
- a. NPDES Permit No. CAS612008 (CRWQCB): C.3.a.i. (7):  
  
For all new development and redevelopment projects that are subject to the Permittee's planning, building, development, or other comparable review, but not regulated by Provision C.3, encourage the inclusion of adequate source control measures to limit pollutant generation, discharge, and runoff. These source control measures should include: Covered trash, food waste, and compactor enclosures.
  - b. Campbell Municipal Code 14.02.030 "Stormwater Pollution Control / Requirements". The code states that no pollutants or water containing pollutants can be discharged into the City's storm drain system. Trash enclosures contain pollutants. During a rain event (or during general cleaning) water washes over and into roofless enclosures, collecting pollutants and discharging to the City's

storm drain system. Applicants are required to show how new trash enclosures will not discharge pollutants into the storm drain system. One possible method is to provide a sanitary drain in the trash enclosure.

- c. West Valley Sanitation District (WVSD), the local sanitary sewer agency, will require a roof on the enclosure if the trash enclosure drain connects to their sanitary sewer system.

## **FIRE DEPARTMENT**

29. Fire Sprinklers Required: (As noted on Cover Sheet) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CBLMC. An automatic fire sprinkler system shall be provided and installed per NFPA 13 to include trash enclosure coverage.
30. Fire Alarm Requirements: (As noted on Cover Sheet) Refer to CFC Sec. 907 and the currently adopted edition of NFPA 72. Submit shop drawings (3 sets) and a permit application to the SCCFD for approval before installing or altering any system. Call (408) 378-4010 for more information.
31. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
32. Address Identification: (Address change to 1055 Florence Wy is in progress with the City of Campbell) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address

numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1. Please note new address on all future submittals.

33. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
34. Buildings and Facilities Access: (As noted on Sheet A1.1) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1]. Hose pull lengths of no greater than 150' from the apparatus to all exterior portions of the structure along a path that is accessible to operations crews is now provided with a 5' emergency access easement between this parcel and the building.
35. Battery Storage and Charging: Battery type, quantities, storage methods and charging system information shall be submitted in accordance with CFC Section 608.

**RESOLUTION NO. 457\_**

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING THAT THE CITY COUNCIL APPROVE A VARIANCE (PLN2019-207) TO ALLOW RETENTION OF EXISTING OVERHEAD UTILITY LINES TO SERVE A PROPOSED DEVELOPMENT ON PROPERTY LOCATED **1055 FLORENCE WAY**. FILE NO.: PLN2019-207

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Variance (PLN2019-207):

1. The Proposed Project is application for a Variance (PLN2019-207) to allow retention of existing overhead utility lines in association with a proposed Planned Development Permit (PLN2019-206) to allow construction of an approximately 7,000 square-foot single-story industrial building with a Parking Modification Permit to allow a reduction in the number of required parking stalls.
2. Campbell Municipal Code (CMC) Section 21.18.140.B.2 requires that construction of a non-residential main structure located along an arterial or collector street—as identified by the Campbell Roadway Classifications Diagram—include removal of existing utility poles and associated overhead utility lines located along the abutting frontage the development site to be replaced with underground utilities. However, CMC Section 21.18.140.B.2 further provides that a Variance to the linear feet of overhead utility lines to be replaced underground may be granted in compliance with Chapter 21.48, (Variances).
3. Hacienda Avenue is "Commercial/Industrial Collector" street as identified by the Campbell Roadway Classifications Diagram. The proposed project is, therefore, subject to the frontage utility undergrounding requirements specified by CMC Sec. Section 21.18.140.B.2.
4. The proposed Variance would allow retention of existing overhead utility lines and use of overhead utilities to serve the proposed development pursuant to CMC Section 21.18.140.B.2
5. The proposed Variance (PLN2019-207) is considered in conjunction with and subject to, a Planned Development Permit (PLN2019-206) to allow construction of a 7,000 square-foot single-story industrial building.
6. Removal of the existing overhead utility lines located along the public street frontage of the project site would require placement of two additional utility poles and potential replacement of existing overhead utility service to multiple neighboring properties that are under control by the applicant.

7. A Variance to allow retention of existing overhead utility lines and installation of a new utility pole on private property would result in no new poles and not disrupt adjacent properties.

Based upon the foregoing findings of fact and pursuant, the Planning Commission further finds and concludes that:

1. The strict or literal interpretations and enforcement of the specified regulation(s) would result in a practical difficulty or unnecessary physical hardship inconsistent with the objectives of the Zoning Code.
2. The strict or literal interpretations and enforcement of the specified regulation(s) would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.
3. There are exceptional or extraordinary circumstances or conditions applicable to the subject property (i.e. size, shape, topography) which do not apply generally to other properties classified in the same zoning district.
4. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations on other properties classified in the same zoning district.
5. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the area.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends that the City Council approve a Variance (PLN2019-207) to allow retention of existing overhead utility lines, located at **1055 Florence Way**, subject to the attached recommended Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 22nd day of September, 2020, by the following roll call vote:

AYES: Commissioners:  
NOES: Commissioners:  
ABSENT: Commissioners:  
ABSTAIN: Commissioners:

APPROVED: \_\_\_\_\_  
Michael Krey, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL  
Variance (PLN2019-207)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division:**

1. Approved Project: Approval is granted for a Variance (PLN2019-207) to allow retention of existing overhead utility lines as indicated on Revised Project Plans, stamped as received by the Community Development Department on July 29, 2020, for property located at **1055 Florence Way**.
2. Final Design: The utility plan, including the location and alignment of all new risers, new overhead utility lines, and underground utilities shall be to the satisfaction of the City Engineer and Community Development Director.

NEW BUILDING FOR:

# FLORENCE INDUSTRIAL

1055 FLORENCE WAY  
CAMPBELL, CA



1. PERSPECTIVE VIEW



2. PERSPECTIVE VIEW

**PLAN CHECK RESPONSE: 7.29.2020**   
**FOR: SCHWAGER DEVELOPMENT**

## PROJECT LOCATION



## SCOPE OF WORK

THE PROJECT CONSISTS OF A NEW PROPOSED 1-STORY 7,002 S.F. INDUSTRIAL BUILDING. PROPOSED SITE WORK INCLUDES NEW CIVIL WORK, LANDSCAPE AND PARKING.

## BUILDING INFORMATION AND SITE DATA

LOCATION	1075 FLORENCE WAY CAMPBELL, CA 95008 	
GROSS SITE AREA	21,120 S.F. (WITH PUBLIC STREET)	
NET SITE AREA	17,487 S.F. (LOT ONLY)	
GROSS FLOOR AREA	7,002 S.F.	
ZONING	P-D	
PARCEL NUMBER	424-01-081	
OCCUPANCY	S-1	
CONSTRUCTION TYPE	VB	
FIRE PROTECTION	YES, AUTOMATIC, NFPA 13 COMPLIANT (DEFERRED SUB.) BUILDING AND TRASH ENCLOSURE AN AUTOMATIC FIRE ALARM SYSTEM WILL BE PROVIDED AND INSTALLED.	
BICYCLE PARKING	1 LONG-TERM AND 1 SHORT-TERM. BICYCLE PARKING SPACES ARE PROVIDED PER THE GREEN BUILDING CODE	
CLEAN AIR PARKING	1 DESIGNATED CLEAN AIR PARKING SPACE IS PROVIDED PER THE GREEN BUILDING CODE	
UTILIZATION (SEE CIVIL AND LANDSCAPE DWGS FOR MORE INFO):		
	<u>S.F.</u>	<u>PERCENT</u>
BUILDING COVERAGE:	7,002 S.F.	40.8%
LANDSCAPE COVERAGE:	2,254 S.F.	13.1%
PAVING COVERAGE:	7,904 S.F.	46.1%
FLOOR AREA RATIO:	7,002 (TOTAL BLDG AREA) 0.408 17,160 (NET SITE AREA)	
ADJACENT LAND USES:	<u>USE</u>	<u>ZONING</u>
NORTH	STREET	-
SOUTH	INDUSTRIAL	P-D
EAST	INDUSTRIAL	M-1
WEST	INDUSTRIAL	M-1
ADOPTED CODES	2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2016 CALIFORNIA ENERGY CODE 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE 2010 ADA STANDARDS FOR ACCESSIBILITY CITY OF CAMPBELL MUNICIPAL CODE	

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A0.2	CONTEXT PLAN AND SITE PHOTOS
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C1.1	NOTES, LEGEND, & ABBREVIATIONS
C1.2	DETAILS
C2.1	DEMOLITION PLAN
C2.2	HORIZONTAL CONTROL PLAN
C3.1	GRADING & DRAINAGE PLAN
C4.1	UNDERGROUND UTILITY PLAN
C5.1	STORM WATER MANAGEMENT PLAN
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A3.2	EXTERIOR ELEVATIONS AND BUILDING SECTIONS
A4.1	MATERIALS AND COLORS
A4.2	3D PERSPECTIVE VIEWS
L1.1	LIGHTING PLAN

## PROJECT CONTACT

<b>ARCHITECT</b> BANDUCCI ASSOCIATES ARCHITECTS, INC. 7011 KOLL CENTER PARKWAY SUITE 100 PLEASANTON, CALIFORNIA 94566 T 925.424.4701 CONTACT: WIL SHACHILE X 111 EMAIL: <a href="mailto:wshachile@baaarchitects.com">wshachile@baaarchitects.com</a>	<b>OWNER</b> SCHWAGER DEVELOPMENT 198 HILDEGADE AVE. SAN JOSE, CA 95136 T 408.281.9300 CONTACT: MIKE SCHWAGER EMAIL: <a href="mailto:mike@schwagerdev.com">mike@schwagerdev.com</a>
<b>CIVIL</b> CARROLL ENGINEERING 1101 S. WINCHESTER BLVD. SAN JOSE, CA 95128 T 408.261.9000 F 408.261.0595 CONTACT: BRUCE CARROLL	<b>CITY</b> CITY OF CAMPBELL 70 NORTH FIRST STREET CAMPBELL, CA 95008 T 408.864.2130
<b>LANDSCAPE</b> THOMAS BAAK AND ASSOCIATES LLP 1520 N. MAIN STREET SUITE #4 WALNUT CREEK, CA 94596 T 925.933.2883 x1027 C 925.787.5524 CONTACT: ANDREA SWANSON EMAIL: <a href="mailto:aswanson@baak.com">aswanson@baak.com</a>	

7.29.2020  
5.5.2020  
1.27.2020  
10.24.19  
18.36

ADDRESS CHANGE  
PLAN CHECK RESPONSE  
PLAN CHECK RESPONSE  
PLANNING SUBMITTAL

**FLORENCE INDUSTRIAL**



NEW BUILDING FOR:  
**FLORENCE INDUSTRIAL**

1075 FLORENCE WAY  
CAMPBELL, CA

FOR: SCHWAGER DEVELOPMENT



REVISIONS	
PLANNING SUBMITTAL	10.24.2019
PLAN CHECK RESPONSE	1.27.2020
PLAN CHECK RESPONSE	5.5.2020

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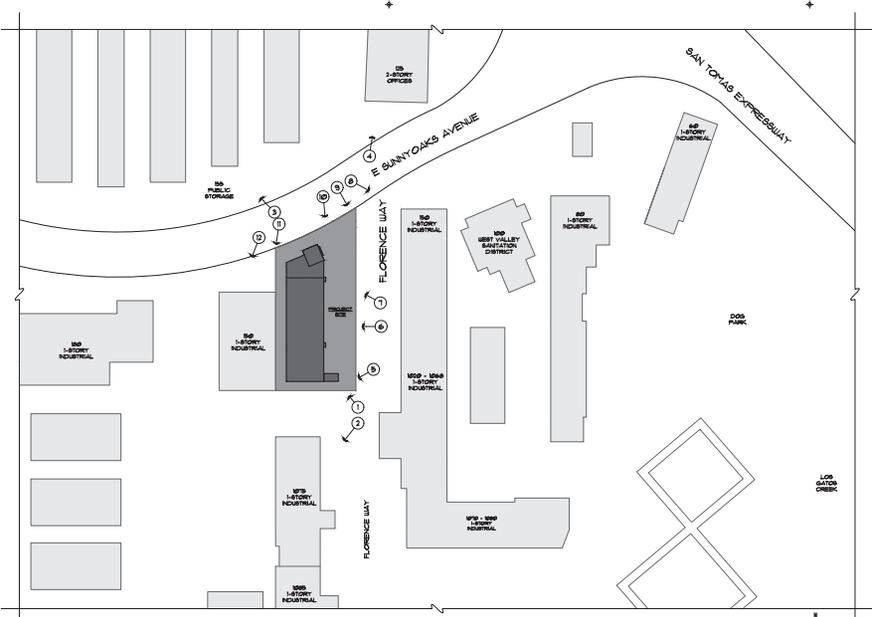
David B. Banducci, AIA, Architect

**SHEET TITLE**

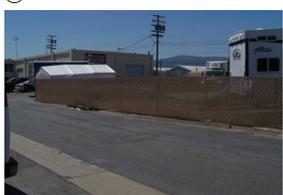
**CONTEXT PLAN AND SITE PHOTOS**

SCALE	N.T.S.
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	U

**SHEET NO. A0.2**



**1. SURROUNDING SITE CONTEXT**  
SCALE: 1/4" = 1'-0"

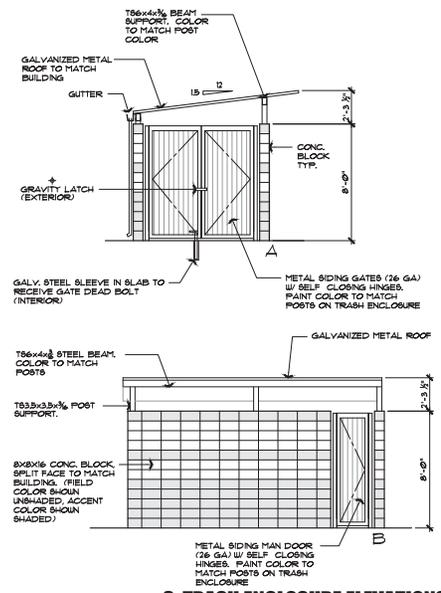


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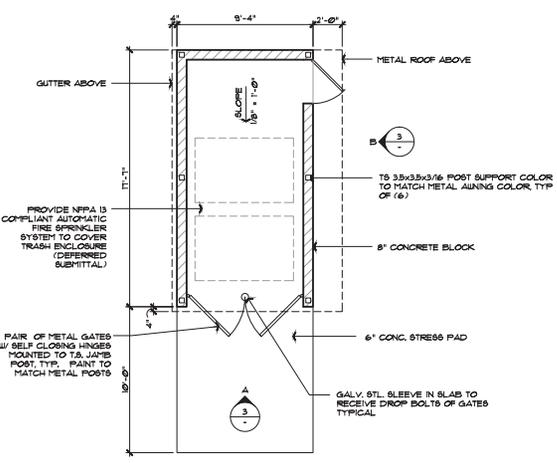


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NOTE: 1 KEYS SHOWN ON PLAN FOR PHOTOS AT RIGHT AND BELOW.



**3. TRASH ENCLOSURE ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**2. TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

### GENERAL NOTES

- All work shall be done in accordance with the following:
  - Applicable sections of the State of California Department of Transportation Standard Specifications, latest edition, hereinafter called "Caltrans";
  - California Plumbing Code and California Building Code Provisions;
  - AWWA standards and specifications;
  - City of Campbell Standard Details and Specifications where applicable;
  - These plans and details shown hereon;
  - Standards of the United States Department of Labor, Occupational Safety and Health Administration, Office of Standards and rules of the State Division of Industrial Safety;
  - Latest edition of the California State Code of Regulations Title 24;
  - The Project Specifications;
  - Soils Investigation prepared by Milstone Geotechnical entitled "Preliminary Geotechnical Investigation, 1075 Florence Way, Campbell, California" dated December 15, 2013, Project No. 4150
- City of Campbell Grading Permit for  
Where conflicts exist between any of the above listed specifications, the most stringent listed specification shall prevail.
- It is the responsibility of the Contractor to secure all permits necessary to perform the work, including but not limited to, work in the public right-of-way, grading, tree removal, and utility modifications.
- Contractor shall supply all equipment, labor, and materials necessary to perform the work shown on this plan.
- It shall be the responsibility of the various contractors to coordinate their work so as to eliminate conflicts and work toward the general good and completion of the entire project.
- All workmanship and materials furnished by Contractor shall be of the kind and quality described in the specifications and shall be first class throughout. Neither final acceptance nor final payment by Owner shall relieve the Contractor of responsibility for faulty materials or workmanship.
- In the event of any conflict of information shown in these plans or any conflict between these plans and the intent of a consistent and functional product, the Contractor shall notify the Owner in writing, upon which notice the Owner shall resolve the conflict by the issuance of a written order, revised plans or both. The Contractor shall bear full cost and responsibility for work affected by such conflicts and notified by Contractor prior to such notice to the Owner and issuance of such order and/or revised plans.
- Contractor shall provide adequate dust control at all times as required by Owner's representative.
- Contractor shall exercise all necessary caution to avoid damage to any existing trees, or surface improvements, or to any existing drainage structure, water structures, sewer cleanouts, manholes, or junction boxes for underground electric, telephone, or cable TV, or storm sewer, sanitary sewer, water line, and underground utilities, which are to remain in place and shall bear full responsibility for any damage thereto.
- All known existing utility lines are shown for information only. Contractor shall exercise all necessary caution to avoid damage to any existing utility lines or facilities to remain in place, whether or not such lines or facilities are shown on these plans, and shall bear full responsibility for any damage thereto. Contractor is advised to Contact Underground Service Alert (USA) at 811 or a private Underground Locator Service (at contractor's expense) and the affected utility company for marking underground lines prior to beginning work.
- Inspection work: The City of Campbell Public Works Department will inspect all work involving conformance to grading permit. A representative of Owner will inspect all work, including grades and compaction of earthwork. Contractor shall notify the City of Campbell Design and Construction Department at 408-858-4980 forty eight (48) hours prior to any work within the Public Right of Way.
- Engineer shall have no responsibility for Contractor's work methods and procedures, jobsite conditions, jobsite safety or adherence to safety procedures and requirements.
- The Contractor agrees that, in accordance with generally accepted construction practices, the Contractor will be required to assume sole and complete responsibility for jobsite conditions during the course of construction of the project, including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours. The contractor agrees to defend, indemnify and hold Owner and Engineer harmless from any and all liability, real or alleged, in connection with the performance of the work on this project, exempting liability arising from the sole negligence of the Engineer or Owner.
- Parking lot striping shall be laid out in accordance with the Horizontal Control Plan, and in accordance with the City of Campbell Standard specifications.
- Contractor shall provide appropriate traffic control measures as outlined in the City of Campbell specifications and as directed by the City Engineer.
- Contractor shall use Best Management Practices (BMPs) consistent with CASQA and local jurisdiction requirements.
- Existing accessible routes and accessible parking serving facilities and buildings that are operational during construction shall remain unobstructed, safe and usable by people with disabilities.

### UNDERGROUND NOTES

- Contractor shall expose and verify location and elevation of existing utilities, including sanitary and storm sewers, and water lines before constructing new facilities. Contractor shall cap existing irrigation lines where necessary so that the remaining irrigation system will continue to be operational for the existing landscaping to remain.
- Materials for pipe, storm water inlets and cleanouts and installation procedures shall be in accordance with applicable California Building Code sections and the City of Campbell Standard Specifications, the Project Specifications and these plans and details shown hereon.  

Storm Sewer Pipe designated "SD" shall be concrete pipe or SDR 26 PVC pipe appropriate for such use.

Sanitary Sewer Pipe designated "SS" shall be vitrified clay pipe or SDR 26 PVC pipe appropriate for such use.
- Ensure grates are ADA compliant for all existing inlets to remain in travelled access paths, subject to pedestrian traffic. Replace as necessary.
- All trench excavation and backfill for sewer lines shall conform to requirements of the City of Campbell Standard Specifications. Jetting of backfill materials to achieve compaction is not allowed.
- All trenches and excavations shall be constructed in strict compliance with the applicable sections of California and Federal O.S.H.A. requirements and other applicable safety ordinances. Contractor shall bear full responsibility for trench shoring design and installation.
- Materials for pipe and installation requirements for domestic water lines shall be in accordance with applicable California Plumbing Code sections and the City of Campbell Standard Specifications and these plans and details shown hereon.

### GRADING AND PAVING NOTES

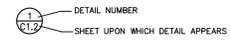
- Work shall consist of all clearing, grubbing, and stripping, preparation of land to be filled, excavation, spreading, compaction and control of the fill, and all subsidiary work necessary to complete the grading to conform to the lines, grades and slopes, as shown on the accepted plans and as specified in the Geotechnical Investigation Report.
- The contractor's attention is directed to the Geotechnical Investigation prepared by Milstone Geotechnical entitled "Preliminary Geotechnical Investigation, 1075 Florence Way, Campbell, California" dated December 15, 2013, Project No. 4150
- The Contractor's attention is directed to the City of Campbell Grading Permit (# ) for the project. Contractor shall adhere to the requirements thereof.
- The Contractor shall notify the Soil Engineer, Milstone Geotechnical, phone 408-353-5528 and the City of Campbell, at least forty-eight (48) hours prior to commencement of any grading operations on-site.
- A representative of the Soils Engineer shall be on site during grading operations and shall perform such testing as deemed necessary. The representative shall observe the grading operation for conditions that should be corrected, and identify those conditions with recommended corrective measures to the Contractor.
- In the event that any unusual conditions not covered by these notes and the Soils Investigation are encountered during grading operations, the Soils Engineer shall be immediately notified for recommendations.
- All existing trash, debris, roots, tree remains and other rubbish shall be removed from the site so as to leave the areas that have been disturbed with a neat and finished appearance free from unsightly debris. No burning shall be permitted.
- Contractor shall grade to the line and elevations shown on the plan within the following horizontal and vertical tolerance, in the areas indicated:

	Horizontal	Vertical
a. Building Pad Subgrade	0.50"+	0.05"+
b. Driveway and parking area subgrade preparation	0.05"+	0.05"+

Compaction of subgrade materials shall extend a minimum of five (5) feet beyond building limits and three (3) feet beyond pavement, walkway, and curb and gutter limits.
- All aggregate base material and the handling and placement thereof shall be in accordance with the Caltrans Standard Specifications. Aggregate base materials shall be Class II.
- Compacted building pads shall extend 5 feet minimum beyond building footprint.
- Asphalt concrete (AC) shall be Type B, 3/4" maximum aggregate size for base course and 1/2" maximum aggregate size for surface course, as specified for surface course material in the Caltrans Specification. 2" thickness may be placed in one lift.
- SS-1 emulsified asphalt paint binder conforming to the provisions of the Caltrans Specification shall be applied at the rate of 0.07+ gallons per square yard to existing asphalt concrete surface and vertical concrete surfaces to receive asphalt concrete.
- Contractor shall adjust all inlets, valve boxes, manhole rims, and sewer cleanouts to new finish grade.
- Materials handling and placement of Portland Cement Concrete shall be in accordance with applicable sections of the Caltrans Standard Specifications and these plans and details shown hereon. Concrete to be Class A, 6 sack, 3000 PSI concrete.

### LEGEND

DESCRIPTION	DETAIL	PROPOSED	EXISTING
PROPERTY LINE			
CENTERLINE			
AC PAVEMENT	1 01.2		
CURB & GUTTER			
VALLEY GUTTER	2 01.2		
CONCRETE STRESS PAD	3 01.2		
PERVIOUS CONCRETE	4 01.2		
VERTICAL CURB	5 01.2		
CONCRETE WALK	6 01.2		
TRENCH DRAIN	7 01.2		
HORIZONTAL DRAIN INLET	8 01.2		
FIRE HYDRANT			
ELECTROUT			
FIRE LINE			
SANITARY SEWER			
STORM DRAIN			
WATER LINE			
DIRECTION & RATE OF SLOPE		0.015	
SWALE			
FENCE			X
EDGE OF PAVEMENT			
CONTOUR			



### ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED FOR ALL PROJECTS

AB	AGGREGATE BASE	FC	FACE OF CURB	RWL	RAIN WATER LEADER
AC	ASPHALT CONCRETE	G	GAS	S=	SLOPE
ACC	ACCESSIBLE	GB	GRADE BREAK	S.A.D.	SEE ARCH DRAWINGS
ARCH	ARCHITECTURAL	GND	GROUND ELEVATION	SD	STORM DRAIN
BOS	BOTTOM OF STEP ELEVATION	HC	ACCESSIBLE	S.E.D.	SEE ELEC DRAWINGS
BR	BOTTOM OF RAMP	HORIZ	HORIZONTAL	SL	STREET LIGHT
BS	BOTTOM OF STEP ELEVATION	JP	JOINT POLE	S.L.D.	SEE LANDSCAPE DRAWINGS
BSM	BIORETENTION SOIL MIX	ICV	IRRIGATION CONTROL VALVE	SOV	SHUT-OFF VALVE
BTM	BOTTOM OF SLOPE	INV	INVERT	SS	SANITARY SEWER
BW	BACK OF WALK ELEVATION	LF	LINEAR FEET	SSCO	SANITARY SEWER CLEANOUT
BOW	BOTTOM OF WALL ELEVATIONS	LS	LANDSCAPE	STD	STANDARD
CB	CATCH BASIN	MAX	MAXIMUM	S/W	SIDEWALK
CI	CAST IRON	(ME)	MATCH EXISTING ELEVATION	STL	STREET LIGHT
CL	CENTER LINE	MH	MANHOLE	T	TELEPHONE
C&G	CURB AND GUTTER	MIN	MINIMUM	TOB	TOP OF BANK
DA	DIAMETER	ML	MONUMENT LINE	TOE	TOE OF BANK
DS	DOWNSPOUT	(N)	NEW (PROPOSED)	TOP	TOP OF SLOPE
DW	DOMESTIC WATER	O.C.	ON CENTER	TC	TOP OF CURB
DWY	DRIVEWAY	OFG	OUTSIDE FINISH GRADE	TOS	TOP OF STEP ELEVATION
E	ELECTRICAL	P	PAVEMENT SURFACE ELEVATION	TOW	TOP OF WALL ELEVATION
(E)	EXISTING	PERF	PERFORATED	TP	TELEPHONE POLE
EB	ELECTRICAL BOX	PP	POWER POLE	TR	TOP OF RAMP
EP	EDGE OF PAVEMENT	PR	PROPERTY LINE	TS	TOP OF STEP ELEVATION
ETW	EDGE OF TRAVELED WAY	PSD	PERFORATED STORM DRAIN	TSB	TRAFFIC SIGNAL BOX
EV	ELECTRICAL VAULT	(RD)	RECORD DOCUMENT	TYP	TYPICAL
FNC	FENCE	REINF	REINFORCED	VERT	VERTICAL
FH	FIRE HYDRANT	RM	RIM ELEVATION	VL	VAULT
FF	FINISHED FLOOR ELEVATION	RS	RAT SLAB	W	WATER
FL	FLOW LINE			WV	WATER VALVE

No.	Date	By	Checked
	10/7/2019	STAFF	

Revision	Date	By	Checked
CITY COMMENTS REVISIONS	01/10/2020	CS	

DATE: 10/7/2019  
DRAWN BY: STAFF  
DESIGNED BY: RWH

NOTES, LEGEND, & ABBREVIATIONS  
ON-SITE GRADING & DRAINAGE PLANS  
FLORENCE INDUSTRIAL - 1075 FLORENCE WAY

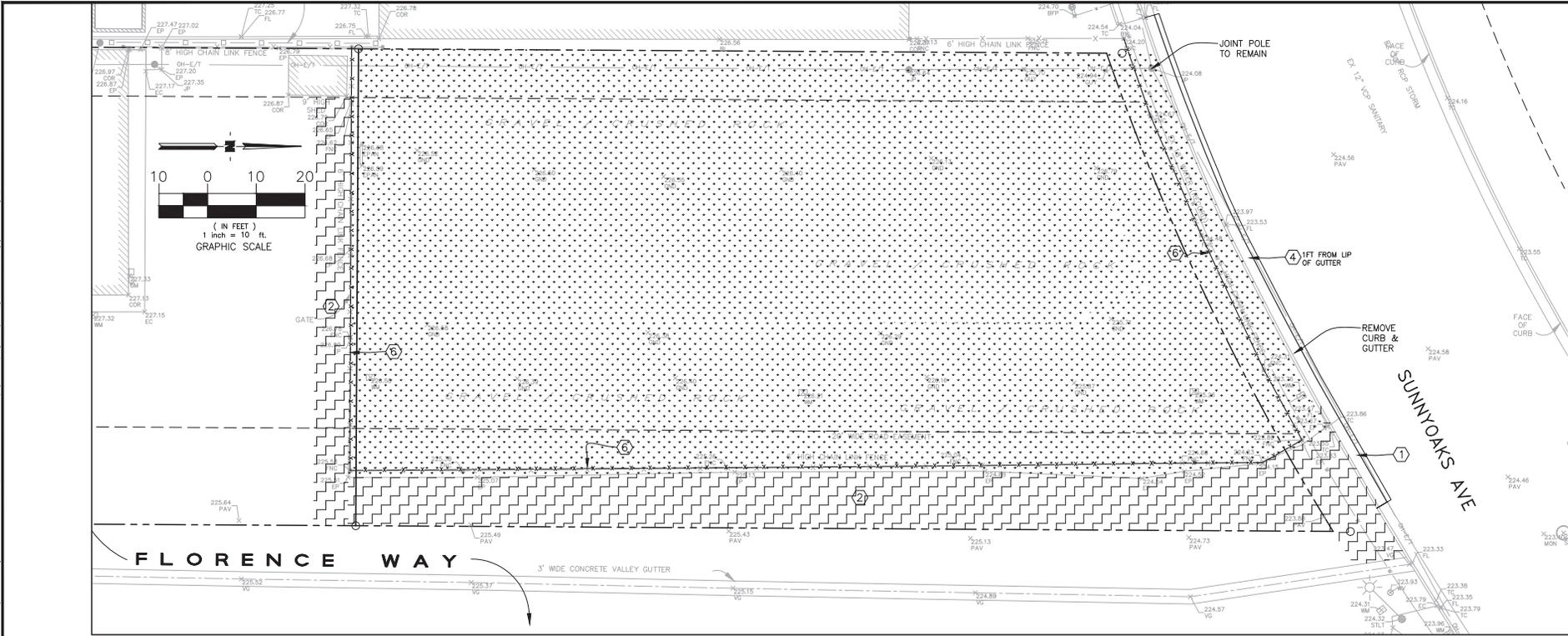


SCALE:  
AS SHOWN

SHEET:  
C1.1



UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



**LEGEND**

- TREE TO REMAIN  
CONTRACTOR TO PROVIDE TREE PROTECTION FENCING.  
NO STORAGE OF MATERIALS UNDER TREE CANOPIES ALLOWED.
- ① CONCRETE TO BE REMOVED  
INCLUDING BASE ROCK
- ② PAVING TO BE OVERLAID
- ③ WALL OR CURB TO BE REMOVED  
INCLUDING FOOTING
- ④ SAWCUT PAVEMENT  
SEE SHEET C3.1 FOR EXACT LIMITS
- ⑤ SHRUBS AND/OR LANDSCAPING  
TO BE REMOVED
- ⑥ FENCE TO BE REMOVED INCLUDING POSTS & FOOTING

**NOTES:**

1. THE LIMITS OF DEMOLITION SHOWN HEREON ARE TO PROVIDE THE CONTRACTOR WITH A GENERAL SCOPE OF WORK. PRECISE LIMITS OF PAVEMENT REMOVAL AND GRADING SHOULD BE TAKEN FROM THE GRADING AND DRAINAGE PLAN. THE CONTRACTOR SHOULD ALSO REFERENCE LANDSCAPE ARCHITECT PLANS, ARCHITECTURAL PLANS, AND THE CONSTRUCTION DOCUMENTS FOR A COMPLETE SCOPE OF WORK.
2. DEMOLITION WORK SHALL CONFORM TO CAL GREEN CODE SECTIONS 5.408.3 (CONSTRUCTION WASTE REDUCTION BY AT LEAST 50%) AND 5.408.4 (EXCAVATED SOIL AND LAND CLEARING DEBRIS), AND LOCAL CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS. THE MOST STRINGENT CODE SHALL PREVAIL.
3. ALL SIGNS, POSTS, AND FOOTINGS TO BE REMOVED WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED OTHERWISE.

No.	Date	By
10/7/2019	10/10/2020	CS
Drawn By:	STAFF	
Designed By:	RVH	

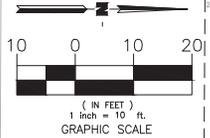
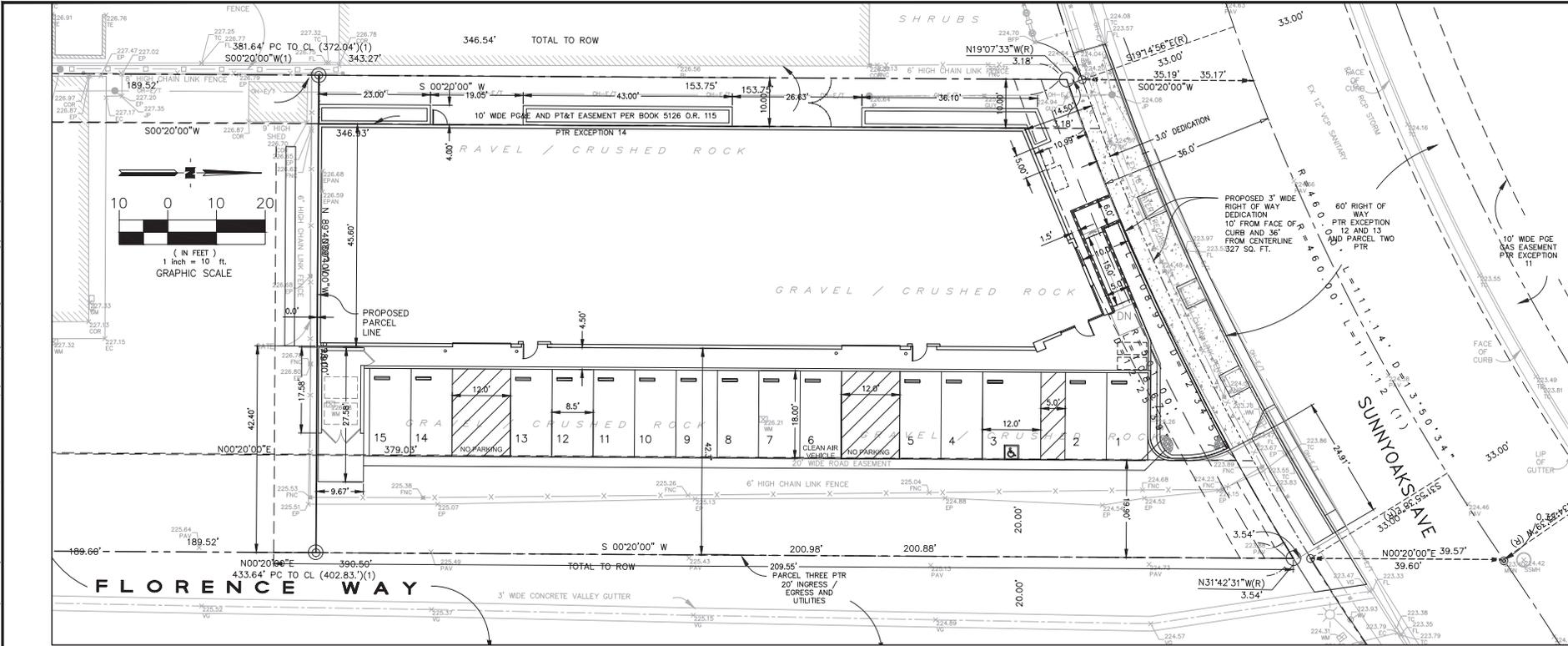
APPROVAL  
 CIVIL ENGINEERING  
 LICENSE NO. 44887  
 EXP. 06/30/2024

**DEMOLITION PLAN**  
**ON-SITE GRADING & DRAINAGE PLANS**  
**FLORENCE INDUSTRIAL-1075 FLORENCE WAY**



SCALE:  
 AS SHOWN  
 SHEET:  
 C.1

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



Revision	Date	By	Checked
CITY COMMENTS REVISIONS	01/10/2020	CS	RVH

Date: 10/7/2019  
 Drawn By: STAFF  
 Designed By: RVH

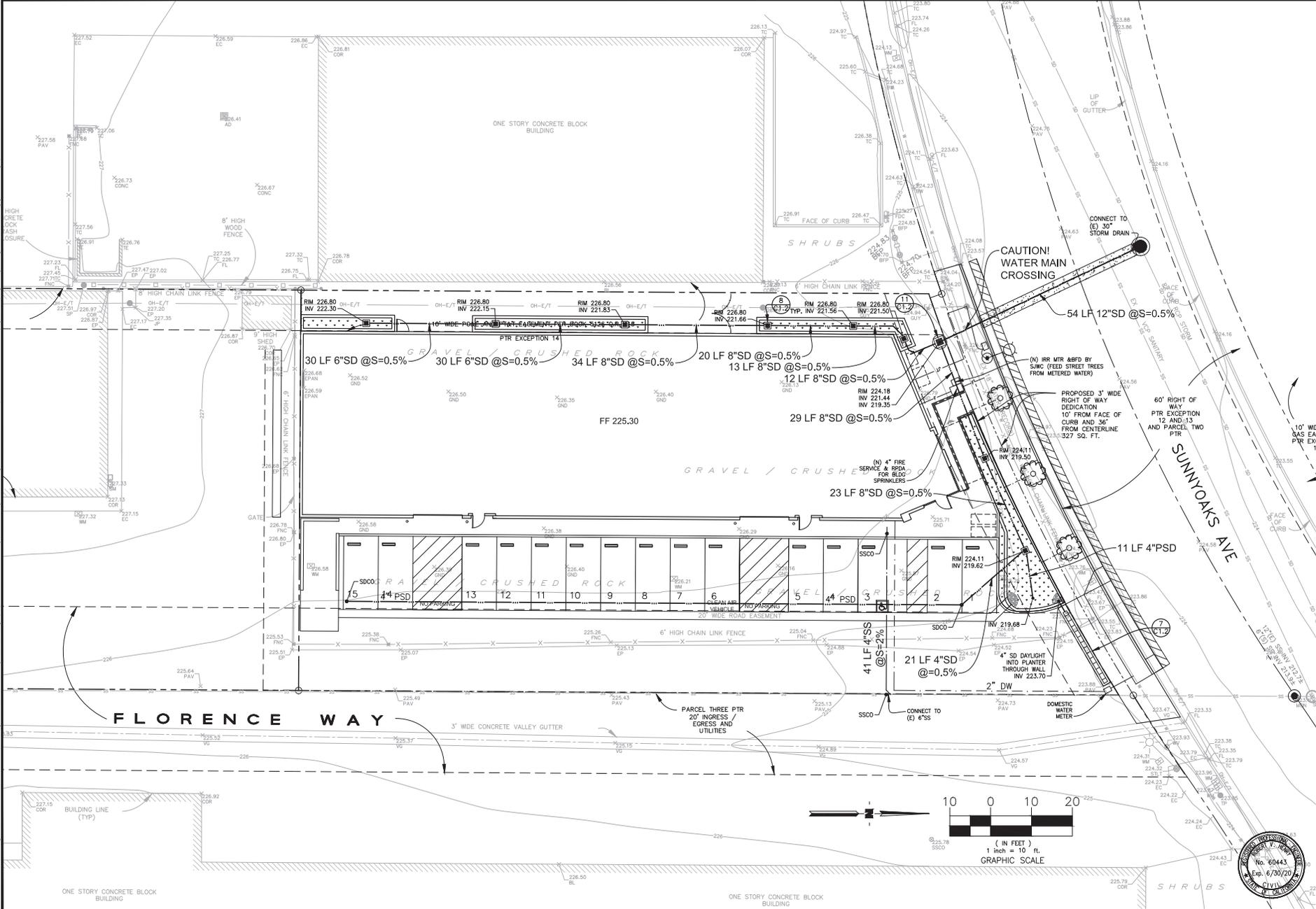
**HORIZONTAL CONTROL PLAN**  
**ON-SITE GRADING & DRAINAGE PLANS**  
**FLORENCE INDUSTRIAL-1075 FLORENCE WAY**



SCALE:  
 AS SHOWN  
 SHEET:  
**C2.2**



UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



No.	Date	By	Checked
1	10/7/2019	STAFF	CS
Revision		City Comments	Revisions
1		01/10/2020	CS
2		01/10/2020	CS

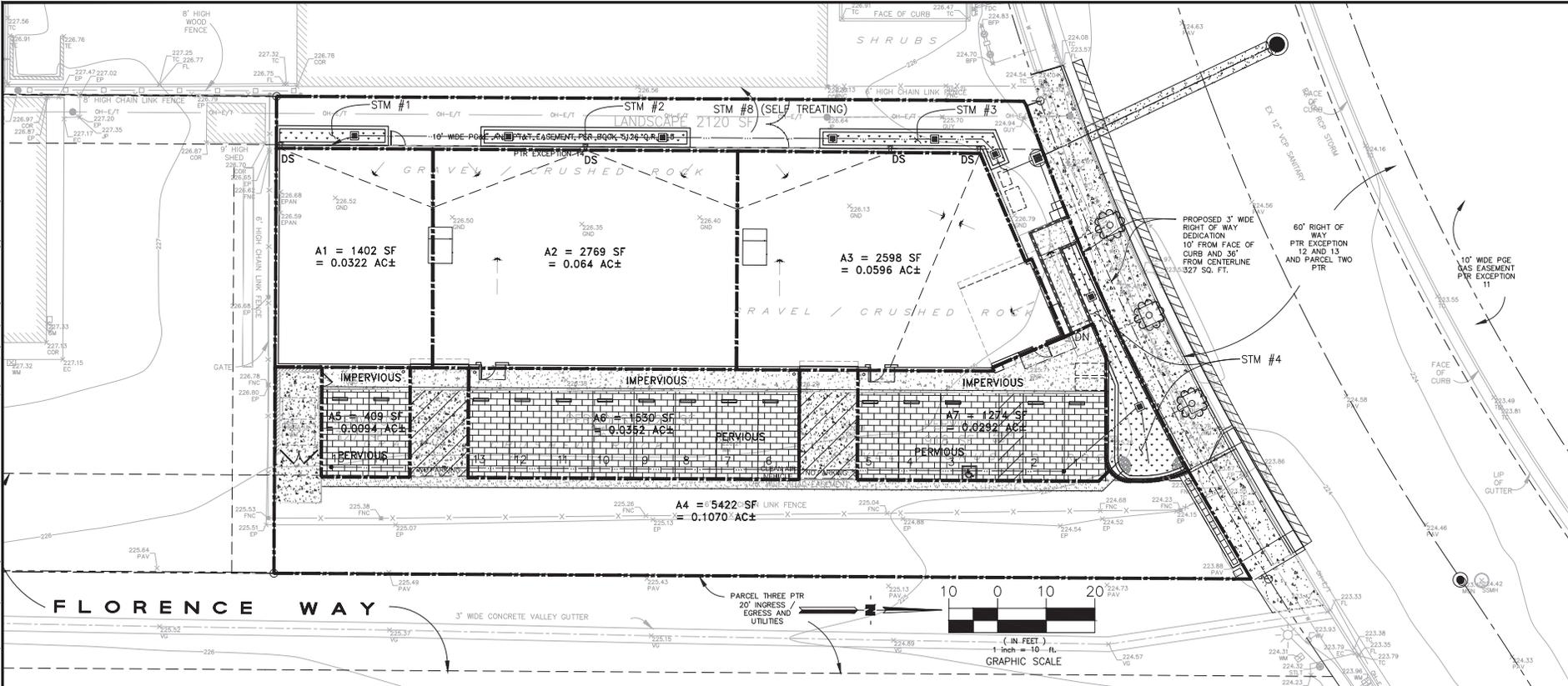
Date: 10/7/2019  
 Drawn By: STAFF  
 Designed By: RVH

**UNDERGROUND UTILITY PLAN**  
**ON-SITE GRADING & DRAINAGE PLANS**  
**FLORENCE INDUSTRIAL-1075 FLORENCE WAY**



SCALE: AS SHOWN  
 SHEET: C4.1

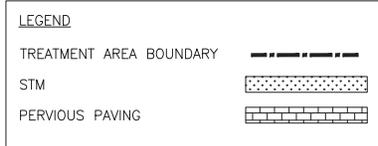
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TREATMENT CONTROL MEASURE SUMMARY TABLE

A #	STM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Trees	Treatment Credit (s.f.)	Comments
1	1	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	2C Flow: 4% Method **	1,402	1,402	0	0	8.15%	56	57	6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
2	2	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	2C Flow: 4% Method **	2,769	2,769	0	0	16.10%	111	111	6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
3	3	Onsite	Flow-Through planter concrete lined w/ underdrain	LID	2C Flow: 4% Method **	2,598	2,598	0	0	15.10%	104	105	6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
4	4	Onsite	Bioretention lined w/ underdrain	LID	2C Flow: 4% Method **	4,660	5,422	0	0	27.09%	187	275	6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
5	5	Onsite	Pervious pavement w/ underdrain	LID	2C Flow: 4% Method **	409	82	327	0	2.38%	N/A	N/A	N/A	0.05	0.07	N/A	N/A	N/A	N/A	N/A	N/A	
6	6	Onsite	Pervious pavement w/ underdrain	LID	2C Flow: 4% Method **	1,530	308	1,222	0	8.90%	N/A	N/A	N/A	0.05	0.07	N/A	N/A	N/A	N/A	N/A	N/A	
7	7	Onsite	Pervious pavement w/ underdrain	LID	2C Flow: 4% Method **	1,274	323	914	0	7.41%	N/A	N/A	N/A	0.07	0.07	N/A	N/A	N/A	N/A	N/A	N/A	
8	8	Onsite	Self-treating areas	LID	2C Flow: 4% Method **	2,558	1,130	0	1,428	14.87%	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
<b>Totals:</b>						17,200	14,034	2,463	1,428	100.00%												

Footnotes:  
 \* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.  
 \*\* Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)  
 \*\*\* Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.



EXISTING IMPERVIOUS AREA = 2579 SF  
 PROPOSED IMPERVIOUS AREA = 11455 SF  
 PROPOSED PERVIOUS AREA = 1428 SF

No.	Revision	Date	By	Checked
	CITY COMMENTS REVISIONS	01/10/2020	CS	RWH

Date: 10/7/2019  
 Drawn By: STAFF  
 Designed By: RWH

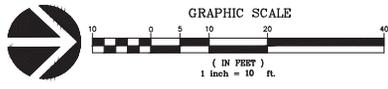
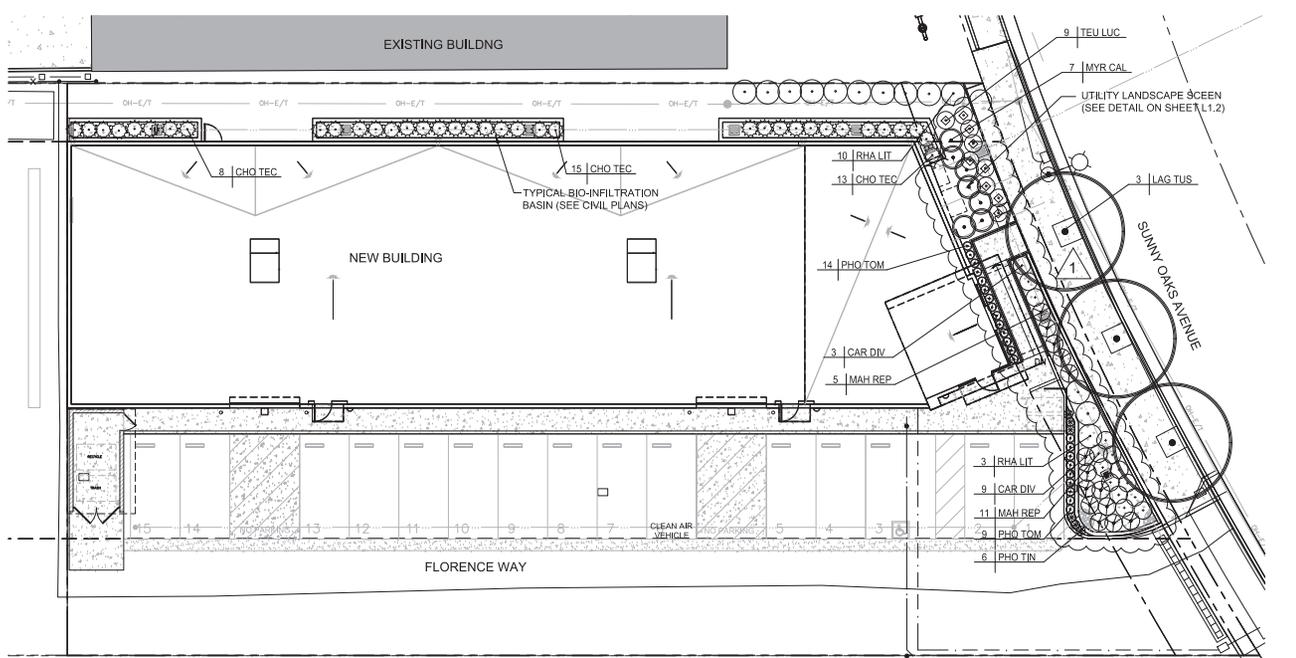


**STORM WATER MANAGEMENT PLAN**  
**ON-SITE GRADING & DRAINAGE PLANS**  
**FLORENCE INDUSTRIAL-1075 FLORENCE WAY**



SCALE:  
 AS SHOWN

SHEET:  
 C5.1



GRAPHIC SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	HEIGHTxWIDTH
<b>TREES:</b>					
●	LAG TUS	LAGERSTROMIEA 'TUSCARORA'	CRAPE MYRTLE	24" BOX	LOW 25x25'
<b>SHRUBS:</b>					
⊙	CAR DIV	CAREX DIVULSA*	BERKELEY SEDGE	1 GA	LOW 2'x2'
⊙	CHO TEC	CHONDROPETALUM TECTORUM*	CAPE RUSH	5 GA	LOW 3'x3'
⊙	MAH REP	MAHONIA A. REPENS*	DWARF MAHONIA	5 GA	LOW 2'x4'
⊙	MYR CAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GA	LOW 7'x5'
⊙	PHO TIN	PHORMIUM TENAX 'TINY TIGER'	NEW ZEALAND FLAX	1 GA	LOW 1'x18"
⊙	PHO TOM	PHORMIUM TENAX 'TOM THUMB'	NEW ZEALAND FLAX	1 GA	LOW 18"x18"
⊙	RHA LIT	RHAMNUS 'LITTLE SUR'	DWARF COFFEEBERRY	5 GA	LOW 3'x4'
⊙	TEU LUC	TEUCRIUM LUCIDRYS	GERMANDER	1 GA	LOW 2'x4'

\* PLANT MATERIALS CHOSEN FROM SCVURPPP PLANT MATERIALS LIST FOR USE IN BIO-INFILTRATION BASINS AND FLOW THROUGH PLANTERS

**GENERAL NOTES:**  
 1. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM.  
 2. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF FIRBARK MULCH DRESSING.  
 3. ALL PROPOSED STREET TREES WILL BE SERVED BY THE ON SITE IRRIGATION SYSTEM.

**CITY C.3 COMPLIANCE:**  
 ALL PLANTINGS DESIGNATED FOR STORMWATER TREATMENT AREAS ARE CONSISTENT WITH APPENDIX 'D' OF THE C.3 STORMWATER HANDBOOK PUBLISHED BY SANTA CLARA VALLEY URBAN POLLUTION PREVENTION PROGRAM.

**Water Efficient Landscape Ordinance Project Information**  
 Date: 10-10-19  
 Project: Industrial Building Florence Ave.  
 Project Applicant: Thomas Baak and Associates, LLP  
 Contact: Andrea Swanson  
 Address: 1620 North Main Street, Suite 4, Walnut Creek, CA 94596  
 Email: aswanson@tbaak.com  
 Phone: 925.933.2583 ext 106  
 Property Owner/ or Representative: Schwager Development, Banducci Assoc. Architects  
 Contact: Will di Michele  
 Address: 7011 Koll Center Parkway #100  
 Email: wdmichele@baarchitects.com  
 Phone: 925-426-4701  
 Project Address: 1075 Florence Ave. Campbell, California  
 Total Landscape Area (square feet): 1,005 SF  
 Project Type: Industrial Building  
 Water Supply Type: Domestic service  
 Documentation Package:  
 Water Efficient Landscape Worksheet: YES  
 Soil Management Report: NOTE ADDED TO PLANTING NOTES  
 Landscape Design Plan: YES  
 Irrigation Design Plan: YES  
 Grading Design Plan: REFER TO CIVIL ENGINEER PLANS  
 Applicant Statement:  
 "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete landscape documentation package."  
 Applicant Signature: [Signature] Date: 1-27-20

**CERTIFICATION STATEMENT:**  
 I/WE CERTIFY THAT THE LANDSCAPE AND IRRIGATION PLANS COMPLY WITH THE LANDSCAPE DESIGN STANDARDS AND REQUIREMENTS FOR THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.  
 PRINT NAME- PROPERTY OWNER: ANDREA SWANSON  
 SIGNATURE-PROPERTY OWNER: [Signature]  
 DATE: 10-10-19  
 PRINT NAME- LANDSCAPE ARCHITECT: THOMAS BAAK AND ASSOCIATES LLP  
 SIGNATURE- LANDSCAPE ARCHITECT: [Signature]  
 DATE: 1-10-20  
 #2720  
 STATE LICENSE NUMBER

REFER TO L1.2 FOR PLANTING NOTES AND DETAILS  
 REFER TO L1.3 FOR PLANT IMAGES

NO.	DATE	DESCRIPTION
1	10-10-19	ISSUED FOR PERMIT



NEW INDUSTRIAL BUILDING  
 1075 FLORENCE WAY  
 CAMPBELL, CALIFORNIA

PLANTING PLAN

DESIGNED	DRAWN
AS	KD
CHECKED:	JOB NO:
DATE:	SCALE:
1-10-20	NOTED:

SHEET  
 L1.1  
 of 4 SHEETS



TREES:



LAGERSTROMEIA 'TUSCARORA'

GRASSES & SHRUBS:



CAREX DIVULSA



CHONDROPETALUM TECTORUM



MAHONIA A. REPENS



MYRICA CALIFORNICA



PHORMIUM TENAX 'TOM THUMB'



PHORMIUM TENAX 'TINY TIGER'



RHAMNUS 'LITTLE SUR'



TEUCRIUM LUCIDRYS

1

REVISIONS	
1	REVISED 1-15-20

Thomas Bark & Associates, LLC.  
 1015 NORTH AVENUE, SUITE 100  
 CAMPBELL, CALIFORNIA 95008  
 PH: 408.375.2325

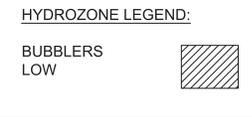
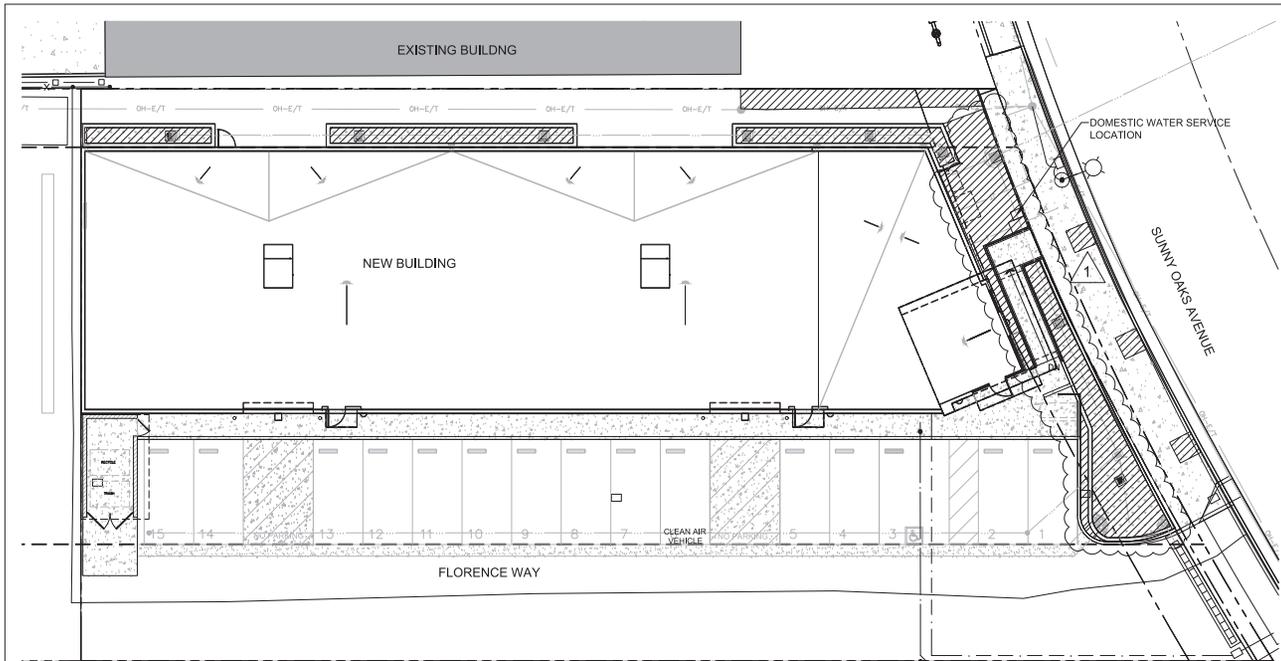


NEW INDUSTRIAL BUILDING  
 1075 FLORENCE WAY  
 CAMPBELL, CALIFORNIA

PLANT IMAGES

DESIGNED:	AS	DRAWN:	KD
CHECKED:		JOB NO.:	
DATE:		1-10-20	
SCALE:		NOTED	

SHEET  
 L1.3  
 of 4 SHEETS



**WATER EFFICIENT LANDSCAPE WORKSHEET**

REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>): 45.3

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.3	BUBBLER	0.81	0.3703703	1000	372.2221515	10454.2
					<b>TOTALS:</b>	1000	372
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA				0	0	0	0
WATER FEATURE 1				0	0	0	0
WATER FEATURE 2				0	0	0	0
					<b>TOTALS:</b>	0	0
							<b>ETWU TOTAL:</b>
							10,454
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>							12,702

**ETAF CALCULATIONS:**

**REGULAR LANDSCAPE AREAS:**

TOTAL ETAF x AREA	372
TOTAL LANDSCAPE AREA	1,005
AVERAGE ETAF	0.37

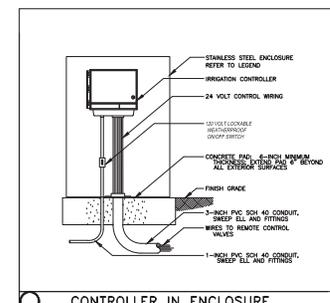
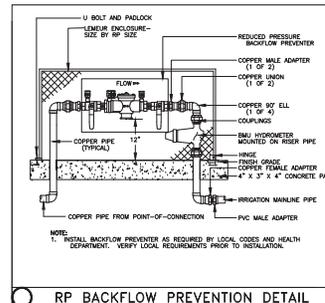
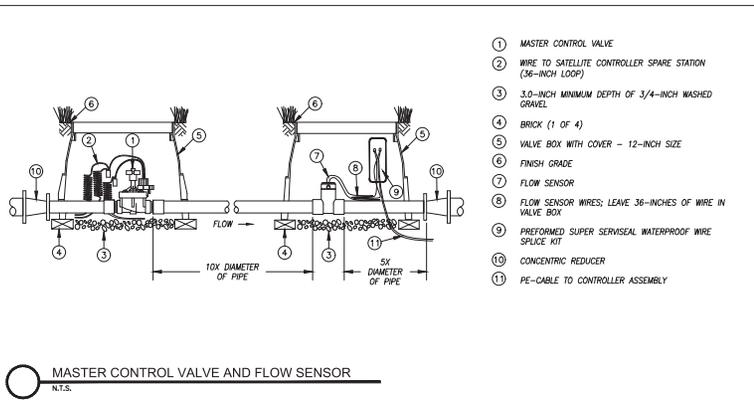
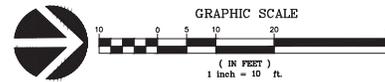
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

**ALL LANDSCAPE AREAS:**

TOTAL ETAF x AREA	372
TOTAL LANDSCAPE AREA	1,005
SITEWIDE ETAF	0.37

**IRRIGATION EQUIPMENT**

- 'RAINBIRD' #ESP-12 LXE STATION WALL-MOUNT CONTROLLER WITH #ETC-LX 'ET' MANAGER CARTRIDGE; ALSO PROVIDE 'ET' MANAGER CARTRIDGE WITH ANTENNA
- 'FEBCO' #FR825-Y 1" REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY (LEAD FREE); SET IN 1/2" LEAKUR BACKFLOW ENCLOSURE W/ INSULATION COVER
- 'DATA INDUSTRIAL' #IR1008 BRASS FLOW SENSOR WITH 'SUPERIOR' #0100 1" MASTER CONTROL VALVE, NORMALLY OPEN, MOUNT WITHIN 'CARSON BROOKS' PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS
- 'NIBCO' #T-113 CLASS 125 BRONZE GATE VALVE, LINE SIZE, INSTALL IN 'CARSON BROOKS' PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS
- 'RAINBIRD' #PEB SERIES-1" REMOTE CONTROL VALVE, SEE PLAN FOR SIZE, MOUNT WITHIN 'CARSON BROOKS' PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS
- MAINLINE: SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS; PROVIDE 18" (MIN.) COVER.
- LATERAL LINE: CLASS 200 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; PRIMER TO BE USED, PROVIDE 12" (MIN.) COVER.
- 'RAINBIRD' #1401 FLOOD BUBBLER (0.25 GPM) ON IPS FLEX RISER SET ON ROOFTOP.



REVISIONS

NO.	DATE	DESCRIPTION
1	1-10-20	ISSUE FOR PERMITS

Thomson, Bink & Associates, LLC  
1000 NORTH MAIN STREET  
SUNNYVALE, CA 94086  
PH: 415.941.1000  
WWW.TBA-CA.COM



NEW INDUSTRIAL BUILDING  
1075 FLORENCE WAY  
CAMPBELL, CALIFORNIA

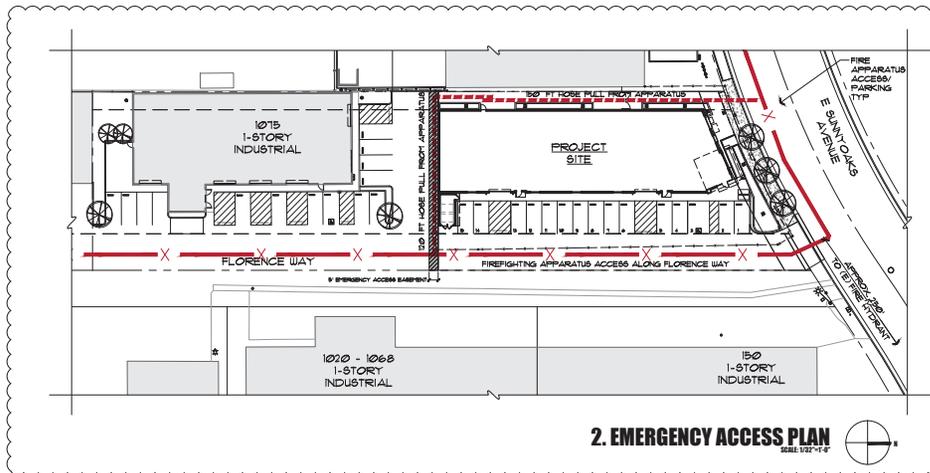
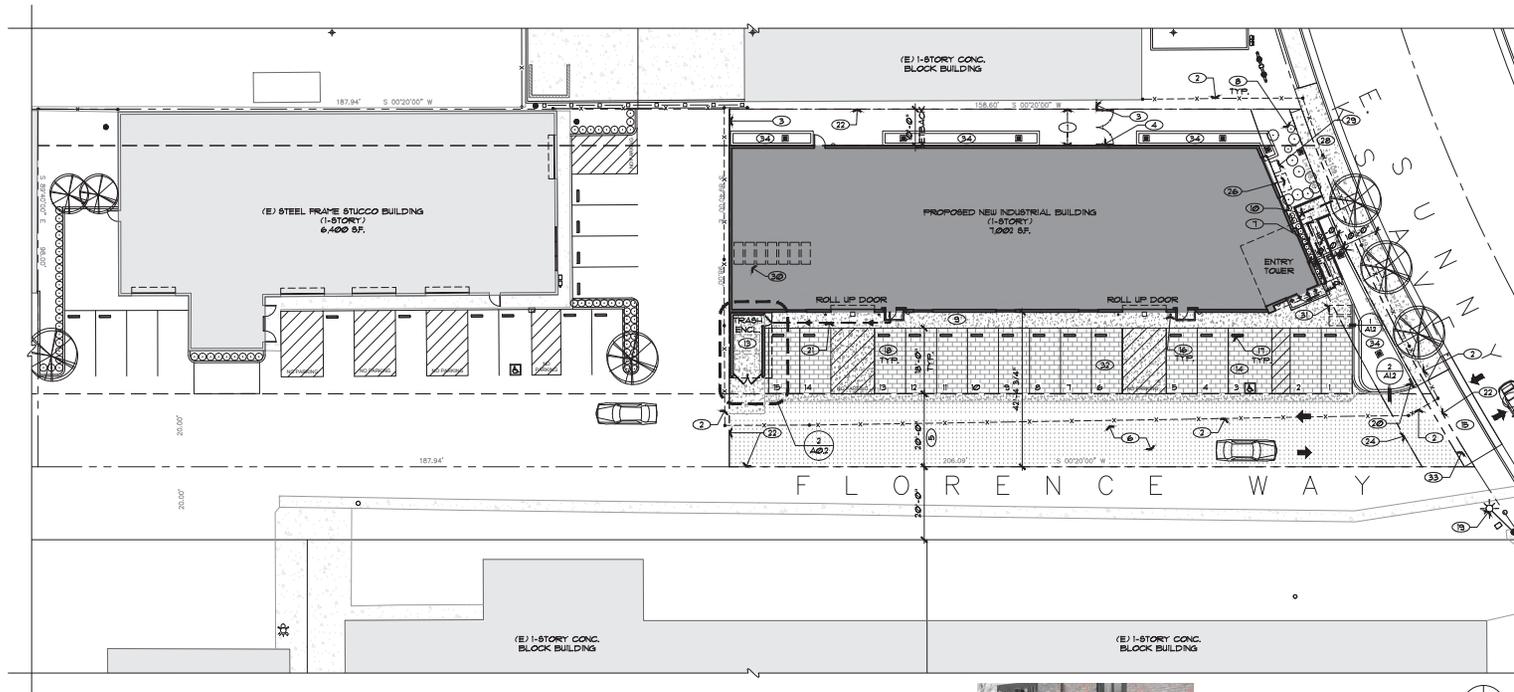
HYDROZONE  
PLAN

DESIGNED: AS  
CHECKED: AS  
DATE: 1-10-20  
SCALE: NOTED

SHEET

L2.1

OF 4 SHEETS



- 1. SITE PLAN**  
SCALE 1/16"=1'-0"
- SITE PLAN GENERAL NOTES**
- BIKE RACK SPEC: DERO DOUNTOWN RACK W/ POWDER COAT FINISH TO MATCH CHAIRS. SEE 41- FOR PHASE, KEYNOTED 30 AND 31 FOR LOCATION.
  - FOR ADDITIONAL INFO SEE CIVIL DUGS.
  - FOR LANDSCAPE PLANTING PLAN INFO SEE SHEET L11.
  - FOR TYP. SITE DETAILS SEE SHEET A12.
  - FOR BLDG. FLOOR AND ROOF PLANS SEE SHEET A21.
  - ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
  - EXISTING CHAIN LINK FENCE AT PERIMETER OF PROPERTY TO BE REMOVED. SEE KEYNOTE 9 TO THE RIGHT.

**SITE PLAN KEYNOTES**

- INDICATED BY Ⓢ ON THE DRAWINGS.
- (E) 10'-0" PIGKE EASEMENT.
  - (E) FENCE AROUND PERIMETER TO BE REMOVED.
  - (N) 8'-0" HIGH PAINTED STEEL FENCE. SEE DETAILS T1/A12.
  - (N) 8'-0" HIGH STEEL GATED TO MATCH FENCE.
  - (E) 20'-0" WIDE ROAD EASEMENT.
  - (N) AC PAVING.
  - (N) CONCRETE RAMP WITH PAINTED METAL HANDRAILS (PAINTED TO MATCH CANOPY COLOR).
  - (N) LANDSCAPE. SEE LANDSCAPE PLAN FOR PLANTING PLAN.
  - (N) CONCRETE WALK LEVELLED WITH PARKING SURFACE.
  - ACCESSIBLE PATH OF TRAVEL FROM THE BUILDING TO THE PUBLIC RIGHT OF WAY.
  - NOT USED.
  - NOT USED.
  - (N) COVERED TRASH ENCLOSURE.
  - (N) ACCESSIBLE PARKING STALL. SEE DETAIL D/A12.
  - (N) DRIVEWAY. SEE CIVIL DRAWINGS.
  - (N) CONCRETE FILLED BOLLARD, TYP. SEE DETAIL 6/A12.
  - (N) PARKING STALL WHEELSTOP, TYP. SEE DETAIL 5/A12.
  - (N) PARKING STALL, TYP.
  - (E) COBRAHEAD STREET LIGHT.
  - (N) TOW AWAY SIGN. SEE DETAIL B/A12.
  - EMPLOYEE ACCESSIBLE PATH OF TRAVEL TO TRASH ENCLOSURE.
  - (E) PROPERTY LINE.
  - NOT USED.
  - BUILDING FRONT SETBACK LINE.
  - NOT USED.
  - PROPOSED AREA FOR BACKFLOW PREVENTER TO BE SCREENED IN COMPLIANCE WITH ALL APPLICABLE CITY ORDINANCES. FOR MORE INFO SEE PLANTING PLAN.
  - NOT USED.
  - PROPOSED 10'-0" SIDEWALK.
  - PROPOSED AREA FOR WATER AND GAS METERS TO BE SCREENED IN COMPLIANCE WITH ALL APPLICABLE CITY ORDINANCES. FOR MORE INFO SEE PLANTING PLAN.
  - PROPOSED LOCATION FOR LONG-TERM BICYCLE PARKING.
  - PROPOSED LOCATION FOR SHORT-TERM BICYCLE PARKING.
  - PROPOSED DESIGNATED PARKING FOR LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN POOL VEHICLE.
  - PROPOSED 3' WIDE RIGHT OF DESIGNATION 10'-0" FROM FACE OF CURB 436' FROM CENTERLINE OF STREET, 321 SQUARE FEET.
  - BIO-RETENTION PLANTER TYPICAL. SEE CIVIL DRAWINGS FOR MORE INFO.

**LEGEND**

	EXISTING BUILDING FOOTPRINT
	PROPOSED NEW BUILDING
	NO PARKING/LOADING AREA
	NEW CONCRETE, SEE CIVIL DUGS.
	NEW CONCRETE VALLEY GUTTER, SEE CIVIL DUGS FOR MORE INFO.
	NEW PERVIOUS CONCRETE PAVERS, SEE CIVIL DUGS FOR MORE INFO.
	NEW ASPHALTIC CONCRETE PAVING, SEE CIVIL DRAWINGS FOR MORE INFO.
	PROPERTY LINE - SUBJECT PARCEL
	UTILITY EASEMENT
	BEARING AND DISTANCE
	EXISTING FENCE TO BE REMOVED



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NEW BUILDING FOR:  
**FLORENCE INDUSTRIAL**

1075 FLORENCE WAY  
CAMPBELL, CA

FOR: SCHWAGER DEVELOPMENT



REVISIONS  
PLANNING SUBMITTAL 10.24.2019  
PLAN CHECK RESPONSE 1.27.2020  
PLAN CHECK RESPONSE 5.5.2020  
PLAN CHECK RESPONSE 7.15.2020

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David B. Banducci, AIA, Architect

**SHEET TITLE**

**SITE PLAN**

SCALE 1/16"=1'-0"

PROJECT NO. 19.36

DATE 5.5.2020

DRAWN BY MD

SHEET NO.

**A1.1**

NEW BUILDING FOR:  
**FLORENCE INDUSTRIAL**

1075 FLORENCE WAY  
CAMPBELL, CA

FOR: SCHWAGER DEVELOPMENT



REVISIONS  
PLANNING SUBMITTAL 10.24.2019  
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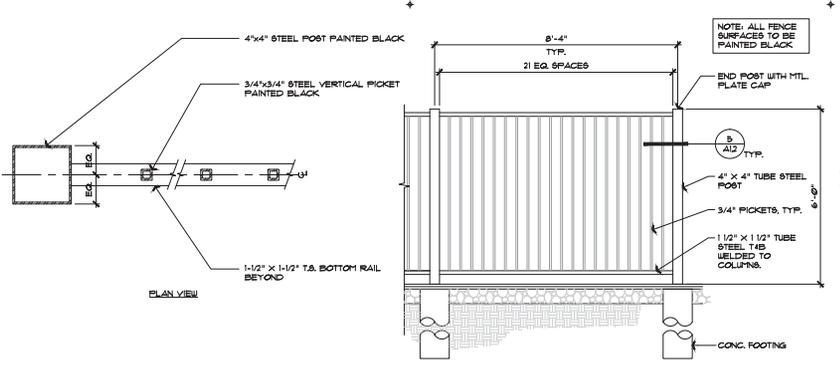
**SHEET TITLE**

**SITE DETAILS**

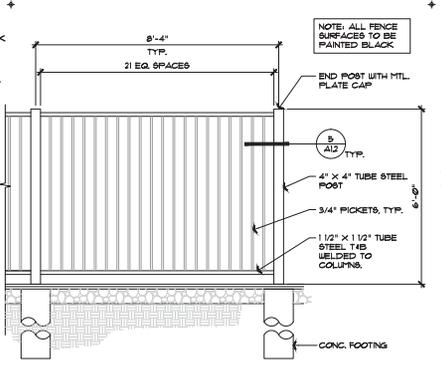
SCALE	AS SHOWN
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	MD

SHEET NO.

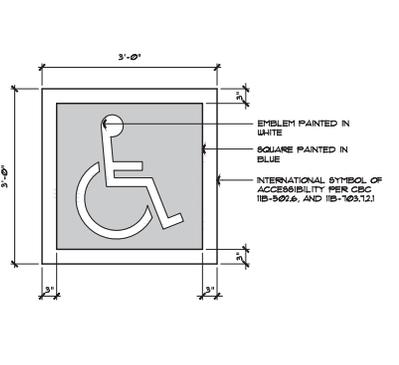
**A1.2**



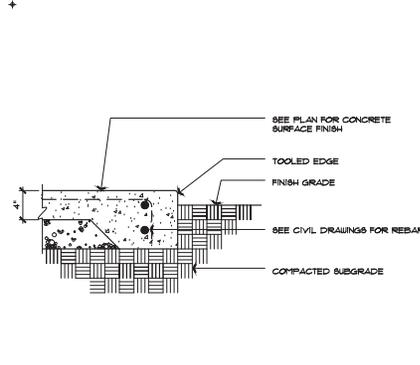
**10. EXTERIOR FENCE DETAIL**  
SCALE 1/4"=1'-0"



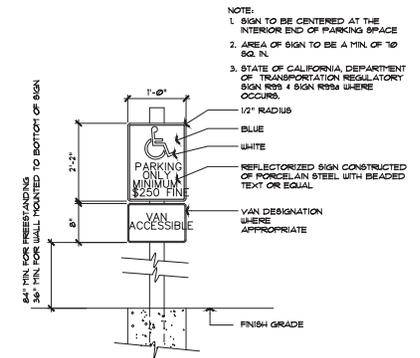
**7. EXTERIOR FENCE ELEVATION**  
SCALE 1/4"=1'-0"



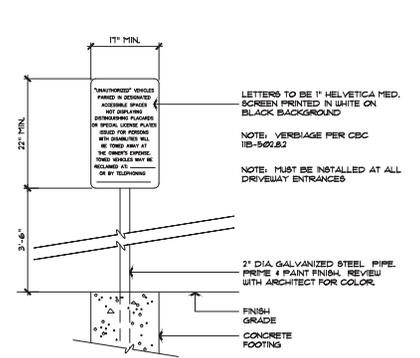
**4. ACCESSIBLE SYMBOL DETAIL**  
SCALE 3/8"=1'-0"



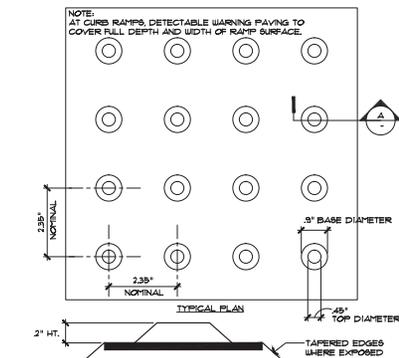
**1. CONCRETE WALK**  
SCALE 1/4"=1'-0"



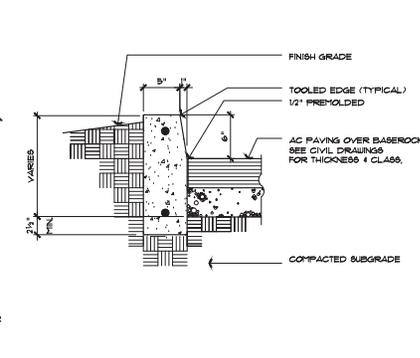
**11. ACCESSIBLE PARKING SIGN**  
SCALE 1/4"=1'-0"



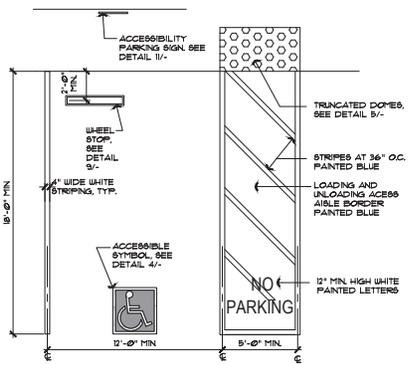
**8. TOWAWAY SIGN**  
SCALE 1/4"=1'-0"



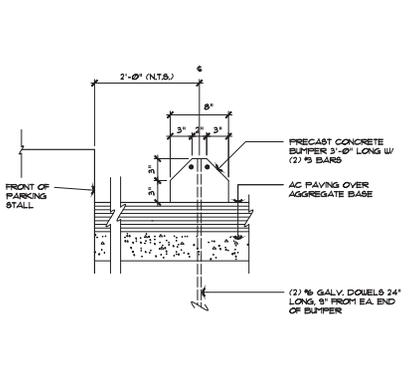
**5. TRUNCATED DOMES**  
SCALE 1/4"=1'-0"



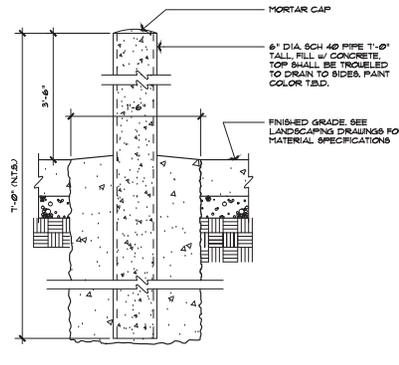
**2. CONCRETE CURB @ AC PAVING**  
SCALE 1/4"=1'-0"



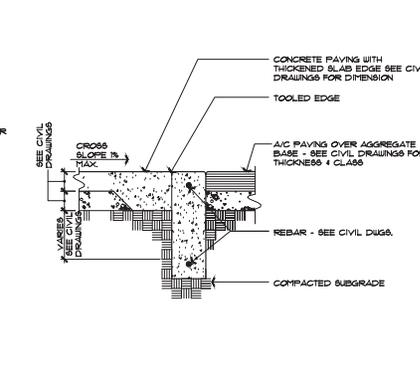
**12. ACCESSIBLE PARKING STALL**  
SCALE 1/4"=1'-0"



**9. PARKING WHEEL STOP**  
SCALE 1/4"=1'-0"



**6. BOLLARD - FIXED**  
SCALE 1/4"=1'-0"



**3. CONC CURB @ CONC SLAB & WALK**  
SCALE 1/4"=1'-0"

NEW BUILDING FOR:  
**FLORENCE INDUSTRIAL**

1075 FLORENCE WAY  
CAMPBELL, CA

FOR: SCHWAGER DEVELOPMENT



REVISIONS

PLANNING SUBMITTAL	10.24.2019
PLAN CHECK RESPONSE	1.27.2020
PLAN CHECK RESPONSE	5.5.2020

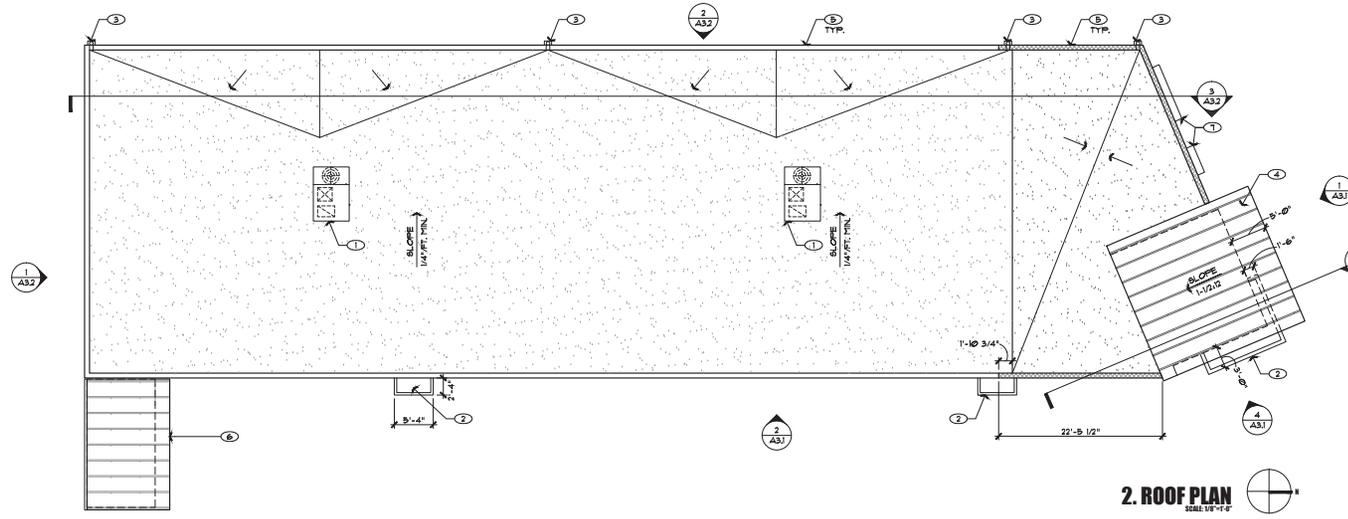
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David B. Banducci, AIA, Architect

**SHEET TITLE**

**FLOOR AND ROOF PLANS**

SCALE	1/8"=1'-0"
PROJECT NO.	19-38
DATE	5.5.2020
DRAWN BY	WD



**ROOF PLAN KEYNOTES**

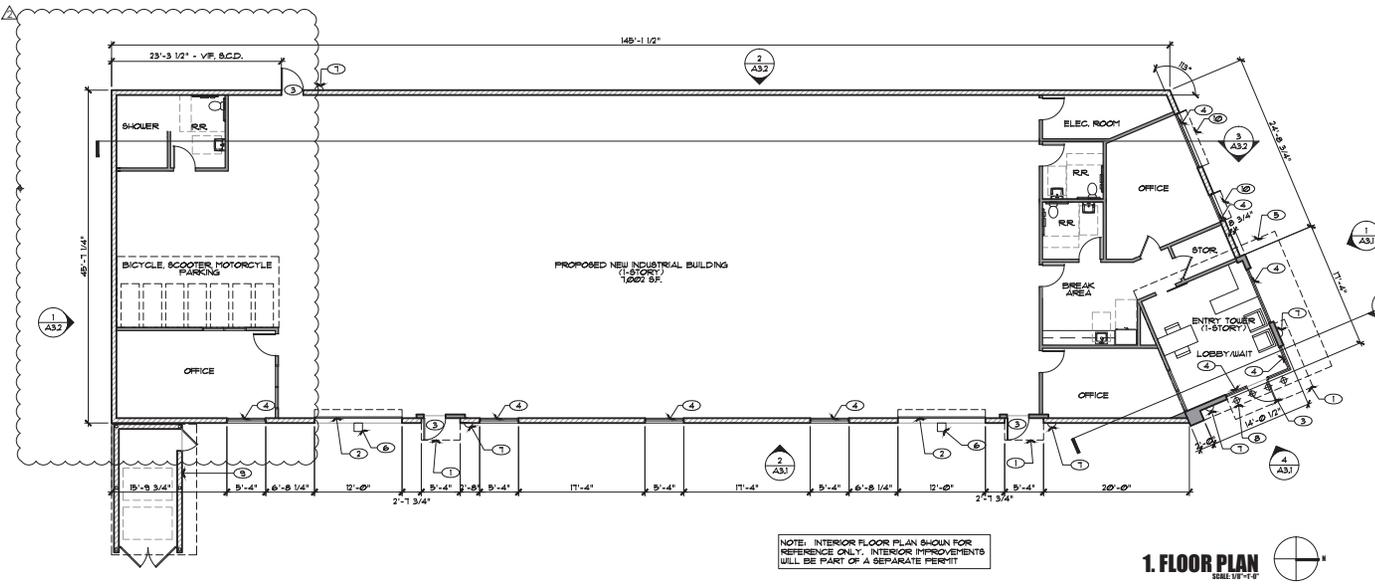
INDICATED BY (K) ON THE DRAWINGS.

1. FUTURE MECHANICAL ROOFTOP UNITS, TYP.
2. SUSPENDED CANOPY BELOW.
3. PAINTED ALUM. DOWNSPOUT, TYP.
4. STANDING BEAM METAL ROOF.
5. CPU PARAPET WALL.
6. NEW TRASH ENCLOSURE. SEE SHEET AU FOR MORE INFO.
7. METAL FIN SOFFIT BELOW. SEE EXTERIOR ELEVATIONS.

**ROOF PLAN LEGEND**

- NEW LOWER CPU PARAPET
- NEW HIGHER CPU PARAPET
- AREA OF NEW STANDING BEAM METAL ROOF

**2. ROOF PLAN**  
SCALE 1/8"=1'-0"



**FLOOR PLAN KEYNOTES**

INDICATED BY (K) ON THE DRAWINGS.

1. CANOPY ABOVE.
2. 8'-0"X20'-0" ROLL-UP DOOR. FOR MORE INFO, SEE EXTERIOR ELEVATIONS.
3. ALUMINUM STOREFRONT DOOR.
4. ALUMINUM STOREFRONT WINDOW.
5. ROOF ABOVE.
6. NEW L-1 WALL SCIENCE ABOVE BAY DOORS.
7. NEW L-2 WALL SCIENCE.
8. NEW L-3 SIGNAGE LIGHT AT ENTRY TOWER.
9. NEW TRASH ENCLOSURE. SEE SHEET AU FOR MORE INFO.
10. METAL FIN SOFFIT ABOVE. SEE EXTERIOR ELEVATIONS.

**FLOOR PLAN LEGEND**

- NEW WALL CONSTRUCTION
- NEW CPU WALL
- NEW L-1 WALL SCIENCE, SEE LIGHTING PLAN
- NEW L-2 WALL SCIENCE, SEE LIGHTING PLAN
- NEW L-3 SIGNAGE LIGHT FIXTURE, SEE LIGHTING PLAN

**PARKING/AREA TABULATION**

PARKING REQUIRED:	
1,000 SF / 400 SF	18 STALLS
ACCESSIBLE PARKING	1 STALL
PARKING PROVIDED:	
TOTAL PARKING	18 STALLS
ACCESSIBLE PARKING	1 STALL

NOTE: INTERIOR FLOOR PLAN SHOWN FOR REFERENCE ONLY. INTERIOR IMPROVEMENTS WILL BE PART OF A SEPARATE PERMIT.

**1. FLOOR PLAN**  
SCALE 1/8"=1'-0"



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REVISIONS	DATE
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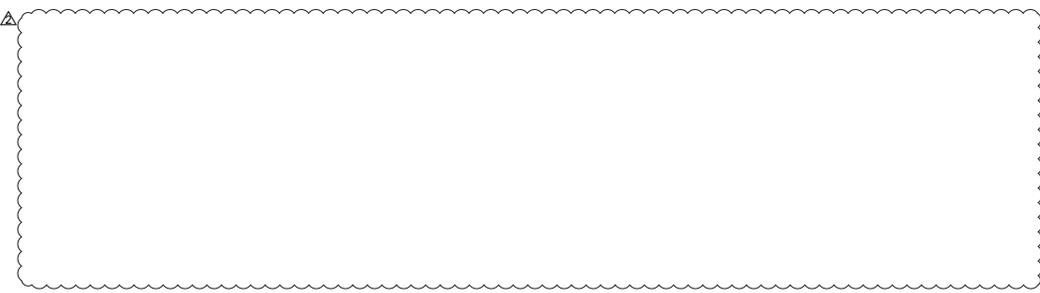
David B. Banducci, AIA, Architect

**SHEET TITLE**

**EXTERIOR ELEVATIONS**

SCALE	1/8"=1'-0"
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	ND

**SHEET NO. A3.1**



**EXTERIOR ELEVATION GENERAL NOTES**

- FOR MATERIAL AND COLOR INFORMATION SEE SHEET A4.1 AND A4.2.

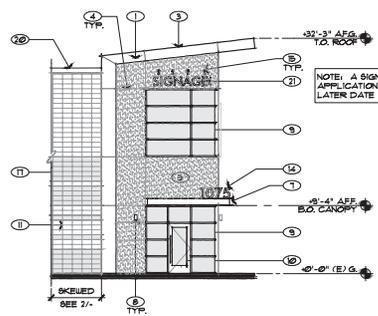
**EXTERIOR ELEVATION KEYNOTES**

INDICATED BY (K) ON THE DRAWINGS.

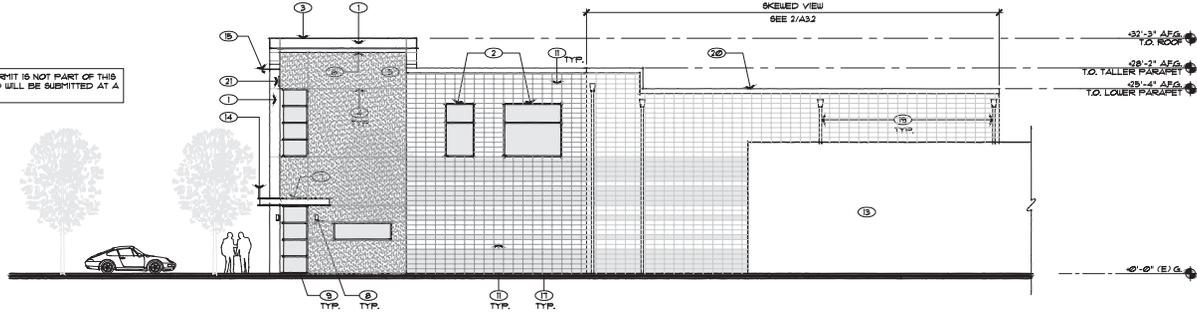
- METAL FASCIA PANEL, BLACKENED FINISH.
- METAL FINIS ARROUND WINDOW, BLACKENED FINISH.
- STANDING BEAM METAL ROOF.
- PLASTER CONTROL JOINT, TYP.
- EXTERIOR STUCCO WALL FINISH.
- COMPOSITE WOOD SIDING W/ BLACKENED METAL BAND AT UNDERSIDE OF OVERHANG.
- PAINTED STEEL C-CHANNEL CANOPY W/ PERFORATED METAL SHADE INSIDE.
- WALL MOUNTED LIGHT FIXTURE, TYP. SEE SHEET A2.1 AND LIGHTING PLAN FOR MORE INFO.
- CLEAR TEMPERED STOREFRONT GLAZING IN CLEAR ANODIZED ALUMINUM FRAMES.
- STOREFRONT ENTRY DOOR W/ TRANSOM ABOVE.
- FIELD COLOR SPLIT FACED CMU BLOCK, SHOWN UNSHADED.
- NOT USED.
- EXISTING BUILDING ADJACENT TO SITE.
- 6" HIGH BRUSHED ALUMINUM ADDRESS NUMBERS.
- EXTERIOR SIGNAGE LIGHT FIXTURE. SEE SHEET A2.1 AND LIGHTING PLAN FOR MORE INFO.
- 3'-6" HIGH CONCRETE BOLLARD PAINTED TO MATCH CANOPIES, TYP.
- ACCENT COLOR SPLIT FACED CMU BLOCK, SHOWN SHADED.
- 16'-0" HIGH STEEL ROLL-UP DOOR, TYP.
- PAINTED ALUMINUM DOWNSPOUT AND CONDUCTOR, TYP.
- PAINTED METAL COPING CAP, TYP.
- TENANT EXTERIOR SIGNAGE (FUTURE).
- NEW TRASH ENCLOSURE, SEE SHEET A4.1 FOR MORE INFO.



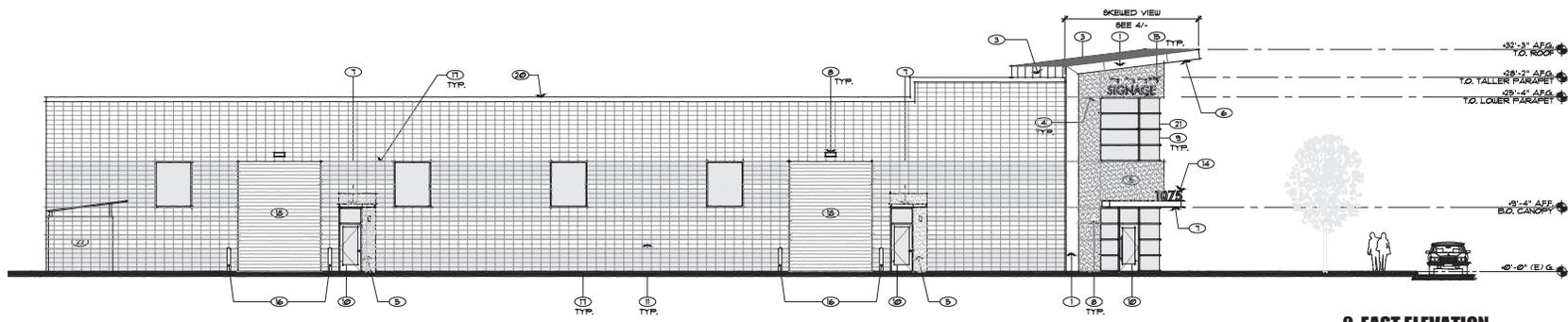
**3. STREETScape DIAGRAM**



**4. NORTH EAST ELEVATION**  
SCALE 1/8"=1'-0"



**1. NORTH ELEVATION**  
SCALE 1/8"=1'-0"



**2. EAST ELEVATION**  
SCALE 1/8"=1'-0"

**SHEET TITLE**

**EXTERIOR  
ELEVATIONS AND  
BUILDING SECTION**

SCALE	1/8"=1'-0"
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	WD

**SHEET NO. A3.2**

**EXTERIOR ELEVATION GENERAL NOTES**

- A. FOR MATERIAL AND COLOR INFORMATION SEE SHEET A4.1 AND A4.2.

**EXTERIOR ELEVATION KEYNOTES**

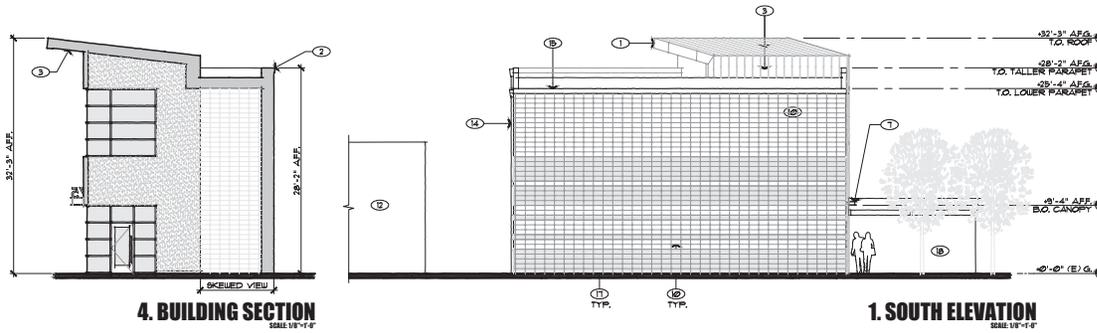
INDICATED BY (O) ON THE DRAWINGS.

1. METAL FASCIA PANEL, BLACKENED FINISH
2. METAL FINS AROUND WINDOW, BLACKENED FINISH
3. STANDING SEAM METAL ROOF
4. PLASTER CONTROL JOINT, TYP.
5. EXTERIOR STUCCO WALL FINISH
6. COMPOSITE 'WOOD' SIDING W/ BLACKENED METAL BAND AT UNDERSIDE OF OVERHANG
7. PAINTED STEEL C-CHANNEL CANOPY W/ PERFORATED METAL SHADE INSIDE
8. WALL MOUNTED LIGHT FIXTURE, TYP. SEE SHEET A2.1 AND LIGHTING PLAN FOR MORE INFO
9. CLEAR TINTED STOREFRONT GLAZING IN CLEAR ANODIZED ALUMINUM FRAMES
10. FIELD COLOR SPLIT FACED CMU BLOCK, SHOWN UNSHADED
11. NOT USED
12. EXISTING BUILDING ADJACENT TO SITE
13. NOT USED
14. PAINTED ALUMINUM DOWNSPOUT AND CONDUCTOR, TYP.
15. PAINTED METAL CORNING CAP, TYP.
16. 16" HIGH BRUSHED ALUMINUM ADDRESS NUMBERS
17. ACCENT COLOR SPLIT FACED CMU BLOCK, SHOWN SHADED
18. NEW TRASH ENCLOSURE, SEE SHEET A1.1 FOR MORE INFO
19. NEW ALUMINUM STOREFRONT DOOR W/ A TRANSOM ABOVE IN A CLEAR ANODIZED ALUMINUM FRAME

**BUILDING SECTION KEYNOTES**

INDICATED BY (O) ON THE DRAWINGS.

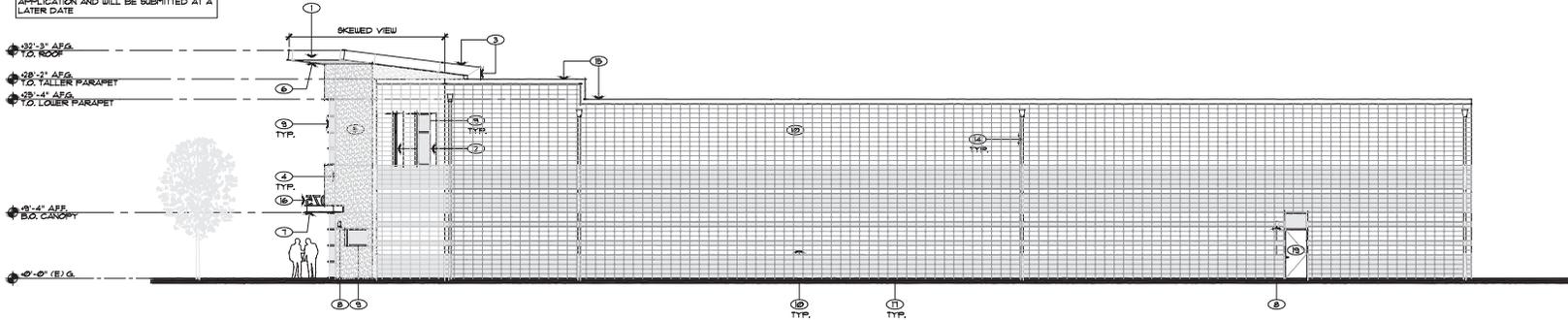
1. FUTURE MECHANICAL UNITS LOCATED ON TOP OF ROOF
2. CMU PARAPET WALL
3. COMPOSITE 'WOOD' SIDING UNDERNEATH OVERHANG



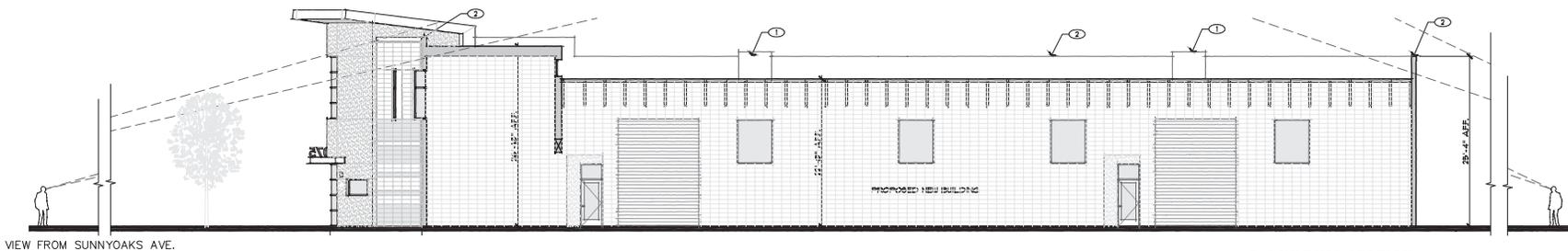
**4. BUILDING SECTION**  
SCALE 1/8"=1'-0"

**1. SOUTH ELEVATION**  
SCALE 1/8"=1'-0"

NOTE: A SIGN PERMIT IS NOT PART OF THIS APPLICATION AND WILL BE SUBMITTED AT A LATER DATE



**2. WEST ELEVATION**  
SCALE 1/8"=1'-0"



VIEW FROM SUNNYOAKS AVE.

**3. BUILDING SECTION**  
SCALE 1/8"=1'-0"



③ L-1 EXTERIOR WALL MOUNTED FIXTURE



④ L-2 EXTERIOR SCONCE FIXTURE



① L-3 EXTERIOR SIGNAGE LIGHTING



④ METAL FASCIA PANEL AND METAL FIN  
PURE#KREFF001  
OLD DIRTY BRONZE



① CPU BLOCK 1 - SPLIT FACE



⑤ PAINTED STUCCO FINISH



⑦ CPU BLOCK 3 - SPLIT FACE ACCENT



⑫ STEEL ROLL-UP DOOR



⑩ CLEAR ANODIZED ALUMINUM STOREFRONT DOOR



⑩ CLEAR ANODIZED ALUMINUM STOREFRONT DOOR



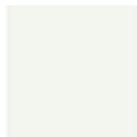
⑥ COMPOSITE WOOD SIDING  
ABET LAMINATI, MEG  
NOCE ELLERO 650



③ STANDING BEAM METAL ROOF



⑧ ALUMINUM WINDOW



⑭ P-1 BENJAMIN MOORE  
FROSTLINE AF-9  
STUCCO BODY COLOR



⑮ P-2 BENJAMIN MOORE  
14 CARROTS COP-110  
STUCCO ACCENT COLOR



⑯ P-3 BENJAMIN MOORE  
ARROGANT IRON 214-10  
CANOPIES, BOLLARDS,  
SIGN FINISH, ENCLOSURE  
DOORS / POSTS



⑪ P-4 BENJAMIN MOORE  
KENDALL CHARCOAL HC-166  
STUCCO RECESS COLOR, DOWNSPOUTS AND  
CONDUCTORS AND COPING CAP COLOR



1. COLOR RENDERING - STREET VIEW



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FOR: SCHWAGER DEVELOPMENT



REVISIONS  
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David B. Banducci, AIA, Architect

SHEET TITLE

MATERIALS  
AND COLORS

SCALE	N.T.S.
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	MD

SHEET NO. **A4.1**



**3. 3D BIRDS EYE VIEW**



**1. 3D PERSPECTIVE VIEW**



**4. 3D PERSPECTIVE VIEW**



**2. 3D PERSPECTIVE VIEW**



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FOR: SCHWAGER DEVELOPMENT  
  
SCHWAGER  
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**SHEET TITLE**

**3D PERSPECTIVE  
VIEWS**

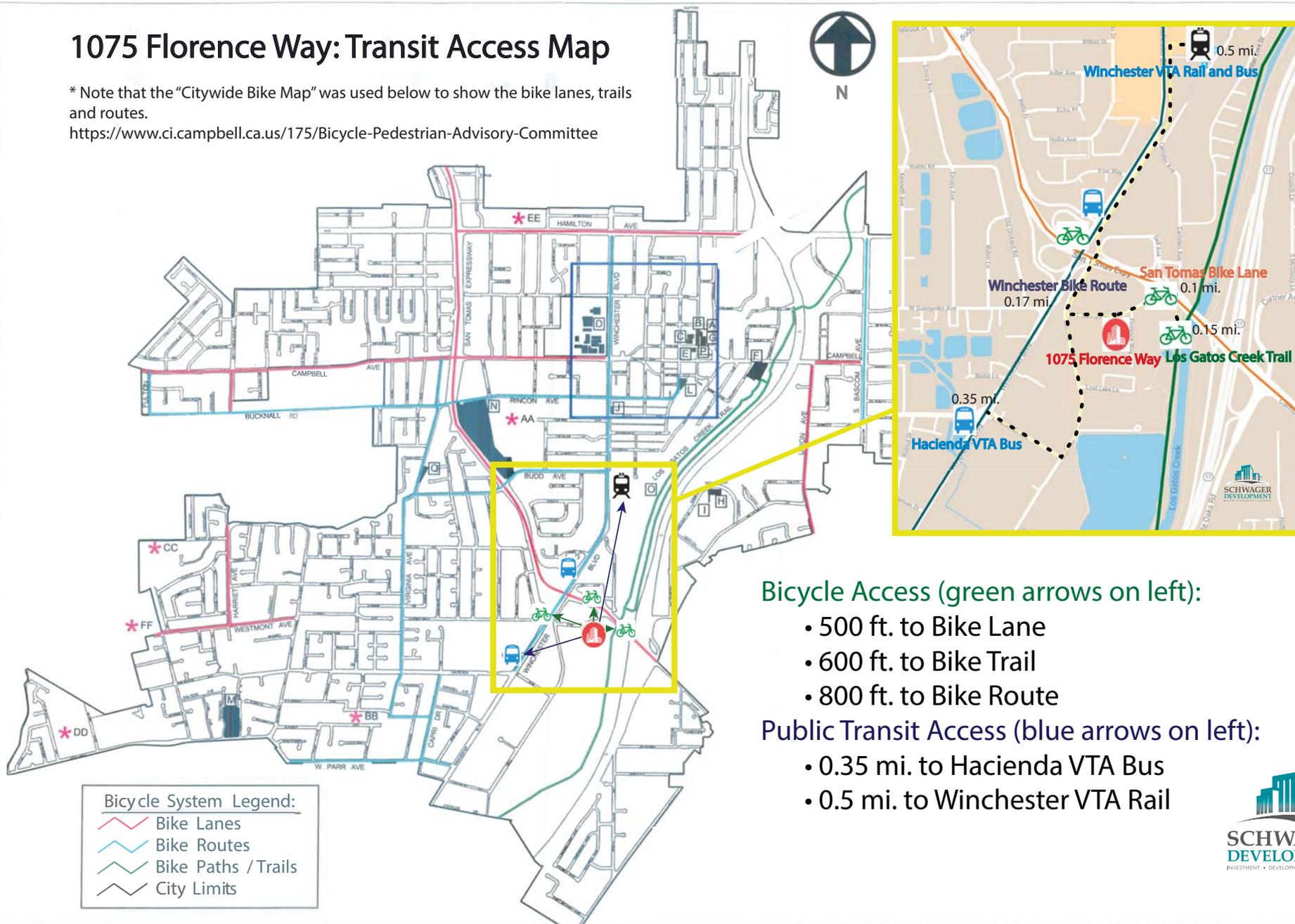
SCALE	N.T.S.
PROJECT NO.	19.36
DATE	5.5.2020
DRAWN BY	MD

SHEET NO. **A4.2**



# 1075 Florence Way: Transit Access Map

\* Note that the "Citywide Bike Map" was used below to show the bike lanes, trails and routes.  
<https://www.ci.campbell.ca.us/175/Bicycle-Pedestrian-Advisory-Committee>



### Bicycle Access (green arrows on left):

- 500 ft. to Bike Lane
- 600 ft. to Bike Trail
- 800 ft. to Bike Route

### Public Transit Access (blue arrows on left):

- 0.35 mi. to Hacienda VTA Bus
- 0.5 mi. to Winchester VTA Rail

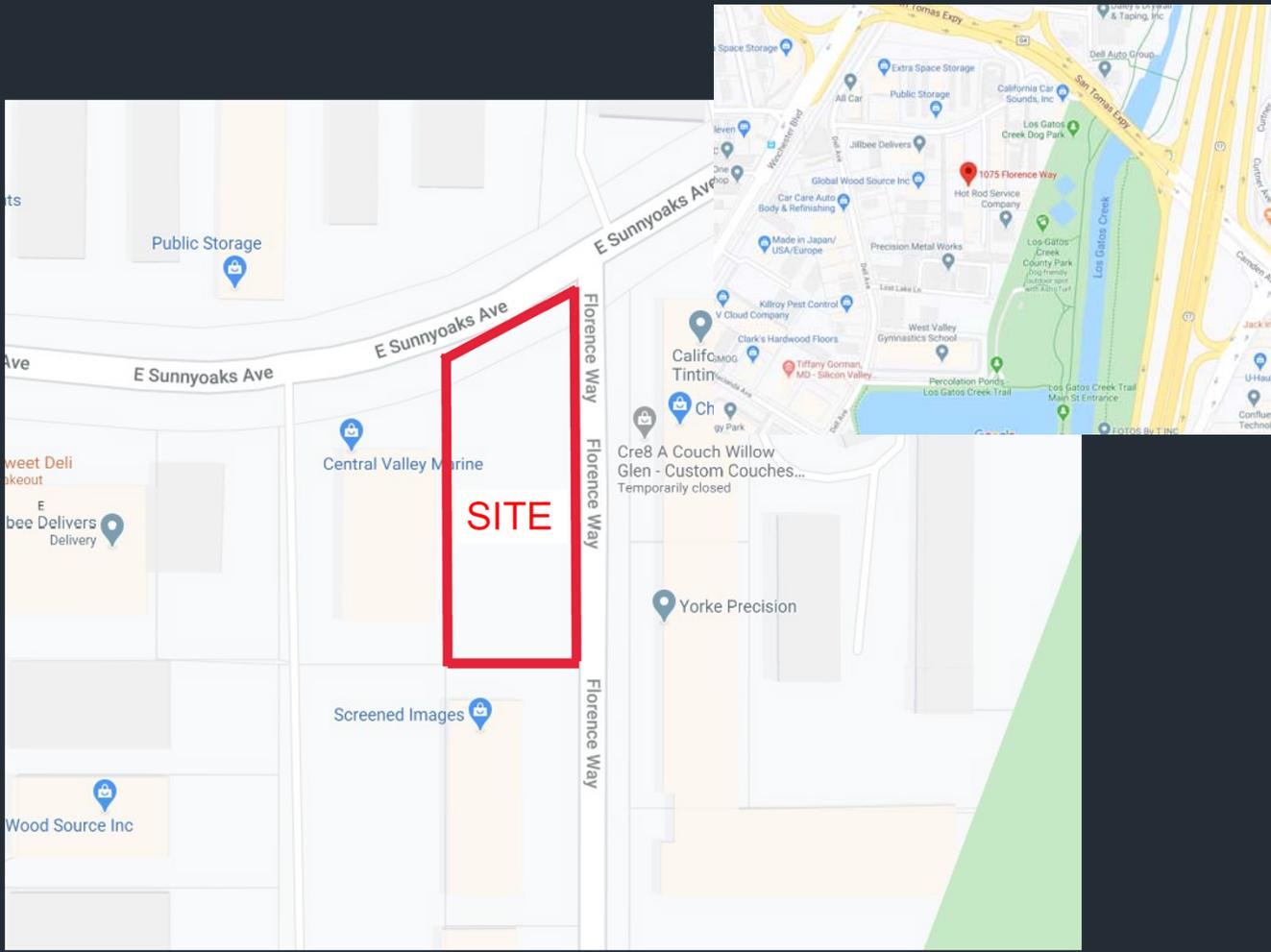


# 1075 Florence Way

Examination of  
Proposed  
Undergrounding  
Campbell, California  
March 13, 2020

# Overall Project Site

17,487 square foot lot  
7,002 gross floor area



# Existing Site Conditions

Western boundary of project frontage

Existing pole with transformer and overhead service



# Existing Site Conditions

Eastern boundary of project frontage. Communication only pole at property line



# PG&E Terminology

- **Distribution** – Utilities serving multiple customers
- **Service** – Utilities serving a single customer
- **Primary** – High voltage (e.g., 12,000V) electric power for distribution
- **Secondary** – Low voltage (e.g., 120/240V) electric power for service to individual residences
- **Transformer** – Electrical device for converting primary voltage to secondary voltage
- **Riser** – Conduit which runs down the side of a pole to transition from overhead to underground
- **Guy Wire** – Cable and anchor installed at the terminal pole of an overhead-to-underground transition to counteract the tension of the overhead lines



# PGE Constraints

When transitioning from overhead to underground, PGE needs to use a new or existing pole free from any existing equipment (such as a transformer, switch, capacitor) to place a *riser*, with sufficient space for a lineman to climb safely.

The existing pole on the western property line is currently occupied by an overhead PGE transformer serving the adjacent property. The existing pole on the eastern property line serves communications lines only and is not of sufficient height to transition from overhead to underground.



## Alternatives Considered

Underground overhead utilities along project frontage

- **Not Preferred**
- Minimum distance approximately 150 feet
- 2 **new** poles needed
- Requires temporary disruption in electric service to all properties along Sunnoaks Ave

Serve project from existing overhead pole line on property via a new riser on an existing pole

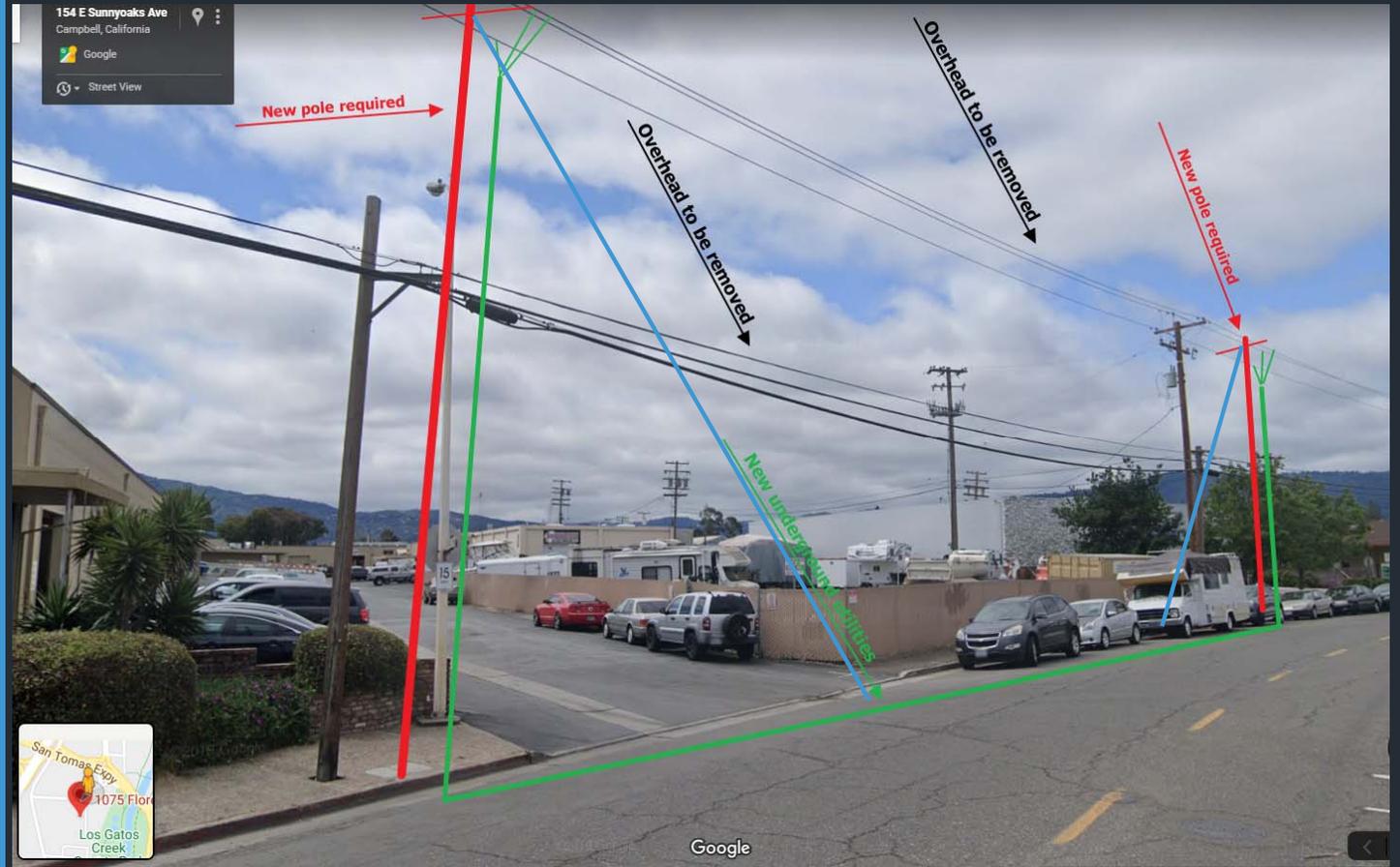
- **Preferred by PG&E**
- Least disruptive
- No additional poles required
- No existing properties affected

# Undergrounding Along Project Frontage: PG&E Design Constraints

Due to equipment on adjacent poles, **two** new poles would be required to transition from overhead to underground, and back again.

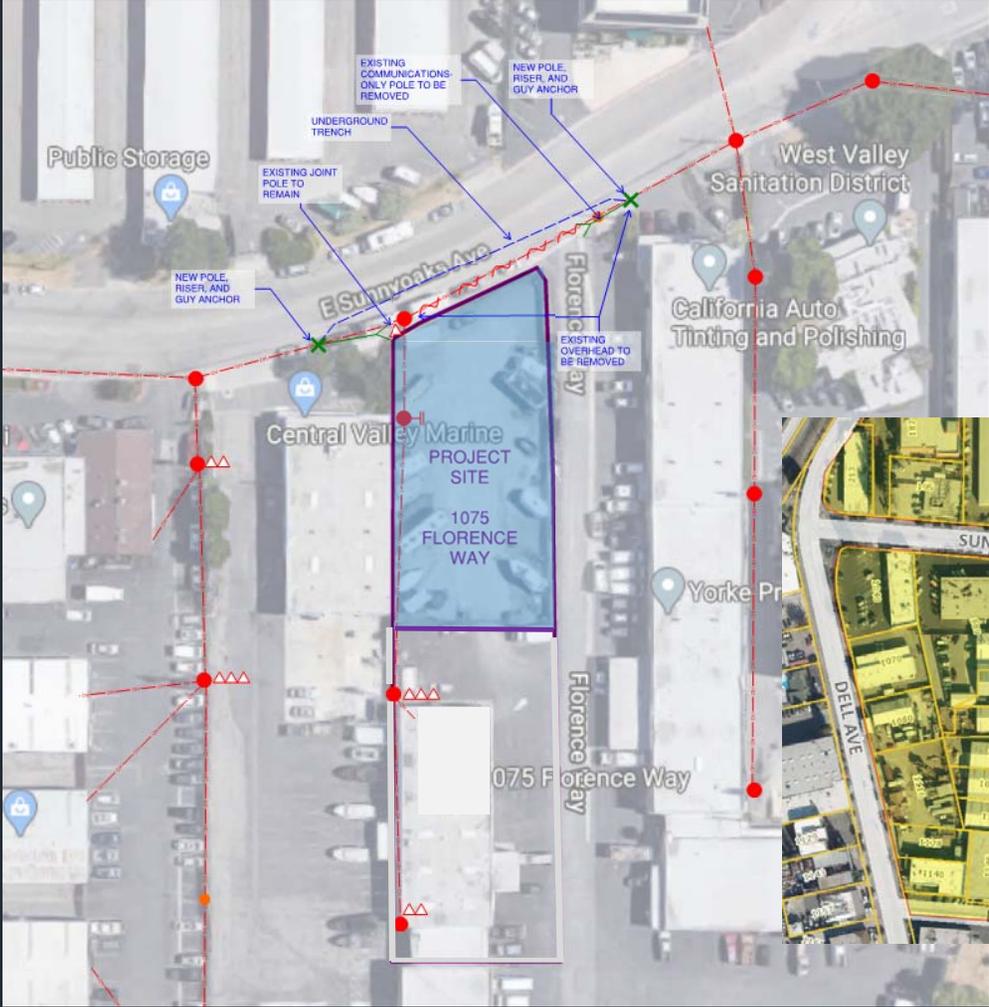
New poles sketched in red, anchors in blue, and conduit run in green.

Existing pole transformer either needs to remain to serve properties across the street, or be relocated to a pad-mounted device if pole is removed, requiring trenching and PG&E easements



# Project Frontage Undergrounding: Properties Impacted

Temporary service disruption to all properties fed from overhead on Sunnyoaks Ave (~38 parcels)



## PG&E Preferred Alternative: Existing Overhead to Remain and Service New Site from Existing Pole

Service risers to be installed at the existing pole located at south end of project.

No new poles will need to be installed, rather than two if undergrounding were to take place.

No adjacent properties affected.

No trenching across street.

Most cost-effective solution.



## Impacts Of Alternatives

	Undergrounding along Project Frontage	Use existing pole for riser
Feet of Undergrounding	~140'	0'
Poles Added	2	0
Impact to Other Properties	Yes	No
Properties Affected	~38	0
Cost and Schedule Impacts	High	Low

# Conclusion

- Adding two new poles to the project represents an aesthetic challenge while impacting adjacent businesses, while delivering limited improvements to the area
- PG&E design constraints focus on safety and reliability, making exceptions prohibitive

# Project Joint Trench Contact

*Founder:*

Scott Hardester [scott@radiusjt.com](mailto:scott@radiusjt.com)

*Project Manager:*

Jared DiBartolomeo

[jared@radiusjt.com](mailto:jared@radiusjt.com)

Radius Design LLC

Utility Design and Consulting

1460 Maria Lane #420

Walnut Creek, California 94596

Phone: (925) 269-4575

[www.radiusjt.com](http://www.radiusjt.com)

END OF  
PRESENTATION  
*Thank You*



While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>). Interested persons may register to participate at <https://us02web.zoom.us/j/86224486270?pwd=WSswUFF3ZG43UIZndHBER0JpM3E0Zz09>.

After registering, you will receive a confirmation email containing information about joining the webinar itself on September 22<sup>nd</sup> at 7:30 p.m. Additionally, the complete agenda packet will be posted by Friday, September 18, 2020 on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov) . Questions may be addressed to the Community Development Department at (408) 866-2140.