

# SITE AND ARCHITECTURAL REVIEW COMMITTEE

City of Campbell, California

Register in advance for this Zoom webinar:

September 8, 2020

Tuesday

6:30 PM

[https://us02web.zoom.us/webinar/register/WN\\_GhWEduXRkmav8GG\\_1Bm7Q](https://us02web.zoom.us/webinar/register/WN_GhWEduXRkmav8GG_1Bm7Q)

After registering, you will receive a confirmation email containing information about joining the webinar.

## SARC AGENDA Remote ZOOM Meeting

### CALL TO ORDER / INTRODUCTIONS

### STAFF COMMUNICATIONS

### AGENDA MODIFICATIONS OR POSTPONEMENTS

### MEETING MANAGEMENT

The Site and Architectural Review Committee (SARC) is a subcommittee of the Planning Commission authorized by the Campbell Municipal Code to review the architectural design and site layout of proposed development projects. The SARC makes reports and recommendations to the Planning Commission, however, the SARC has no decision-making authority and its recommendations are not binding on the Planning Commission.

SARC meetings are scheduled immediately preceding the 7:30 PM Planning Commission public hearings. As such, the time allotted for each application is limited and must be reserved for review and discussion by the SARC, staff, and applicants. Any time remaining during the scheduled review time may be utilized for public comment at the discretion of the Chair.

### SCHEDULED ITEMS

ITEM/FILE NO.	ADDRESS	START TIME	APPLICANT
1   PLN-2020-48	1533. W. Campbell Ave	6:30 PM	Grand Petroleum

Modification (PLN-2020-48) to a previously approved Conditional Use Permit (UP 78-2) with Site and Architectural Review to allow site and building alterations to an existing gasoline service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and accessibility improvements. Project Planner: *Daniel Fama, Senior Planner*

### ADJOURNMENT

Adjourn to the next remote Site and Architectural Review Committee meeting not yet scheduled.

### **Americans with Disabilities Act (ADA)**

In compliance with the Americans with Disabilities Act, listening assistance devices are available for meetings held in the Council Chambers. If you require accommodation to participate in the meeting, please contact Corinne Shinn at the Community Development Department, at [corinnes@cityofcampbell.com](mailto:corinnes@cityofcampbell.com) or (408) 866-2140.

# MEMORANDUM

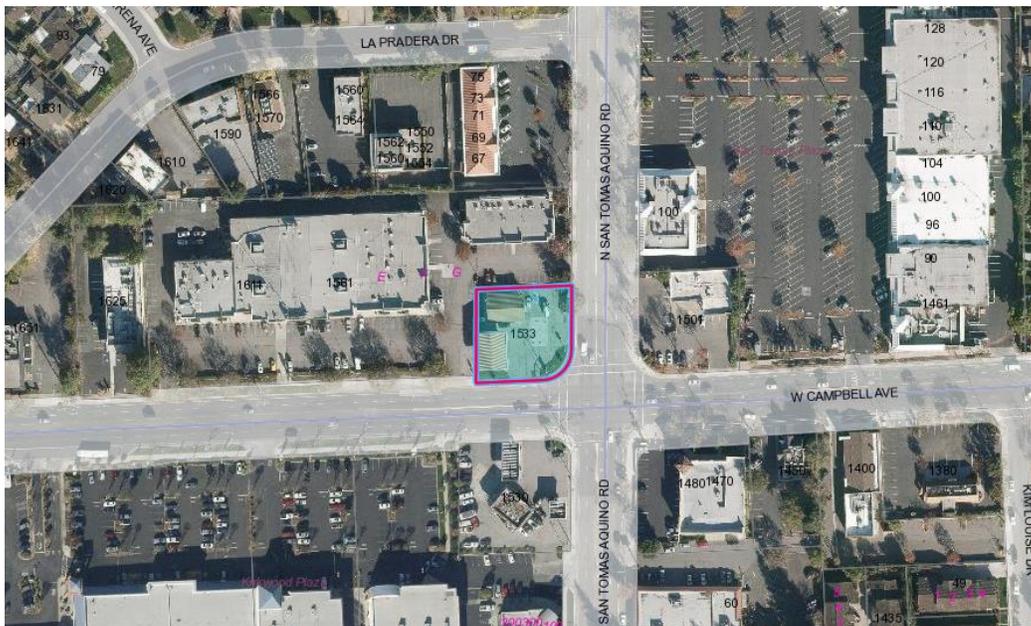


Community Development Department  
Planning Division

**To:** Site and Architectural Review Committee **Date:** September 8, 2020  
**From:** Daniel Fama, Senior Planner *DF*  
**Via:** Paul Kermoyan, Community Development Director *PK*  
**Subject:** Modification to a Conditional Use Permit w/Site and Architectural Review  
**File No.:** PLN-2020-48 ~ 1533 W. Campbell Avenue

## BACKGROUND

Project Site: The project site is an approximately 15,300 square-foot parcel located at the northwest corner of West Campbell Avenue and North San Tomas Aquino Road, within C-1 (Neighborhood Commercial) Zoning District. The Planning Commission approved a Conditional Use Permit (UP 78-2) on April 4, 1978 for construction of a gasoline service station on the property. The station currently has four gasoline dispensers covered with a canopy as well as a smog station shop and a small convenience market. The site is bordered by the "Wing Center" retail shopping center to the north and west, as shown below:



Proposed Project: The submitted application would allow for site and building alterations to the service station including reconfiguration of the fuel station layout, a new fuel station canopy, new trash enclosure, restriping of parking stalls, installation of new landscaping, and various accessibility improvements (reference **Attachment 1** – Project Plans). No changes to the existing smog-shop and convenience market are proposed, nor are any operational changes (e.g., late-night hours, alcohol service, etc.).

**PROJECT DATA**

**Zoning District:** C-1 (Neighborhood Commercial)

**General Plan Designation:** *Neighborhood Commercial*

**Net Lot Size:** 15,297 square-feet

**Operational Hours:** 6:00 AM to 10:00 PM, daily.

**Building Area:**

Existing Buildings:	1,521 square feet (no change)
New Canopy:	1,824 square feet
New Trash Enclosure:	<u>360 square feet</u>
	3,705 square feet (Total Square-Footage)

**Floor Area Ratio (FAR):** .12 .40 (Max. Allowed)

**Landscaping:** 13% (2,046 SF) 12% (Min. Required)

**Building Height:** 20 ½ feet 35 feet (Max. Allowed)

**Parking:** 6 spaces 6 spaces (Min. Required)

<b>Setbacks (Canopy):</b>	<u>Proposed</u>	<u>Required</u>
North	68 feet	10 feet
South	33 feet	15 feet
West	10 ⅓ feet	5 feet (or ½ wall height)
East	37 feet	15 feet

**DISCUSSION**

The Planning Commission’s review of this application will include consideration of the land use aspects of the proposal. The Site and Architectural Review Committee’s (SARC) purview is limited to review of the project’s architectural design and site configuration, and to make recommendations as appropriate to the Planning Commission.

Site Layout: The proposed project is a modest upgrade to an aging service station. The existing fueling canopy and fueling pumps would be entirely removed and replaced in a new configuration. The existing square-shaped canopy currently provides four pumps in an east/west orientation. The new canopy would be rectangular with three pumps in a north/south orientation.

A new accessible path-of-travel would provide direct pedestrian access from Campbell Avenue to the convenience market through the new canopy. Five parking stalls would be striped east of the smog station and one accessible stall adjacent to the convenience market. A new trash enclosure would also be constructed at the northwest corner of the site.

Design: The new canopy would be designed to match the materials of the convenience market/smog-shop building, incorporating stucco columns and tiled roof, as well as the existing red and blue color scheme. To what extent this approach is consistent with the various General Plan policies and strategies identified below, is a matter for the SARC discuss. Although a more

contemporary approach to the canopy design might be considered, unless the convenience market/smog-shop building were also remodeled, this would result in an incongruent building designs on the property.

Policy LUT-9.3: Design and Planning Compatibility: Promote high quality, creative design and site planning that is compatible with surrounding development, public spaces, and natural resources.

Strategy LUT-9.3d: Building Design: Design buildings to revitalize streets and public spaces by orienting the building to the street, including human scale details and massing that engages the pedestrian.

Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment

Parking: The City's parking requirements require a total of six parking stalls for the service station (in addition to the fueling spaces); two for the convenience market (1/250 SF) and four for the smog-shop (2 per bay). As the project would include restriping of the parking stalls, a total of six parking stalls would be provided.

Landscaping: The property's existing landscaping areas will be slightly reconfigured and rehabilitated with new drought-tolerant plantings and a new irrigation system in compliance with the State's Model Water Efficient Landscaping Ordinance (MWELo).

## **CONSIDERATIONS**

The SARC should discuss the proposed project's design compatibility, scale, site layout, and landscaping, and provide its recommendations to the Planning Commission.

### Attachments:

1. Project Plans

**FIRE PROTECTION NOTE**

1. INSTALL NEW SPRINKLER SYSTEM IN ALL EXISTING STRUCTURES AS WELL AS PROPOSED TRASH ENCLOSURE. SHOP DRAWINGS FOR MODIFICATION OF FIRE SPRINKLER SYSTEM TO BE SUBMITTED BY LICENSED FIRE SPRINKLER CONTRACTOR TO THE FIRE DEPT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

2. PROVIDE PORTABLE FIRE EXTINGUISHER, LOCATION AND SPECIFICATION IN ACCORDANCE WITH UC STANDARD 10-1

3. ALL PORTION OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MIN SIZE OF THE EXTINGUISHER SHALL BE 2-A-10-BC

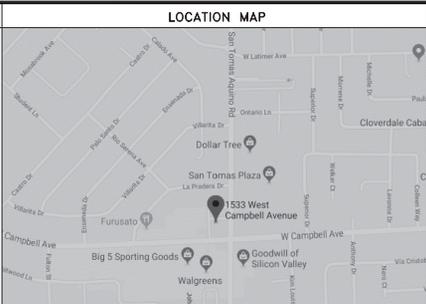
4. ALL COMBUSTIBLE INTERIOR DECORS ARE TO BE PROTECTED BY FIRE RETARDANT APPROVED BY LOCAL JURISDICTIONS AND TO BE APPLIED AND BE CERTIFIED BY AN APPLICATOR FOR CITY'S APPROVAL. INTERIOR FINISH, DECORATIVE MATERIALS AND FURNISHINGS SHALL COMPLY WITH THE REQUIREMENTS OF 2010 CALIFORNIA FIRE CODE, CHAPTER 8.

5. ADDRESS IDENTIFICATION: (MODIFICATIONS AS NOTED ON SHEET A0.0) NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

6. FIRE DEPARTMENT ACCESS TO THE SITE, THE BUILDING, AND TO ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH CFC CHAPTER 5

7. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

8. ONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33



**PROJECT TEAM**

**PROPERTY OWNER**  
GURBACHAN CHAHAL  
1331 REDMOND AVE., SAN JOSE, CA 95120

**TENANT**  
GRAND PETROLEUM INC  
605 CONTRA COSTA BLVD . CONCORD, CA 94523  
CONTACT: AMIN SALKI  
(T) 510.331.8405 (E) SALKI@YAHOO.COM

**ARCHITECT**  
STUDIO 02 INC  
1136 E HAMILTON AVE #100 . CAMPBELL . CA 95008  
CONTACT: SUNNY TAM AIA LEED BD+C  
(T) 408.730.8877 (F) 408.716.2996 (E) SUNNY@STUDIO02.NET

**CIVIL**  
GREEN CIVIL ENGINEERING, INC.  
1900 S NORFOLK STREET #350 . SAN MATEO . CA 94403  
CONTACT: AMBROSE WONG  
(T) 650.931.2514 (E) AWONG@GREEN-CE.COM

**LANDSCAPE**  
THNORTON LANDSCAPE ARCHITECTURE, INC.  
1220 DIAMOND WAY, SUITE 245 . CONCORD, CA 94520  
CONTACT: TOM NORTON  
(T) 925.822.3085 (E) TOM@THNORTON.COM

**PROJECT DESCRIPTION**

SERVICE UPGRADE FOR EXISTING SMOG CHECK AND GAS STATION.

- RECONFIGURE EXISTING FUEL STATION LAYOUT
- NEW FUEL STATION CANOPY
- NEW ACCESSIBLE VAN STALL
- NEW TRASH ENCLOSURE
- REPLACE EXISTING UNDERGROUND SINGLE WALL TANKS PER SB445 REQUIREMENT
- EXISTING SMOG STATION/CONVENIENCE STORE TO REMAIN
- STANDARD STREET IMPROVEMENT REQUIREMENTS INCLUDING THE REPAIR OF DAMAGE SIDEWALK, THE INSTALLATION OF ADA COMPLIANT DRIVEWAYS, AND THE INSTALLATION OF STREET TREES PER CAMPBELL MUNICIPAL CODE 11.24.040

**PROJECT DATA**

APN	307-16-013
ZONING	C-1
GENERAL PLAN DESIGNATION	NEIGHBORHOOD COMMERCIAL
SITE AREA (SF)	15297
CONSTRUCTION TYPE	4/4
EXISTING USE	SMOG CHECK / GAS STATION
PROPOSED USE	SMOG CHECK / GAS STATION
EXISTING BUILDING AREA (SF)	1521
SMOG STATION (SF)	852
CONVENIENCE STORE (SF)	309
STORAGE (SF)	360
FIRE SPRINKLER	NONE PRESENT
INSTALL NEW SPRINKLER SYSTEM	1
PROPOSED BUILDING AREA (SF)	1521
SMOG STATION (SF)	852
CONVENIENCE STORE (SF)	309
STORAGE (SF)	360
EXISTING CANOPY AREA (SF)	2118
PROPOSED CANOPY AREA (SF)	1824
EXISTING TRASH ENCLOSURE (SF)	50
PROPOSED TRASH ENCLOSURE (SF)	176
EXISTING LOT COVERAGE	24.1%
PROPOSED LOT COVERAGE	23.0%
EXISTING NUMBER OF PARKING	12
FUELING SPACE	8
CONVENIENCE STORE	4
NUMBER OF PARKING REQUIRED	2
CONVENIENCE STORE	2
PROPOSED NUMBER OF PARKING	12
FUELING SPACE	6
CONVENIENCE STORE	6

**DRAWING INDEX**

**ARCHITECTURAL**

A0.0 PROJECT INFORMATION  
A1.0 EXISTING / DEMOLITION PLAN  
A2.0 DEVELOPMENT SITE PLAN  
L-1 PLANTING PLAN  
A2.5 DIMENSIONED DEVELOPMENT SITE PLAN  
A3.0 EXISTING EXTERIOR ELEVATIONS  
A3.1 PROPOSED EXTERIOR ELEVATIONS  
A3.2 PROPOSED COLORED EXTERIOR ELEVATIONS  
A3.3 STREETSCAPE ELEVATIONS  
A4.0 ROOF PLAN  
C-1 GRADING AND DRAINAGE PLANS  
C-2 UTILITY PLAN  
C-3 EROSION CONTROL PLAN  
C-4 BLUEPRINT FOR A CLEAN BAY  
A4.5 CIRCULATION PLAN / ACCESSIBILITY PLAN  
E0.0 ELECTRICAL GENERAL INFORMATION  
EPI.0 ELECTRICAL SITE PHOTOMETRIC STUDY  
SV-1 BOUNDARY SURVEY  
A5.0 EMERGENCY ACCESS PLAN  
A5.1 TRASH MANAGEMENT PLAN  
A7.0 SITE PHOTOGRAPHS

**CODE REFERENCE**

2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
2019 CALIFORNIA ENERGY CODE  
CITY OF CAMPBELL MUNICIPAL CODE

**PROJECT NOTES**

1. PRIOR TO OCCUPANCY CLEARANCE, THE APPLICANT SHALL REFURBISH, REMODEL, AND RECONSTRUCT THE ON-SITE DRAINAGE SYSTEM, AS NECESSARY, TO DEMONSTRATE THAT THE FACILITIES ARE FUNCTIONING NORMALLY IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.

2. PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS FOR THE SITE, THE APPLICANT SHALL PROVIDE A PLAN LAYOUT SHOWING THE CORRECT DISTANCE FROM THE STREET CENTERLINE TO THE PROPERTY LINE, DIMENSIONS OF SIDEWALK AND OTHER RELEVANT INFORMATION IN THE PUBLIC RIGHT OF WAY.

3. THE PROJECT IS DECREASING THE NUMBER OF EXISTING FUELING POSITIONS FROM 8 TO 6 AND THEREFORE DOES NOT TRIGGER THE APPLICABILITY CRITERIA IN SECTION 21.18.140 OF THE CAMPBELL MUNICIPAL CODE.

4. OWNERS, CURRENT AND FUTURE, ARE REQUIRED TO MAINTAIN THE LANDSCAPED PARK STRIP AND TREE WELLS IN THE PUBLIC RIGHT OF WAY. THIS INCLUDES, BUT IS NOT LIMITED TO: TREES, LAWN, PLANTINGS, IRRIGATION, ETC. TREES SHALL NOT BE PRUNED IN A MANNER THAT WOULD NOT ALLOW THE TREE TO GROW TO A MATURE HEIGHT

**DEFERRED SUBMITTAL**

1. EXTERIOR SIGNAGES  
2. FIRE ALARM SHOP DWGS  
3. UNDERGROUND TANK REMOVAL AND INSTALLATION PLANS  
4. STREET IMPROVEMENT AGREEMENTS / PLANS / ENCROACHMENT PERMIT  
5. ENCROACHMENT PERMITS FOR THE INSTALLATION OF UTILITIES TO SERVE THE DEVELOPMENT WILL BE REQUIRED (INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.).

**CODE REFERENCE**

2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
2019 CALIFORNIA ENERGY CODE  
CITY OF CAMPBELL MUNICIPAL CODE



UNIFORM DEVELOPMENT APPLICATION  
SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
CAMPBELL, CA 95008

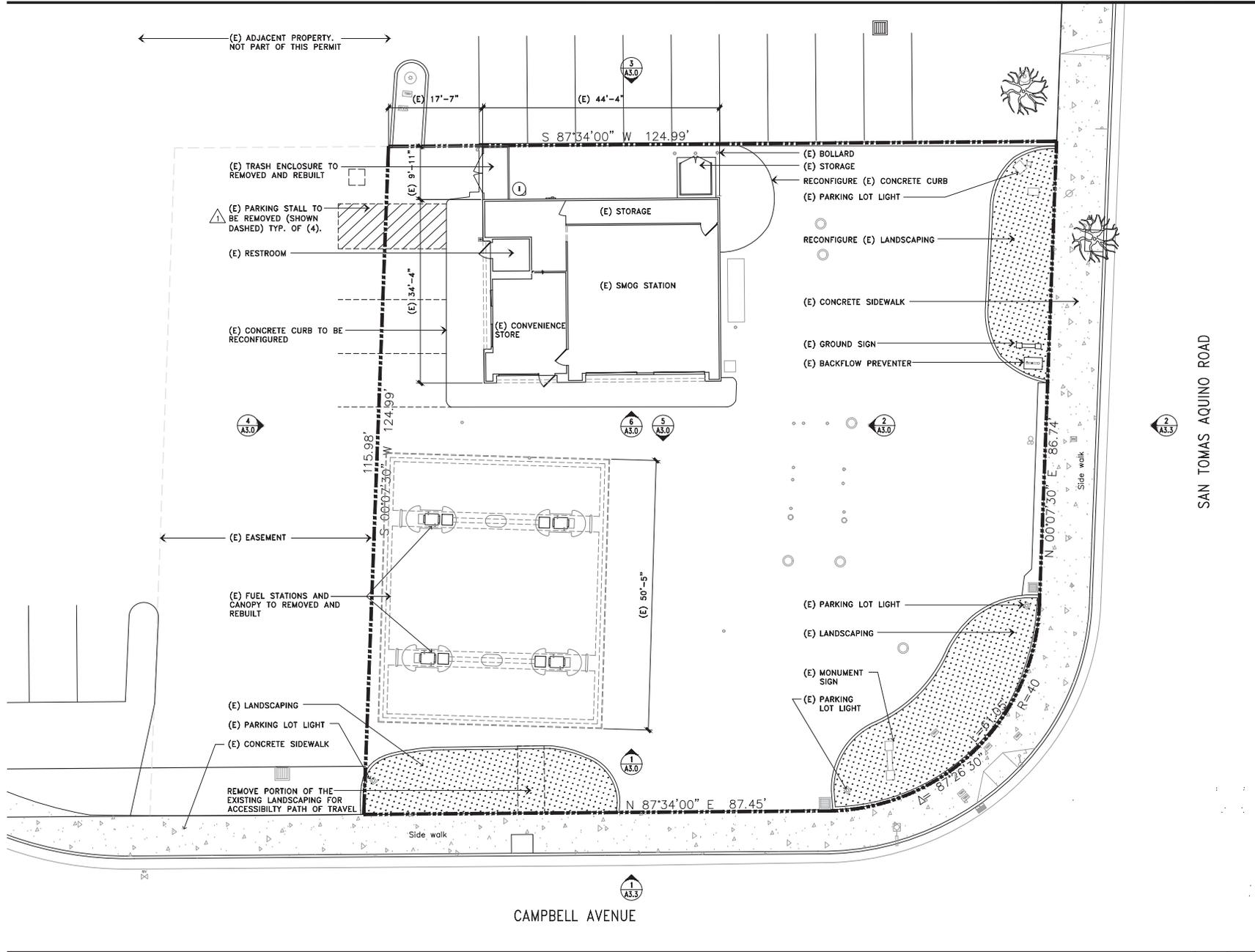
01.15.20 ISSUED FOR PLANNING  
03.31.20 ISSUED FOR PLANNING  
06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

PROJECT INFORMATION



COPYRIGHT 2020 . STUDIO 02, INC.

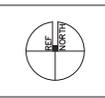


UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

EXISTING/DEMOLITION PLAN



A1.0

COPYRIGHT 2020 . STUDIO 02, Inc.



# 1533 WEST CAMPBELL AVE. CAMPBELL CA 95008 LANDSCAPE CONCEPT

## PLANTING NOTES

- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS. CONTRACTOR SHALL NOT PROCEED WITH WORK PRIOR TO CLARIFICATION BY LANDSCAPE ARCHITECT OR CITY INSPECTOR.
- CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
- REFER TO PLANTING SPECIFICATIONS FOR INSPECTION/CERTIFICATION SCHEDULE.
- IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS.
- TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT BUT NOT BEFORE IRRIGATION COVERAGE TEST No. 1 HAS BEEN APPROVED (SEE SPECIFICATIONS).
- PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
- LANDSCAPE CONTRACTOR SHALL TAKE FOUR (4) SOIL SAMPLES FROM THE SITE AT LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER. THESE SAMPLES SHALL BE TAKEN AT A DEPTH OF 12" AFTER ROUGH GRADING AND SUBMITTED TO AN APPROVED SOIL AND PLANT LABORATORY FOR AGRICULTURAL SUITABILITY TESTING. THE COST OF TESTING SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERSEDE THE SOIL PREPARATION AND BACKFILL MIX SPECIFICATIONS (SEE SPECIFICATIONS). THE CONTRACTOR SHALL SUBMIT A COPY OF ALL SOILS REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO MODIFICATION OF THESE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS/HER CONTRACTOR REPLACEMENT ITEMS SHALL BE EXACT DUPLICATES OF ORIGINAL WORK OR PLANTS, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- CLEAN UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY OWNER'S REP.
- WEED ABATEMENT: AFTER EARTHWORK, INSTALLATION OF IRRIGATION SYSTEM AND SOIL PREPARATION, BUT PRIOR TO PLANTING, PERFORM WEED ABATEMENT PROGRAM TO ALL PLANTING AREAS AS FOLLOWS:
  - APPLY SULFATE OF AMMONIA AT THE RATE OF 5 LBS PER 1,000 SQ. FT. TO ALL AREAS TO BE PLANTED.
  - KEEP AREA MOIST BY REGULAR IRRIGATION FOR A PERIOD OF TWO (2) WEEKS TO GERMINATE EXISTING WEED SEEDS.
  - AT THE END OF TWO WEEKS, APPLY 'ROUND UP' OR EQUAL SYSTEMIC HERBICIDE. DO NOT IRRIGATE WITHIN SIX (6) HOURS AFTER APPLICATION. REFER TO MFG. SPECIFICATIONS FOR PERIOD OF TIME REQUIRED FROM TIME OF APPLICATION TO TIME OF PLANTING. AFTER COMPLETE WEED KILL, REMOVE ALL WEED RESIDUE AND TOP-GROWTH AND DISPOSE OF IN A LEGAL MANNER.
- ALL HERBICIDES SHALL BE APPLIED ONLY BY A CALIFORNIA LICENSED APPLICATOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PLANT MATERIAL INDICATED ON PLANS. QUANTITIES INDICATED ON PLAN ARE FOR ESTIMATION PURPOSES.
- TREES WITHIN 5' OF PAVING SHALL HAVE ROOT BARRIERS INSTALLED PER MANUF. SPECIFICATIONS. ROOT BARRIER SHALL BE AMERICAN DRAINAGE ROOT BARRIER MODEL RB-24 AVAILABLE THRU: NDS (800) 726-1994
- SOIL MANAGEMENT SHALL BE PER SOILS REPORT, PROVIDED BY OWNER

### WELLS NOTES:

- THE LANDSCAPE SHALL COMPLY WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELLS)
- INCORPORATE COMPOSTS AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SF TO A DEPTH OF 6" - ALL PLANTER AREAS
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER SHALL BE UTILIZED. CONTROLLER SHALL HAVE NON-VOLATILE MEMORY.
- CONTROLLER TO BE HUNTER PRO-C WITH SOLAR SYNC WEATHER SENSOR OR APPROVED EQUAL.
- SUB-SURFACE IRRIGATION SHALL BE UTILIZED FOR ALL LANDSCAPE AREAS UTILIZING NETAPM THERMINE CY OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- IRRIGATION SUB-METER SHALL BE INSTALLED FOR IRRIGATION SERVICE.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A WRITTEN CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

MAINTENANCE OF LANDSCAPING (OWNER'S), CURRENT AND FUTURE, ARE REQUIRED TO MAINTAIN THE LANDSCAPED PARK STRIP AND TREE WELLS IN THE PUBLIC RIGHT OF WAY. THIS INCLUDES, BUT IS NOT LIMITED TO: TREES, LAWN, PLANTINGS, IRRIGATION, ETC. TREES SHALL NOT BE PRUNED IN A MANNER THAT WOULD NOT ALLOW THE TREE TO GROW TO A MATURE HEIGHT.

## IRRIGATION NOTES

- INSTALL ALL IRRIGATION COMPONENTS ACCORDING TO LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY ENCROACHMENT INTO ADJACENT PROPERTY, R.O.W.S., EASEMENTS, SETBACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER TRADES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR/REPLACE AT NO ADDITIONAL COST TO THE OWNER, ANY DAMAGE TO UNDERGROUND UTILITIES THAT MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGES TO OPERATIONS OR WORK OF OTHER CONTRACTORS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ACTIVITIES WITH ALL AGENCIES AND OTHER TRADES.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE SITE PRIOR TO COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO PROJECT LANDSCAPE ARCHITECT AND CITY INSPECTOR FOR DIRECTION. ANY CONTINUATION OF WORK IS AT THE CONTRACTOR'S RISK AND EXPENSE.
- THE CONTRACTOR SHALL ONLY APPLY SUFFICIENT WATER TO PROMOTE HEALTHY GROWTH OF THE PLANT MATERIAL. AT NO TIME WILL THE CONTRACTOR APPLY WATER AT A RATE OF FREQUENCY WHICH CAUSES RUNOFF OR SOIL SATURATION.
- REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION OF ALL COMPONENTS.
- THE WORK SHOWN ON THESE PLANS IS DIAGNOSTIC. ALL ITEMS, IE. CONTROLLERS, VALVES, MAINLINES, SLEEVES, IRRIGATION HEADS, ETC., ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. DO NOT SCALE DIMENSIONS. DETAIL DRAWINGS MAY CLARIFY LOCATION OF SOME ITEMS. THE CONTRACTOR SHALL NOT LOCATE ANY ITEMS WHERE OBVIOUS THAT THEY ARE IN CONFLICT WITH UNDERGROUND UTILITIES, STRUCTURES, OTHER IMPROVEMENTS, OR VEHICULAR OR PEDESTRIAN SAFETY/L CONSIDERATIONS.
- ADJUST ALL HEADS FOR MINIMUM OVERSPRAY ON ANY NONPLANTED AREAS AND COMPLETE COVERAGE OF LANDSCAPE AREAS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC FOR THE EXISTING CONDITIONS (USE VARIABLE ARC NOZZLES AS NECESSARY).
- LOCATE ALL SHRUB SPRAY HEADS 6" FROM EDGE OF PAVING.
- DO NOT USE FIXED RISERS EXCEPT ON SLOPES. MARKED OR UNMARKED.
- USE 4" POP-UP HEADS IN TURF AREAS, AND 6" POP-UP HEADS IN SHRUB AREAS.
- USE VARIABLE ARC NOZZLES FOR AREAS OTHER THAN 90, 180, OR 360 DEGREES.
- SLEEVE IRRIGATION WIRING, LATERAL LINES AND MAINLINE UNDER ALL PAVING. ALL SLEEVES TO BE 2x SIZE OF PIPE TO BE SLEEVED.
- USE CHECK VALVES AS REQ'D TO ELIMINATE LOW HEAD DRAINAGE.
- USE HUNTER PRESSURE COMPENSATING DEVICES ON ALL NOZZLES.
- WHERE VERTICAL OBSTRUCTIONS IN THE LANDSCAPE AREA INTERFERE WITH THE SPRAY PATTERN OF ANY SPRINKLER RESULTING IN THE IMPROPER COVERAGE OF IRRIGATION, THE IRRIGATION CONTRACTOR SHALL RECTIFY THE COVERAGE OF IRRIGATION. THE IRRIGATION CONTRACTOR SHALL RECTIFY THE SITUATION BY FIELD ADJUSTMENT TO THE IRRIGATION SYSTEM. THIS MAY REQUIRE THE ADDITION OF QUARTER SIZE SPRINKLERS TO EACH SIDE OF THE OBSTRUCTION OR OTHER MEASURES. ALL SUCH ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PIPING AND WIRE CONDUIT PENETRATIONS THROUGH WALLS AND INSTALLATION OF ANY IRRIGATION EQUIPMENT UNDER PAVING MUST BE COORDINATED WITH THE GENERAL CONTRACTOR AND CONTRACTORS OF ALL VARIOUS TRADES THAT MAY BE INVOLVED TO ELIMINATE PROBLEMS THAT MAY ARISE FROM INACCESSIBILITY OF DAMAGE TO ANOTHER TRADES WORK.

## PRELIMINARY WATER USE CALCULATIONS

### 1533 WEST CAMPBELL AVE.

Eto	45.3
Total HA	2,046
Special HA	0
ETAF Average	0.40
ETAF Total	0.40

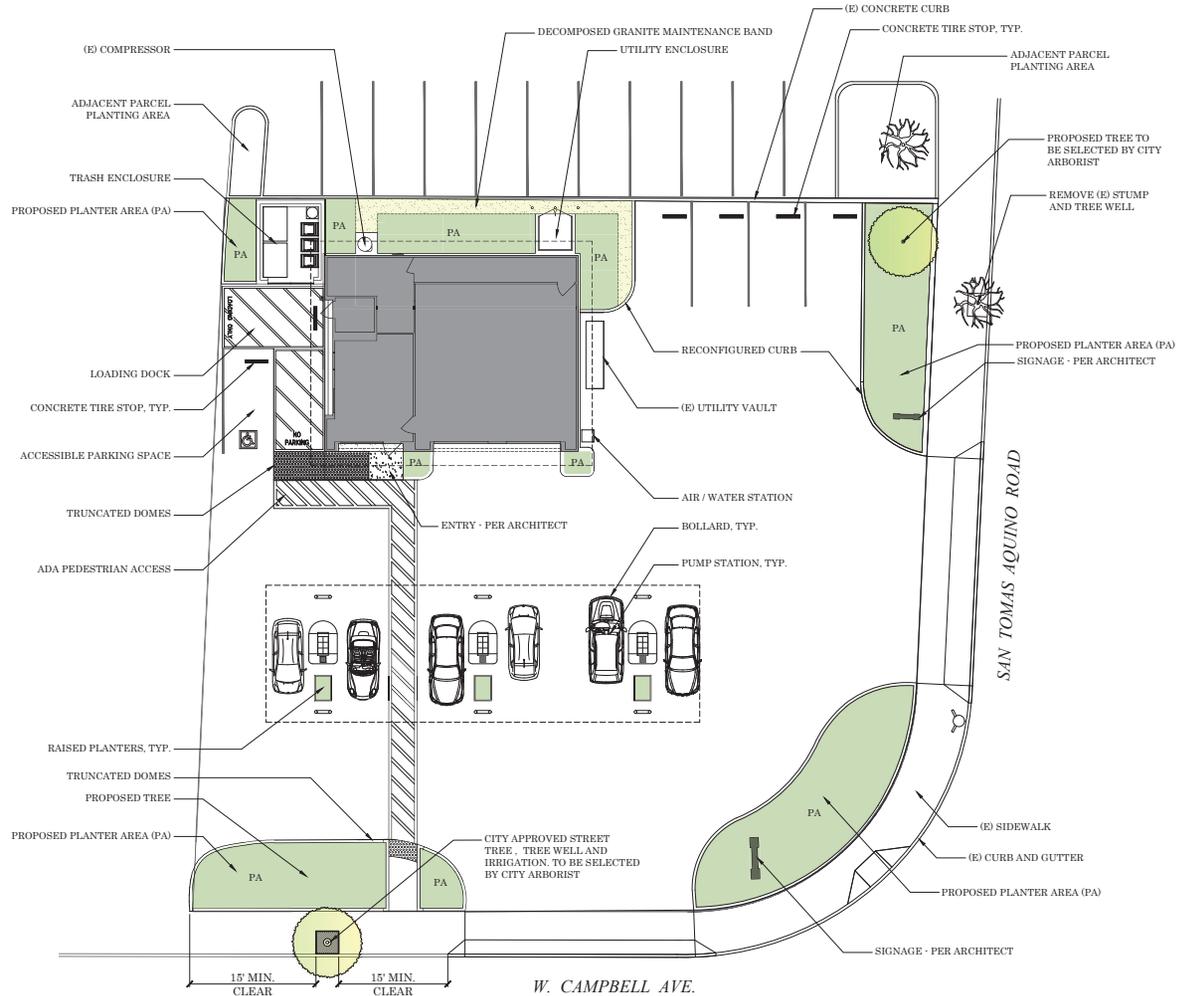
$$MWA = (Eto)(0.62) [(0.45)(A)] + [(1)-(0.45) \cdot SIA]$$

MWA	25,859 Gallons
	3,457 HCF

$$ETWU = (Eto)(0.62)(ETAF)(AREA)$$

ETWU	22,986 Gallons
------	----------------

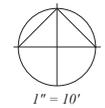
AVG. WUCOLS PLANT FACTOR (PF) = 0.4



## PRELIMINARY PLANT LIST

BOTANICAL NAME	COMMON NAME	WUCOLS (PF)	NOTES
<b>TREES</b>			
LORHOSSTEMON CONFERTUS	BRISBANE BOX	MOD/MED	25' AVG. SPREAD
<b>SHRUBS</b>			
ACACIA YCOUSIN ITT	COUSIN ITT ACACIA	LOW	
AGAVE VILMORINIANA	OCTOPUS AGAVE	LOW	
CAREX DIVILSA	BERKELEY SEDGE	LOW	
CLEMATIS ANAMOR	VIOLET TRUMPET VINE	MOD/MED	
DIELIS BICOLOR	FORTNIGHT LILY	LOW	
LOMANDRA LONGIFOLIA BREEZE	MAT RUSH	LOW	
PITTOSPORUM TOBIIRA	MOCK ORANGE	LOW	
TRICHARRIS OFFICINALIS LOCKWOOD DE FOMEST	DRYWIP ROSEMARY	LOW	
SALVA GREGGII 'SIERRA LINDA'	AUTUMN SAGE	LOW	
WESTRINGIA SPECIES	WESTRINGIA	LOW	

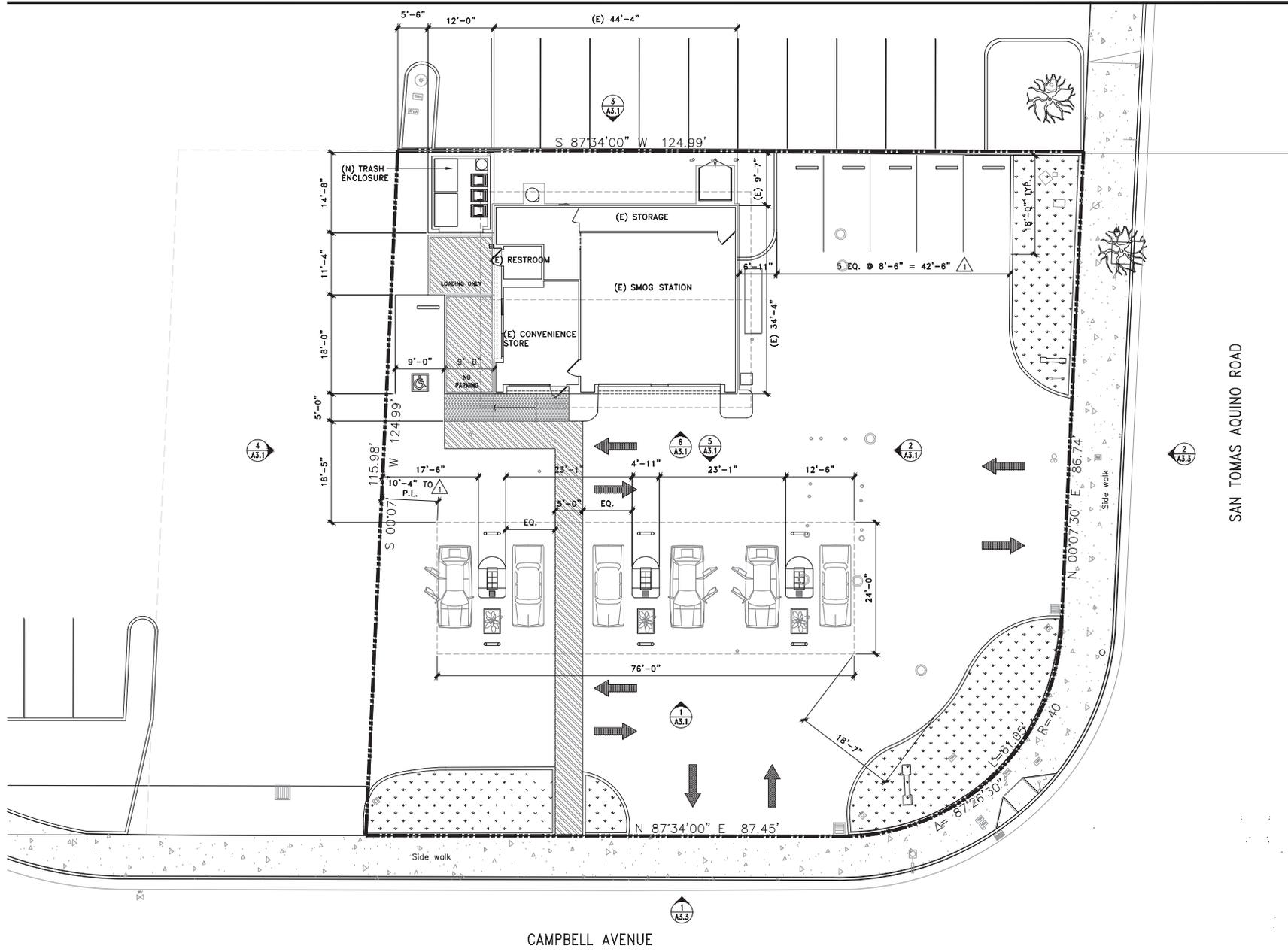
AVG. WUCOLS PLANT FACTOR 0.4  
SUNSET ZONE: 15



**T H NORTON**  
Landscape Architecture, Inc.  
25 CRESCENT DR. #474  
PLEASANT HILL CA 94520  
phone: 925 822 3085  
www.thnorton.com

L-1  
SHEET 1 of 1  
4/17/20

PROJECT: 41720, 4/17/20, 4/17/20, 4/17/20



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPPELL AVE**  
 CAMPBELL, CA 95008

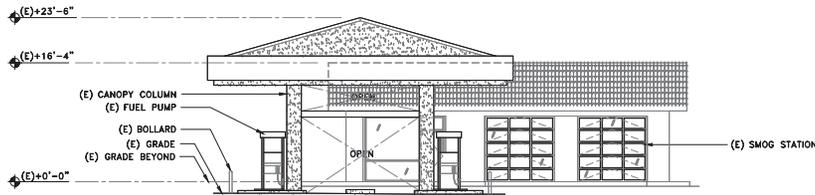
01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

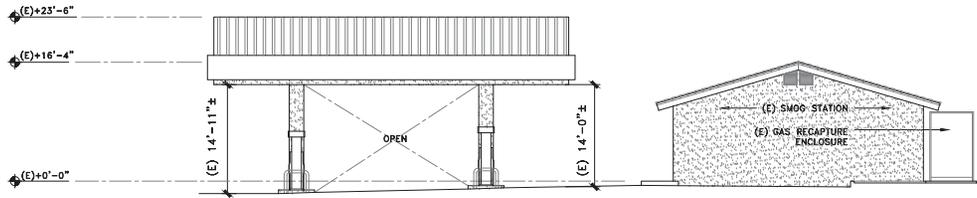
DIMENSIONED  
 DEVELOPMENT SITE PLAN



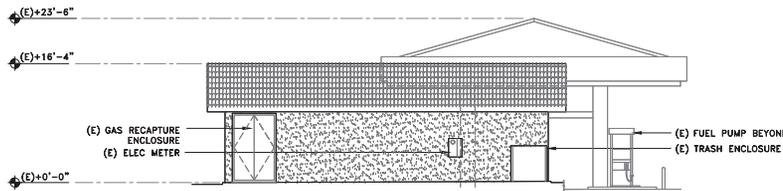
A2.5



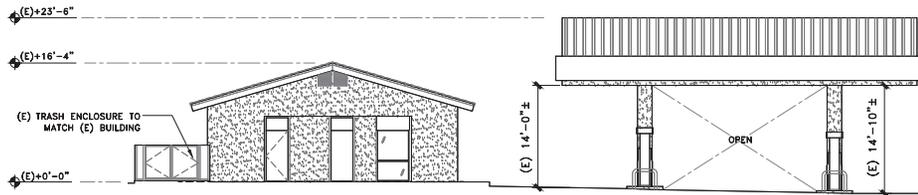
(E) SOUTH ELEVATION 1/8" 1



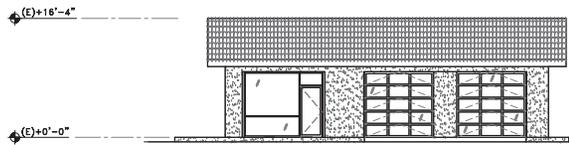
(E) EAST ELEVATION 1/8" 2



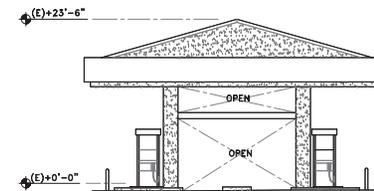
(E) NORTH ELEVATION 1/8" 3



(E) WEST ELEVATION 1/8" 4



(E) SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



(E) NORTH ELEVATION - FUEL STATIONS 1/8" 5



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

EXISTING EXTERIOR ELEVATIONS



A3.0

COPYRIGHT 2020 - STUDIO 02, Inc.



UNIFORM DEVELOPMENT APPLICATION  
SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
03.31.20 ISSUED FOR PLANNING  
06.12.20 ARCH REVIEW COMMENT

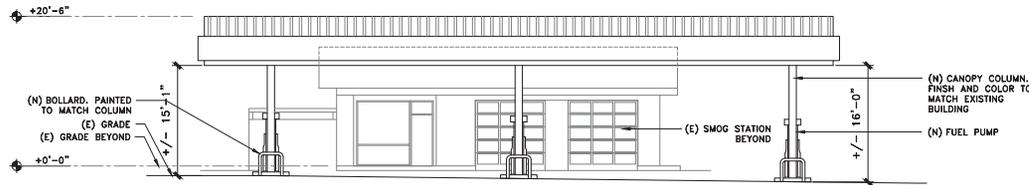
PROJECT NO.: 19-7230

PROPOSED  
EXTERIOR ELEVATIONS

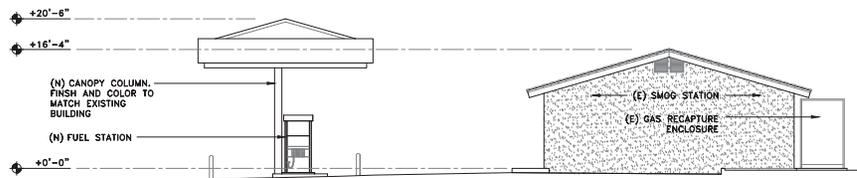


A3.1

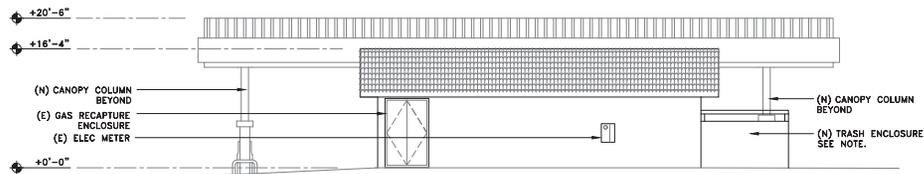
COPYRIGHT 2020 . STUDIO 02, INC.



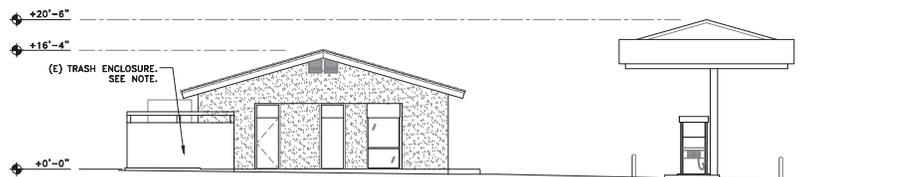
PROPOSED SOUTH ELEVATION 1/8" 1



PROPOSED EAST ELEVATION 1/8" 2



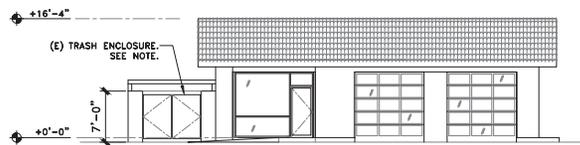
PROPOSED NORTH ELEVATION 1/8" 3



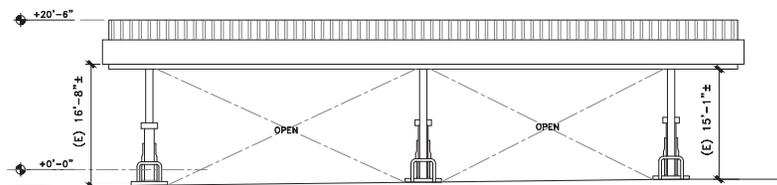
**NEW TRASH ENCLOSURE NOTE**

1. TEXTURED (STUCCO OR CLADDING) MASONRY WALLS DESIGNED TO MATCH THE PRIMARY STRUCTURE
2. SOLID CONCRETE FLOOR FLUSH AT THE DOOR THRESHOLD
3. METAL LOCKING DOORS
4. SOLID ROOF COVERING
5. SANITARY DRAIN CONNECTION
6. FIRE SPRINKLER PROTECTION
7. PROVIDE AN ACCESSIBLE PATH-OF-TRAVEL

PROPOSED WEST ELEVATION 1/8" 4



PROPOSED SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



PROPOSED NORTH ELEVATION - FUEL STATIONS 1/8" 5



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING

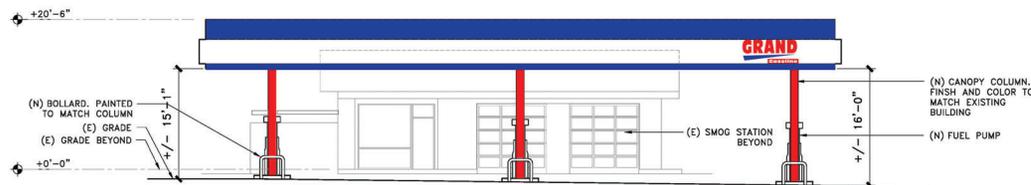
PROJECT NO.: 19-7230

**COLORED ELEVATIONS**

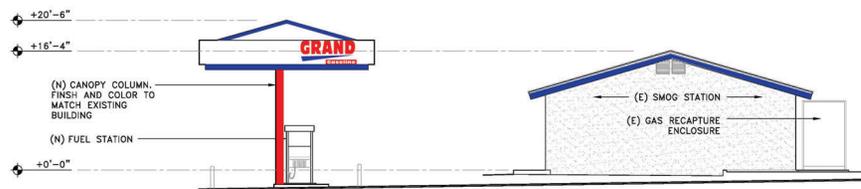


**A3.2**

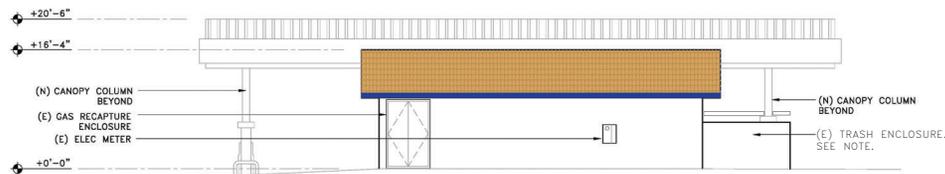
COPYRIGHT 2020 - STUDIO 02, INC.



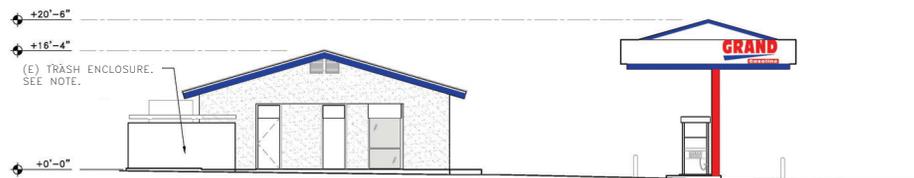
PROPOSED SOUTH ELEVATION 1/8" 1



PROPOSED EAST ELEVATION 1/8" 2



PROPOSED NORTH ELEVATION 1/8" 3

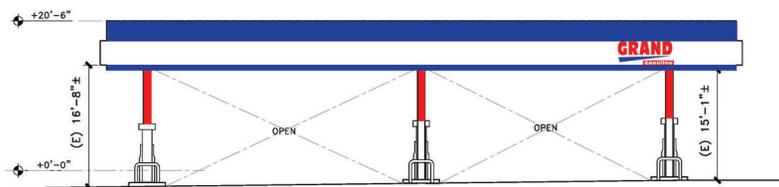


**NEW TRASH ENCLOSURE NOTE**  
 1. TEXTURED (STUCCO OR CLADDING) MASONRY WALLS DESIGNED TO MATCH THE PRIMARY STRUCTURE  
 2. SOLID CONCRETE FLOOR FLUSH AT THE DOOR THRESHOLD  
 3. METAL LOCKING DOORS  
 4. SOLID ROOF COVERING  
 5. SANITARY DRAIN CONNECTION  
 6. FIRE SPRINKLER PROTECTION  
 7. PROVIDE AN ACCESSIBLE PATH-OF-TRAVEL

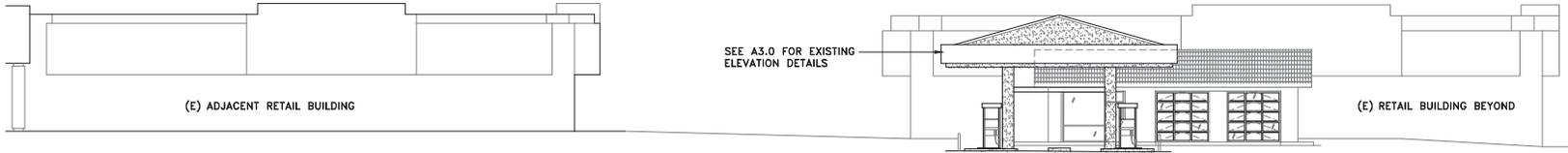
PROPOSED SOUTH ELEVATION 1/8" 4



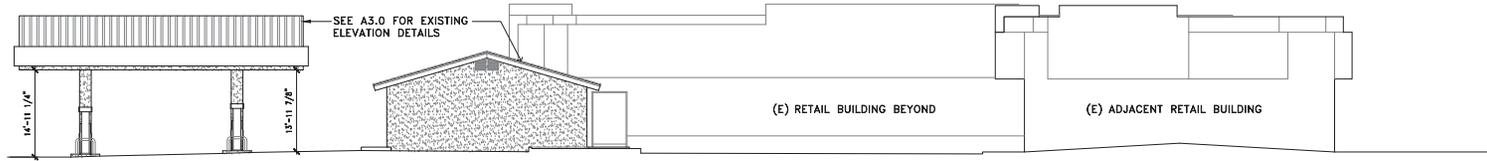
PROPOSED SOUTH ELEVATION - STORE AND SMOG STATION 1/8" 6



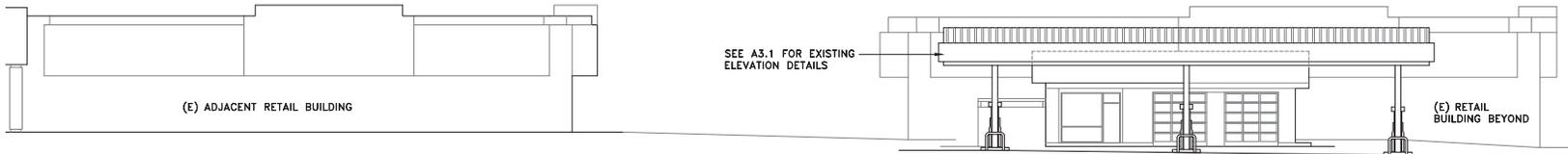
PROPOSED NORTH ELEVATION - FUEL STATIONS 1/8" 5



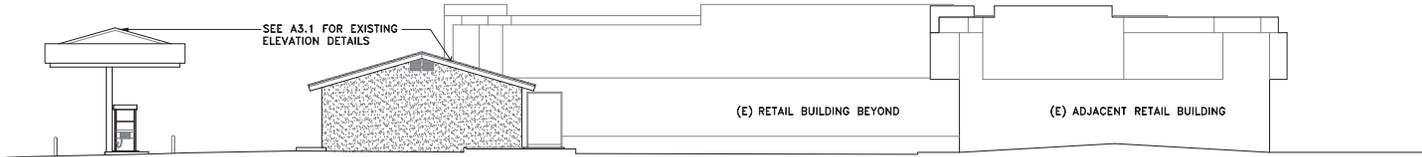
EXISTING STREETSCAPE ELEVATION – CAMPBELL AVE SIDE 10' 1



EXISTING STREETSCAPE ELEVATION – SAN TOMAS AQUINO SIDE 10' 2



PROPOSED STREETSCAPE ELEVATION – CAMPBELL AVE SIDE 10' 3



PROPOSED STREETSCAPE ELEVATION – SAN TOMAS AQUINO SIDE 10' 4



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

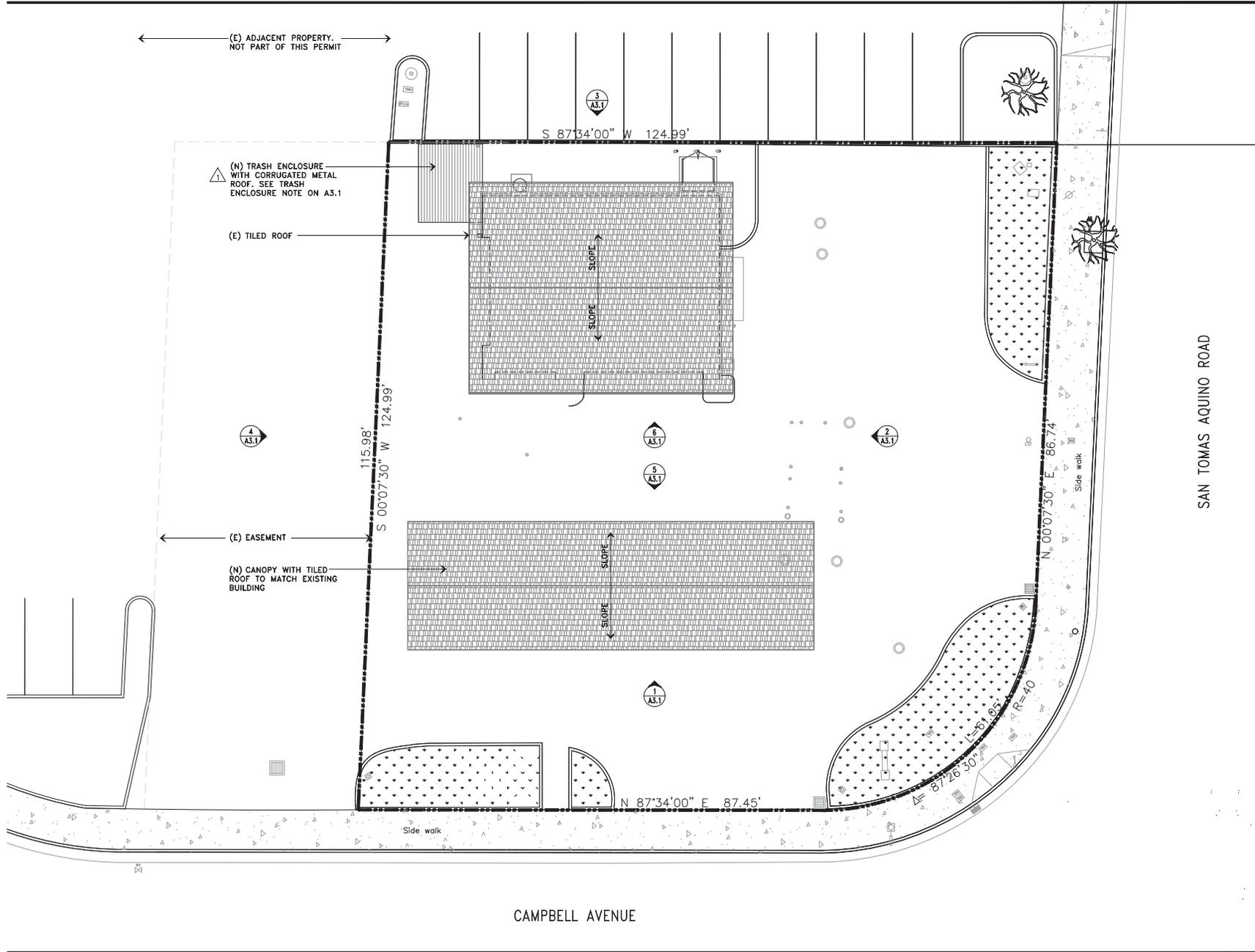
PROJECT NO.: 19-7230

STREETSCAPE ELEVATIONS



A3.3

COPYRIGHT 2020 . STUDIO 02, Inc.



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

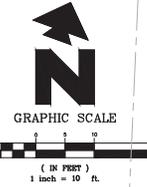
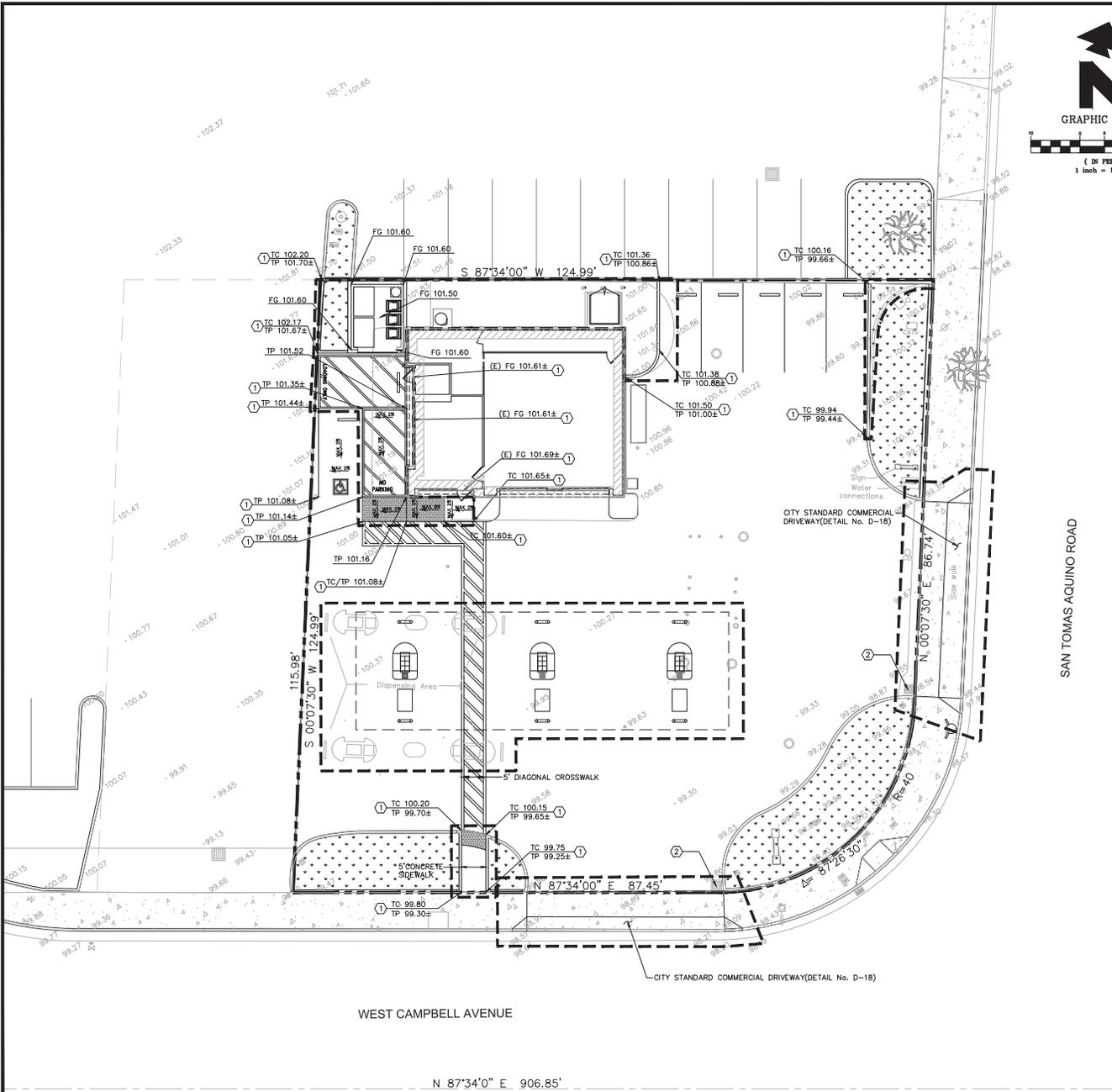
- 01.15.20 ISSUED FOR PLANNING
- 03.31.20 ISSUED FOR PLANNING
- 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

ROOF PLAN



A4.0



N 0°07'30" E 500.50'

SAN TOMAS AQUINO ROAD

WEST CAMPBELL AVENUE

N 87°34'0" E 906.85'

**GENERAL NOTES:**

1. IF ANY EXISTING STRUCTURES AND UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AND UTILITIES AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROJECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE COVERING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURE AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAIN/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH CITY OF CAMPBELL AND RELATED UTILITY AGENCIES STANDARDS.
10. A GRADING/HAULING PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.

**LEGENDS**

- = LANDSCAPE AREA
- = DETECTABLE WARNING SURFACE
- = LIMITS OF BUILDING ROOF
- = FLOW DIRECTION
- = EX. SPOT ELEVATION
- = AREA OF DISTURBANCE

**ABBREVIATION**

- FG FINISHED GRADE
- MAX MAXIMUM
- TC TOP OF CURB
- TP TOP OF PAVEMENT

**GRADING NOTES**

- ① MATCH EXISTING ELEVATION
- ② INSTALL TRASH CAPTURE INSERTS (KRISTAR FLO-COR OR APPROVED EQUAL) AND TRASH CAPTURE SCREEN (STORMTEX T33G OR APPROVED EQUAL)

**PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:**

AREA TYPE	EXISTING	PROPOSED
LOT AREA	15,295 SF	
	0.35 ACRE	
TOTAL LAND DISTURBANCE	0	4,898
BUILDING/DISPENSER ROOF	3,998	3,763
PARKING/DRIVEWAY	9,331	9,443
WALKWAY	0	69
TOTAL IMPERVIOUS AREA	13,329	13,275
LANDSCAPE/GRAVEL	1,969	2,023
PAVER	0	0
TOTAL PERVIOUS AREA	1,969	2,023

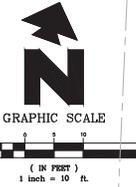
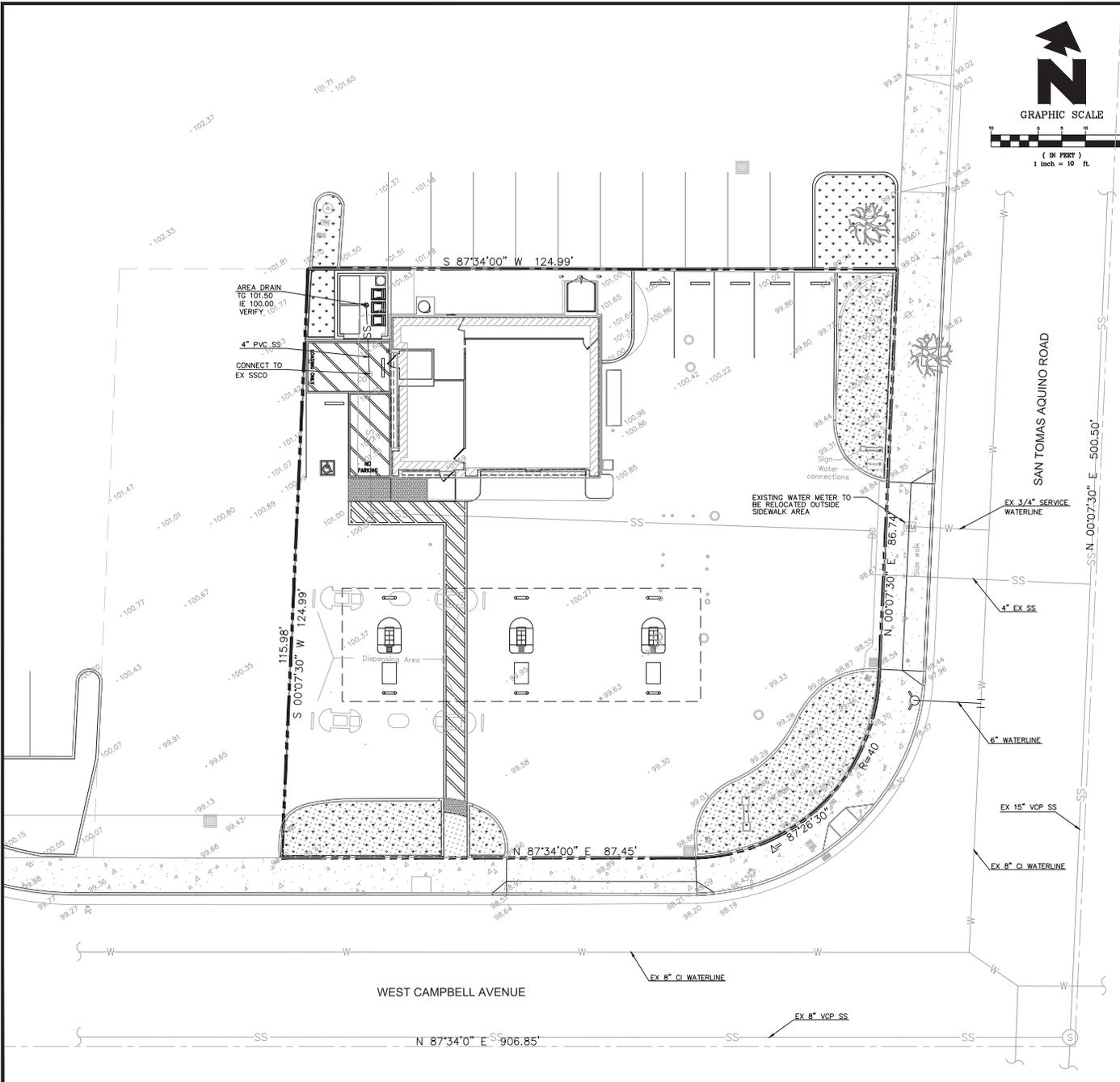
**GRADING AND DRAINAGE PLAN**  
**1533 WEST CAMPBELL AVENUE**  
**CAMPBELL, CA 95008**



**SCALE**  
 VERTICAL: 1"=AS SHOWN  
 HORIZONTAL: 1"=AS SHOWN

DATE: 07/07/2020  
 DESIGNED: TC  
 DRAWN: TC  
 REVIEWED: AW  
 JOB NO.: -

**SHEET**  
**C1**  
 1 OF 4 SHEET



- UTILITY GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
  - UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF HAYWARD OR LOCAL UTILITY COMPANIES FOR UTILITY STANDARDS FOR WATER, GAS & WASTEWATER.
  - UTILITY PIPE BEDDING & TRENCH BACKFILL INSTALLED PER DETAIL OR CITY STANDARD.
  - ALL SANITARY SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - ALL UTILITY LOCATIONS SHALL NOT CAUSE DAMAGE TO ANY EXISTING STREET TREES. WHERE THERE ARE UTILITY CONFLICTS DUE TO EXISTING TREE ROOTS, ALTERNATIVE LOCATION FOR UTILITIES SHALL BE EXPLORED BEFORE RELOCATE REMOVE AND INSTALLED NEW TREE.
  - SUBMIT UTILITY COORDINATION PLANS AND SCHEDULE FOR APPROVAL BY CITY ENGINEER FOR THE INSTALLATION AND/OR ABANDONMENT OF UTILITIES PRIOR TO ISSUANCE OF BUILDING PERMIT.

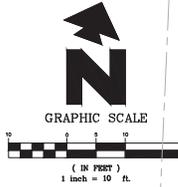
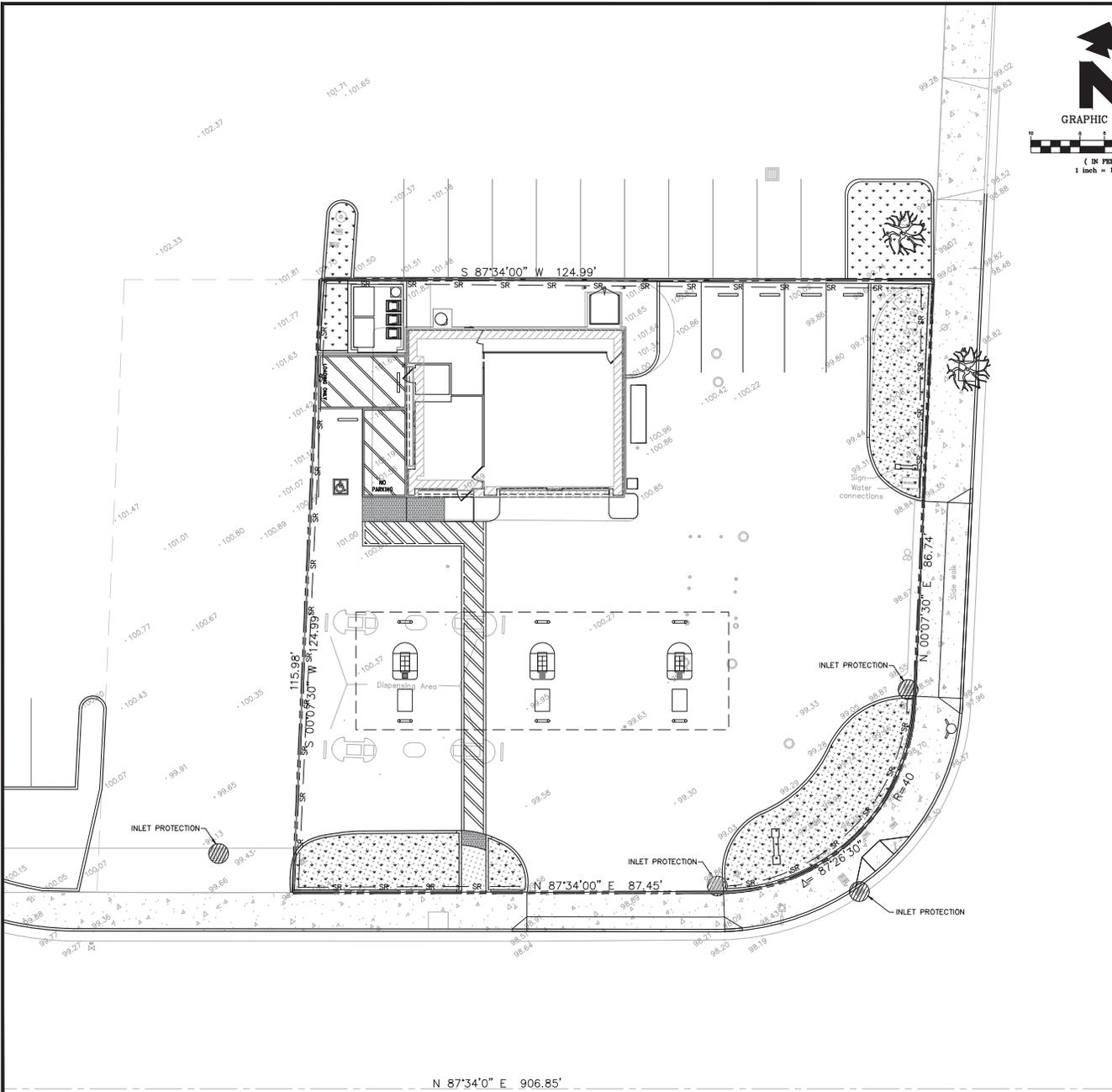
**ABBREVIATION**

CI	CAST IRON
EX	EXISTING
FG	FINISHED GRADE
IE	INVERT ELEVATION
PVC	POLYVINYL CHLORIDE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TG	TOP OF GRADE
VCP	VITRIFIED GLAY PIPE

**LEGEND**

	EX. SANITARY SEWER MANHOLE
	EX. WATER METER
	EX. SANITARY SEWER CLEANOUT
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	FIRE HYDRANT
	AREA DRAIN

UTILITY PLAN	1533 WEST CAMPBELL AVENUE CAMPBELL, CA 95008				
GREEN CIVIL ENGINEERING, INC. INFO@GREENC.COM 800 S. NORFOLK ST., SUITE 350 SAN MATEO, CA 94408					
SCALE					
VERTICAL: 1"=AS SHOWN					
HORIZONTAL: 1"=AS SHOWN					
DATE:	07/07/2020				
DESIGNED:	TC				
DRAWN:	TC				
REVIEWED:	AW				
JOB NO.:					
SHEET					
C2					
2 OF 4 SHEET					



N 00°07'30" E 500.50'

**EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE TOWN ENGINEER.
3. DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
4. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
5. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE TOWN REPRESENTATIVE OF ANY FIELD CHANGES.
6. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
8. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
9. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
10. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
11. DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
12. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
13. WITH THE APPROVAL OF THE TOWN INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

**MAINTENANCE NOTES**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.

**DEMOLITION NOTES:**

1. THE EXISTING BUILDING SHALL BE REMOVED ENTIRELY. NO GRADING REQUIRED BEYOND REPAIR AT FOUNDATION REMOVAL AREAS.
2. LOCATE AND MARK ALL UNDERGROUND UTILITIES. THE UTILITIES SHALL BE TREATED AS FOLLOWS:

**WATER SERVICE**

- A. EXISTING WATER SHALL BE CAPPED AND REMOVED IF NECESSARY FOR NEW CONSTRUCTION.

**ELECTRICAL SERVICE**

- A. ELECTRICAL LINE SHALL BE PROTECTED IN PLACE.

**GAS SERVICE**

- A. GAS LINE SHALL BE PROTECTED IN PLACE.

**LEGEND**

- SR = STRAW ROLL
- (Symbol) = INLET PROTECTION

**ABBREVIATIONS:**

- SR = STRAW ROLL
- TYP = TYPICAL

REV.	DATE	DESCRIPTION

**EROSION CONTROL PLAN**  
1533 WEST CAMPBELL AVENUE  
CAMPBELL, CA 95008

**GREEN**  
CIVIL ENGINEERING, INC.  
INFO@GREENE.COM  
800 S. INDIPOLK ST., SUITE 350  
SAN MATEO, CA 94403



**SCALE**

VERTICAL: 1"=AS SHOWN  
HORIZONTAL: 1"=AS SHOWN

DATE:	07/07/2020
DESIGNED:	TC
DRAWN:	TC
REVIEWED:	AW
JOB NO.:	-

**SHEET**  
**C3**  
3 OF 4 SHEET

**FRESH CONCRETE AND MORTAR APPLICATION**

**BEST MANAGEMENT PRACTICES FOR:**

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

**STORM DRAIN POLLUTION FROM MASONRY AND PAVING**

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials in the storm drains or creeks causes serious problems and is prohibited by law.

**DURING CONSTRUCTION**

- Don't mix up more fresh concrete or mortar than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Recycle large chunks of broken concrete as a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.
- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

**POOL/FOUNTAIN/SPA MAINTENANCE**

- Never discharge pool or spa water to a street or storm drain.

OR

- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.
- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algicides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

**LANDSCAPING/GARDEN MAINTENANCE**

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

**HEAVY EQUIPMENT OPERATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.

**STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE**

- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

**BEST MANAGEMENT PRACTICES FOR THE: PAINTING/CLEANUP**

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

**WHAT CAN YOU DO?**

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**PAINT REMOVAL**

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyltin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous-dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spike into soil. Or, check with the local wastewater treatment authority to find out if you can collect (trap or vacuum) building cleaning water and dispose to the sanitary sewer.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

**SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM**

**EARTH MOVING ACTIVITIES**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DURING CONSTRUCTION**

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test possible groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

**GENERAL BUSINESS PRACTICES**

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operation of grading equipment
- Paving machines
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

**BEST MANAGEMENT PRACTICES FOR THE: MATERIALS/WASTE/HANDLING**

- Construction industry
- WHAT CAN YOU DO?**

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over application by water trucks for dust control.

**ASPHALT/CONCRETE REMOVAL**

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hove down streets to clean up tracked dirt.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides as weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

- Spill Response Agencies
  1. Dial 911
  2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710
  3. Governor's Office of Emergency Services, Warning Center (800) 852-7550 (24 hours).
- Local Pollution Control Agencies
  - Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
  - Santa Clara Valley Water District (408) 927-0710
  - San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
  - Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Sanjaysala Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Quality Control Plant (415) 325-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

**STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES**

- Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

**BLUEPRINT FOR A CLEAN BAY**  
**1533 WEST CAMPBELL AVENUE**  
**CAMPBELL, CA 95008**

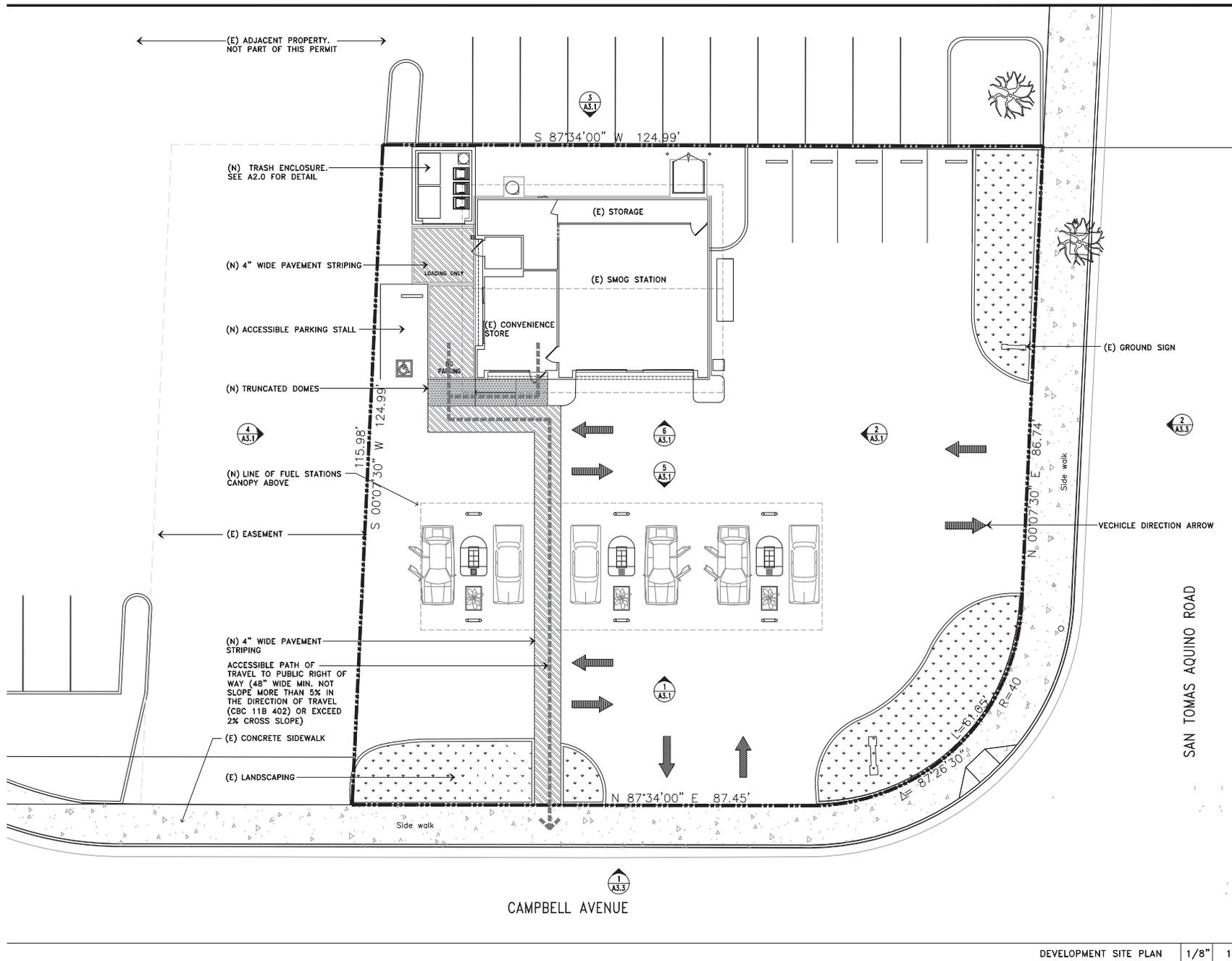


**SCALE**

VERTICAL: 1"=AS SHOWN  
 HORIZONTAL: 1"=AS SHOWN

DATE: 07/07/2020

DESIGNED: TC  
 DRAWN: TC  
 REVIEWED: AW  
 JOB NO.: -



UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

CIRCULATION PLAN  
 ACCESSIBILITY PLAN



A4.5

COPYRIGHT 2020 . STUDIO 02, INC.



UNIFORM DEVELOPMENT APPLICATION SERVICE STATION AT

**1533 W CAMPBELL AVE**

CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING



PROJECT NO.: 19-7230

ELECTRICAL GENERAL INFORMATION



**E0.0**

COPYRIGHT 2020 . STUDIO 02, INC.

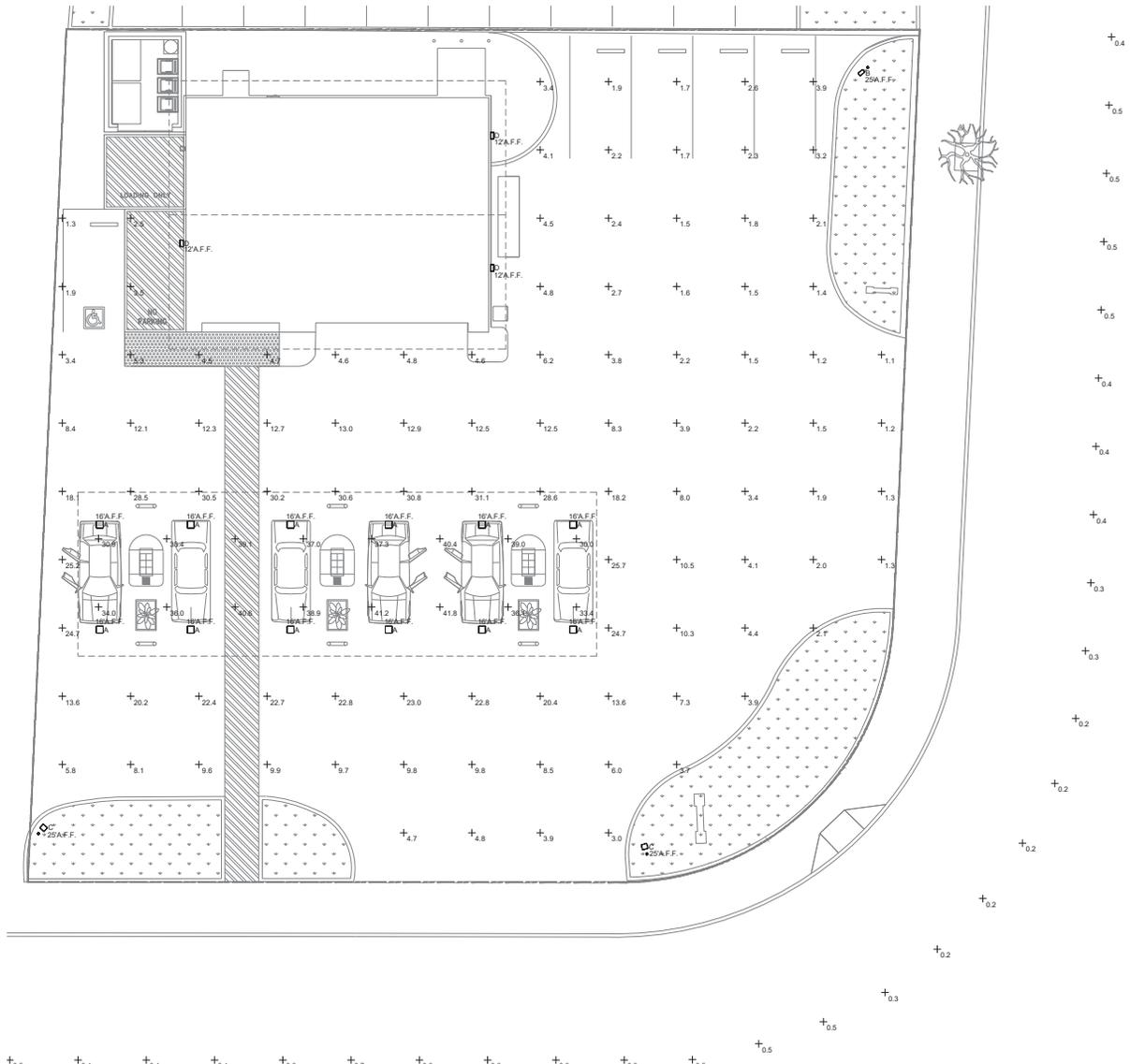
LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
⊕	20A	120/277V SPST SWITCH, LOWER CASE LETTER INDICATES SWITCHES CONTROLLED BY SWITCH, PROVIDE ONE PER SWITCH/LEG.
⊕	3	20A 120/277V, THREE WAY SWITCH.
⊕	2	20A 120/277V, SWITCH WITH FLOT LIGHT.
⊕	20	20A 120/277V BY-PASS SWITCH, 0.0 MOMENTARY SPST SWITCH.
⊕	1W	TIMER SWITCH, DIGITAL, 20A, 120V.
⊕	1	HORSEPOWER RATED TOGGLE SWITCH WITH THERMAL OVERLOADS.
⊕	D	DIMMER SWITCH, VA RATING AS SHOWN AND AS REQUIRED.
⊕	15A	15A 120/277V DUAL, TECH (A.N.O.) VACUUMY SWITCH SENSOR, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SWITCH.
⊕	15A	CEILING MOUNTED DUAL, TECH OCCUPANCY SENSOR (RNO), H = HALLWAY COVERAGE TYPE.
⊕	15A	LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SENSOR.
⊕	15A	ROOM CONTROLLER, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY CONTROLLER.
⊕	15A	PLUG LOAD CONTROLLER, COMPATIBLE WITH ROOM CONTROLLER.
⊕	15A	20A POWERLEAF PACK FOR OCCUPANCY SENSOR, LOWER CASE LETTER INDICATES SWITCH/LEG CONTROLLED BY SWITCH.
⊕	15A	EMERGENCY LIGHTING TRANSFER CONTROL DEVICE.
⊕	15A	DUPLEX RECEPTACLE, 120V, 20A (WP= WEATHERPROOF, AS INDICATED).
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, GFCI.
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, ABOVE COUNTER.
⊕	15A	DUPLEX RECEPTACLE, 20A, 120V, ISOLATED GROUND.
⊕	15A	QUADRIPOLEX RECEPTACLE, 20A, 120V.
⊕	15A	CORO DRAP RECEPTACLE, 20A, 120V.
⊕	15A	CEILING MOUNTED RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	SPLIT WIRED DUPLEX RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	SPLIT WIRED DOUBLE DUPLEX RECEPTACLE OUTLET, 15A, 120V.
⊕	15A	FLOOR BOX WITH DUPLEX RECEPTACLE, 20A, 120V.
⊕	15A	SINGLE RECEPTACLE, SEE EQUIPMENT SCHEDULE FOR NEMA CONFIG.
⊕	15A	USB CHARGER AND TAMPER RESISTANT RECEPTACLE, 20A, 120V, ABOVE COUNTER OR GR AS REQUIRED.
⊕	15A	POWER POLE, SEE DETAIL FOR MORE INFORMATION.
⊕	15A	FUSED DISCONNECT SWITCH WITH DUAL ELEMENT FUSES PER EQUIPMENT NAME PLATE RATING.
⊕	15A	FUSED DISCONNECT SWITCH WITH MOTOR STARTER AND DUAL ELEMENT FUSES PER EQUIPMENT NAME PLATE RATING.
⊕	15A	NON FUSIBLE DISCONNECT SWITCH.
⊕	15A	MOTOR OUTLET AND FLEX CONNECTION TO MOTOR.
⊕	15A	METER, METER SOCKET.
⊕	15A	GROUP BREAKER.
⊕	15A	GROUNDING ELECTRODE SYSTEM (FER, GROUND ROD, U.G. WATER PIPE, STRUCTURAL STEEL).
⊕	15A	PANELBOARD.
⊕	15A	JUNCTION BOX, WALL MOUNTED, SIZE TO CODE, TAPE AND TAG WIRES.
⊕	15A	JUNCTION BOX, CEILING MOUNTED, SIZE TO CODE, TAPE AND TAG WIRES.
⊕	15A	SECURITY OUTLET, BOX - 12"X6" STUB TO CEILING SPACE.
⊕	15A	TELEPHONE / DATA / COMBINATION DATA AND TELEPHONE OUTLET.
⊕	15A	HVAC SMOKE DETECTOR, S.M.D.
⊕	15A	FIRE SMOKE DAMPER.
A	AMPERE	
AC	AMPERE INTERRUPTING CAPACITY	
AF	ABOVE FINISHED FLOOR	
AWG	AMERICAN WIRE GAUGE	
C	CONDUIT	
CU	COPPER	
D	ONE WAY DISTANCE OF FEEDER OR BRANCH CIRCUIT	
(E) / (N) / (L)	EXISTING / NEW / RELOCATED	
EF	EXHAUST FAN	
EM	EMERGENCY	
FV	FIELD VERIFY	
GF	GROUND FAULT INTERRUPTER	
G, GND	GROUND	
HP	HORSEPOWER	
ISC	SHORT CIRCUIT CURRENT	
MCB	MAIN CIRCUIT BREAKER	
MLO	MAIN LUG ONLY	
NEC	NATIONAL ELECTRICAL CODE	
P	POLE	
PH	PHASE	
PROVIDE	FURNISH, INSTALL, CONNECT	
(R) / (RR)	REMOVE / REMOVE AND RELOCATE	
RMC	RIGID METAL CONDUIT	
S.A.D.	SEE ARCHITECTURAL DRAWINGS	
S.M.D.	SEE MECHANICAL DRAWINGS	
S.P.D.	SEE PLUMBING DRAWINGS	
UN	UNLESS OTHERWISE NOTED	
V	VOLTS	
VA	VOLT AMPERE	
VD	VOLTAGE DROP	
VD	VARIABLE FREQUENCY DRIVE	
WP	WEATHERPROOF	
-42	SUBSCRIPT LOCATED NEXT TO THE DEVICE MEANS 42" AFF TO CENTER OF DEVICE	

GENERAL NOTES	
1.	CODE COMPLIANCE IS MANDATORY. NOTHING IN THESE DRAWINGS AND SPECIFICATIONS PERMITS WORK NOT CONFORMING TO THESE CODES. WHERE WORK IS SHOWN TO EXCEED MINIMUM CODE REQUIREMENTS, COMPLY WITH DRAWINGS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH THE LATEST RULES, CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: A. 2019 CALIFORNIA ELECTRICAL CODE B. 2019 CALIFORNIA BUILDING CODE C. 2019 CALIFORNIA MECHANICAL CODE D. 2019 CALIFORNIA PLUMBING CODE E. 2019 CALIFORNIA FIRE ALARM AND NOTIFICATION CODE F. 2019 CALIFORNIA ENERGY CODE, PART 6 G. LOCAL UTILITY COMPANIES H. ANY OTHER LOCAL CODES, ORDINANCES AND JURISDICTIONS
2.	ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION.
3.	ALL SINGLE AND GANGED PLATES SHALL BE THERMOPLASTIC AND SHALL MATCH THE DEVICE IN COLOR. COORDINATE DEVICE COLOR WITH THE ARCHITECT PRIOR TO INSTALLATION. GANG DEVICES AT GROUP LOCATIONS UNDER A SINGLE COVER PLATE.
4.	THE ELECTRICAL PLANS ARE SCHEMATIC IN NATURE AND NOT INTENDED TO SHOW ALL OF THE ARCHITECTURAL DETAIL OR SPECIFS OF CONSTRUCTION, TAKE ALL DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS. PRIOR TO ROUGH-IN CONSTRUCTION TO REVIEW ALL SUBMITTALS OF EQUIPMENT PROVIDED BY OTHER TRADE AND MAKE NECESSARY ADJUSTMENTS.
5.	ALL CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE MADE WITH A MINIMUM OF 24" OF WEATHERPROOF FLEXIBLE CONDUIT TO PREVENT SOUND AND VIBRATION TRANSMISSION TO THE STRUCTURE.
6.	COORDINATE ALL MOTOR OVERLOADS AND/OR FUSES FURNISHED BY THIS CONTRACT WITH THE ACTUAL EQUIPMENT INSTALLED. SIZE OVERLOADS BASED ON MOTOR NAMEPLATE FULL LOAD CURRENT AND SERVICE FACTOR. FUSES FOR MOTOR AND TRANSFORMER CIRCUITS SHALL BE DUAL ELEMENT. FUSES FOR OTHER "NON-WIRE" LOADS SHALL BE FAST ACTING. ALL FUSES SHALL BE CURRENT LIMITING CLASS RK1 OR CLASS 1, UNLESS OTHERWISE NOTED. FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
7.	GROUNDING CONDUCTORS ARE GENERALLY NOT SHOWN. GROUND AND BOND TOGETHER ALL EQUIPMENT, RACEWAYS, MOTORS, PANELBOARDS AND SWITCHGEAR, ETC. IN ACCORDANCE WITH NEC ARTICLE 250. BONDING OF ALL INTERIOR METAL PIPING SHALL BE IN ACCORDANCE WITH NEC ARTICLE 250 AS FOLLOWS: A. ALL INTERIOR METAL WATER PIPING SHALL BE BONDED TO ONE OR MORE GROUNDING ELECTRODES USED. THE BONDING JUMPER SHALL BE USED IN ACCORDANCE WITH NEC ARTICLE 250. B. INTERIOR METAL PIPING THAT MAY BECOME ENERGIZED (A GAS PIPING, ETC.) SHALL BE BONDED TO ONE OR MORE GROUNDING ELECTRODES USED. THE BONDING JUMPER SHALL BE SIZED IN ACCORDANCE WITH NEC ARTICLE 250, USING THE RATING OF THE CIRCUIT THAT MAY ENERGIZE THE PIPING SYSTEM. C. INTERIOR METAL PIPING SYSTEM SEPARATED BY A PLUMBING EQUIPMENT (E.G. METER, WATER HEATER) SHALL BE PROVIDED WITH A BONDING JUMPER SIZED PER NEC ARTICLE 250. ALL GROUNDING ELECTRODE INSTALLED IN THE BUILDING (SINGLE OR MULTIPLE SERVICES) SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING ELECTRODE SYSTEM.
8.	INSTALL ALL WALL MOUNTED POWER, TELEPHONE AND DATA OUTLETS AT -15" A.F.F. TO BOTTOM OF THE BOX, UNLESS OTHERWISE NOTED. INSTALL ALL LIGHTING CONTROL SWITCHES, FIRE ALARM PULLSTATIONS, AND WALL TELEPHONE JACKS AT -48" A.F.F. TO TOP OF THE BOX, UNLESS OTHERWISE NOTED.
9.	CONDUIT PENETRATION OF FIRE RATED PORTIONS OF A STRUCTURE SHALL BE EFFECTIVELY SEALED AND SLEEVED WITH STEEL FLEX 3 FEET EACH SIDE OF THE PENETRATION, OR OTHER APPLIED METHODS.
10.	FIRE ALARM CABLE SHALL BE INSTALLED IN CONDUIT WHERE REQUIRED BY CODE.
11.	RECESSED LIGHT FIXTURES INSTALLED WHERE THERE ARE NO LISTINGS IS REQUIRED TO BE I.C. RATED. ALL LIGHT SWITCHES NOT WITHIN 30" OF THE LUMINAIRE SHALL BE EQUIPPED WITH A PLOTT LIGHT, EVEN IF NOT SHOWN IN THE DRAWINGS. CONTRACTOR TO PROVIDE ALL REQUIRED SEISMIC SUPPORT WIRES FOR THE LIGHTING FIXTURES. PENDANT FIXTURES SHALL BE PROVIDED WITH SEISMIC SUPPORT WIRES SO AS NOT TO HIT ANYTHING ON A 48" DEGREE SWING AND AS REQUIRED BY THE AHJ.
12.	ALL EQUIPMENT SHALL BE LISTED AND SHALL BE INSTALLED AS PER THEIR LISTINGS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE MADE AVAILABLE TO THE BUILDING INSPECTOR AT THE TIME OF INSPECTION. ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION. ALL RECEPTACLES SHALL COMPLY WITH THE LATEST EDITION OF THE N.E.C. EVEN IF NOT SPECIFICALLY IDENTIFIED IN THE DRAWINGS (SPD, AFCI, TAMPER RESISTANT, HOSPITAL, GRADE, ETC.)
13.	CONTRACTOR TO SUBMIT LOAD SUMPING (SERVICE CAGE SHEET) TO THE ELECTRIC UTILITY COMPANY FOR COORDINATION TO THE EXISTING SERVICE LATERAL/UNDERGROUND CONDUCTOR AND ASSOCIATED UTILITY TRANSMISSION.
14.	STRUCTURAL STEEL FIRE PROOFING THAT WERE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED BY THIS CONTRACTOR.
15.	CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE SUBMITTING BID.
16.	CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, ETC. REQUIRED.
17.	CONTRACTOR SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL UNDER WRITERS OR OTHER APPLICABLE INSPECTION Agency CERTIFICATES "ELECTRICAL INSPECTION". THESE CERTIFICATES SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.
18.	IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE OPERATING ELECTRICAL SYSTEM. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL WIRING, EQUIPMENT, MATERIAL, ETC. REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THEY SHALL BE ADDRESSED TO ARCHITECT PRIOR TO BID. NO EXTRA CHARGES WILL BE ALLOWED.
19.	ELECTRICAL SERVICE SHALL BE COORDINATED WITH THE EXISTING FIELD CONDITIONS.
20.	CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE EXACT LOCATIONS (REFER TO HVAC DRAWINGS), WIRE AND CONNECT TO ALL HVAC EQUIPMENT, INCLUDING CONTROLS AND THERMOSTATS.
21.	COURT NUMBER ON THE DRAWINGS ARE FOR IDENTIFICATION ONLY AND DO NOT INDICATE THE POSITION ON THE PANEL BOARD. CONNECT THE CIRCUITS WITH THE LIGHTS/LOADS AND THE RECEPTACLE CIRCUITS NEAR THE TOP OF THE PANEL, AND THE MORE HEAVILY LOADED CIRCUITS NEAR THE BOTTOM. BALANCE ALL CIRCUITS EVENLY BETWEEN PHASES SO THAT FEEDER WIRES CARRY APPROXIMATELY EQUAL CURRENT. ALL PHASES MUST BE BALANCED WITHIN 10% LESS. CONTRACTOR SHALL REBALANCE IF NECESSARY.
22.	BRANCH CIRCUIT CONDUCTORS SHALL NOT BE LESS THAN NO. 12AWG. THE INSULATION SHALL BE COLOR CODED, AND SHALL BE 600 VOLT, TYPE THHN/THWN COPPER.
23.	CABLES IN HIGH TEMPERATURE AREAS SHALL HAVE INSULATION TYPE SUITABLE FOR THE TEMPERATURE. CABLES USED IN SPACES FOR ENVIRONMENTAL AIR SHALL CONFORM WITH APPLICABLE NEC REQUIREMENTS.
24.	ALL WIRING USED IN RETURN OR DISCHARGE AIR PLenums SHALL BE PLenum RATED OR INSTALLED PER METHODS APPROVED BY THE LATEST EDITION OF THE NEC FOR SUCH APPLICATION.
25.	BRANCH CIRCUITS FOR POWER AND LIGHTING SHALL NOT BE LESS THAN #12 AWG. OR AS NOTED. WIRES ARE TO BE SIZED FOR THE APPROPRIATE VOLTAGE DROPS.
26.	ALL EQUIPMENT AND LIGHT FIXTURES WIRING SHALL NOT BE LESS THAN #12 AWG TYPE SFF-2 AND FLEXIBLE CORDS SHALL NOT BE LESS THAN #12 AWG TYPE 5.
27.	CONTROL WIRING SHALL NOT BE LESS THAN #14 AWG UNLESS OTHERWISE NOTED.
28.	HOMERUNS SHOWN ARE SCHEMATIC. CONTRACTOR MAY ORIGINATE HOMERUNS FROM DIFFERENT LOCATIONS. ALL WIRE INCLUDING HOMERUNS SHALL BE Delineated ON A BUILT DRAWINGS.
29.	ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED.
30.	ALL SLAB PENETRATIONS SHALL BE INSTALLED AND FIRE RATED PER NATIONAL, STATE AND LOCAL CODES.
31.	DO NOT MAKE ANY CHANGES OR SUBSTITUTIONS WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER.
32.	GUARANTEE ALL WORK, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
33.	THIS DESIGN IS BASED ON INTIAL DESIGN DATA. GENERAL CONTRACTOR TO SUPPLY AND INSTALL FEEDERS, FUSES AND CIRCUIT BREAKERS TO MATCH THE NAMEPLATE RATING OF ALL EQUIPMENT. THIS SHALL BE INCLUDED IN THE INTIAL BID PROPOSAL, AND BID EXTRAS SHALL BE ENTERAINED.
34.	THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR TO COMPLETE ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH GOOD COMMERCIAL PRACTICE INCLUDING THE INSTALLATION OF ALL THE EQUIPMENT MATERIALS AND SYSTEMS AND THE FINAL CONNECTIONS TO THE OWNER'S EQUIPMENT AND FIXTURES AS REQUIRED BY THE OWNER. THE CONTRACTOR SHALL ALSO FURNISH TEMPORARY WIRING AND LIGHTING TO PROVIDE A MINIMUM OF 24 HOURS WORK AREA FOR USE OF ALL THE TRADES DURING CONSTRUCTION AND THE INSTALLATION OF THE OWNERS FIXTURES. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL TEMPORARY WIRING UPON COMPLETION OF CONSTRUCTION OF ALL TRADES.
35.	CONTRACTOR SHALL LABEL ALL JUNCTION BOX, OUTLETS, LIGHT SWITCH, ETC. WITH CIRCUIT NUMBER ON INTERIOR OF COVER PLATE.
36.	CONTRACTOR SHALL PROVIDE SEISMIC RESTRAINTS AND SUPPORTS FOR ALL FLOOR AND CEILING MOUNTED ELECTRICAL EQUIPMENT TO RESIST EARTHQUAKE EFFECTS DETERMINED IN ACCORDANCE WITH THE BUILDING CODE.
37.	THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL SUPPLEMENTARY SUPPORT, INCLUDING SUPPORT STEEL AS REQUIRED TO HANG ALL EQUIPMENT AND LIGHTING FROM THE EXISTING STRUCTURE IN ACCORDANCE WITH THE ARCHITECTURAL/STRUCTURAL SUPPORT AND LOADING CRITERIA.
38.	IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE FULLY DIMENSIONED COORDINATION DRAWINGS FOR ALL OF HIS RESPECTIVE WORK. THESE DRAWINGS MUST BE FULLY COORDINATED WITH ALL EXISTING CONDITIONS. ALL HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL, LIGHTING, STRUCTURAL AND ARCHITECTURAL SYSTEMS PRIOR TO PREPARING COMPOSITE MULTI DISCIPLINE COORDINATION DRAWINGS.
39.	ALL DISCONNECTING MEANS AND EQUIPMENT INDICATED ON THE DRAWING SHALL BE IDENTIFIED BY NAMEPLATE IN COMPLIANCE WITH THE NEC 110.22.
40.	ALL WIRING FOR THE EMERGENCY LIGHTING AND EMERGENCY SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 700.
41.	THE WIRING METHODS AND MATERIALS INDICATED IN THE SPECIFICATIONS AND ON THE DRAWINGS SHALL BE INSTALLED AND CONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 300.
42.	THE ELECTRICAL SERVICE AND DISTRIBUTION SYSTEM AS INDICATED ON THE RISER DIAGRAM AND MATERIALS INDICATED IN THE SPECIFICATIONS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE NEC ARTICLE 230.
43.	ALL OVER CURRENT PROTECTION SHALL BE IN COMPLIANCE WITH THE NEC SECTION 240.
44.	PRIOR TO ANY REQUIRED CUTTING AND PATCHING OF CONCRETE FLOOR AND/OR CUTTING OF ROOF CONTRACTOR SHALL COORDINATE WITH BUILDING ENGINEER. SEAL ALL EXTERIOR AND PREWALL PENETRATIONS.
45.	FOR ALL LIGHTING FIXTURES MOUNTED IN HUNDING CEMENT THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL INDIVIDUAL SUPPORT AT EACH CORNER OF RECESSED LIGHTING TRAFFER CONNECTED TO BUILDING STEEL ABOVE ALL CONDUIT AND MC CABLE MOUNTED ABOVE HUNG CEILING SHALL BE INDIVIDUALLY SUPPORTED IN THE SAME FASHION AS PER NEC REQUIREMENTS.
46.	NO "DOUBLING UP" ON CIRCUIT BREAKERS OR CONDUCTOR SPLICES WITH IN PANEL BOARDS SHALL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE JUNCTION BOXES ADJACENT TO PANELBOARDS AS REQUIRED TO SPACE COMMON CIRCUITS CONNECTORS.
47.	DO NOT SCALE FROM THESE DRAWINGS.
48.	PLANS ARE PREPARED WITH THE REQUIRED BRANCH CIRCUITS INDICATED BY CIRCUITS NUMBERS. PROVIDE AND INSTALL ALL CONDUITS, CONDUCTORS, BOXES, MISCELLANEOUS FITTINGS, ETC. FOR A COMPLETE AND OPERABLE SYSTEM (HOME RUN SHOWN). BRANCH CIRCUIT INSTALLATION SHALL COMPLY WITH SPECIFICATIONS AND NEC.
49.	NATIONALLY RECOGNIZED TESTING LABORATORY SHALL TEST ALL EQUIPMENT IN COMPLIANCE WITH Q. NEC ART. 110.3.
50.	ALL CONDUITS SHALL MAINTAIN FIVE (5) FEET CLEARANCE IN FRONT OF HVAC SUPPLY AND RETURN.
51.	CONTRACTOR TO PROVIDE CONDUIT EXPANSION COUPLINGS AND BONDING JUMPERS WHERE REQUIRED. REFER TO STRUCTURAL DRAWINGS FOR EXPANSION JOINT LOCATION.
52.	PROVIDE IDENTIFIED HANDLE TIES FOR ALL MULTI WIRE BRANCH CIRCUITS PER NEC 210.4(B).
53.	THE WORKING SPACES ABOVE THE ELECTRICAL EQUIPMENT SHALL BE MAINTAINED PER NEC 110.28(A). THE DEDICATED EQUIPMENT SPACE SHALL BE MAINTAINED PER NEC 110.26(B).
54.	THE CONTRACTOR FOR THIS WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS OF ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.

CAL. GREEN BUILDING CODE REQUIREMENTS	
BUILDING COMMISSIONS	
CONTRACTOR SHALL PROVIDE AND INCLUDE IN BID:	
A.	TESTING AND ADJUSTING, TESTING AND ADJUSTING OF SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY BEST PRACTICES AND AHP-CIBEST STANDARDS OF EACH SYSTEM AS DETERMINED BY THE BUILDING OFFICIAL. PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
TESTING AND ADJUSTMENT PROCEDURE FOR LIGHTING CONTROLS	
WALL AND CEILING MOUNTED OCCUPANCY SENSOR	
TESTER SHALL MANUALLY TURN ON LIGHT FIXTURE VIA THE SWITCH PROVIDED. ONCE LIGHT FIXTURE IS TURNED ON, TESTER SHALL INITIATE TIMER. SET TO MAXIMUM 30 MINUTES. AFTER WHICH THE LIGHT FIXTURES SHALL BE AUTOMATICALLY TURNED OFF EITHER AT THE END OF THE MAXIMUM ALLOWED 30 MINUTES OR EARLIER. IF FIXTURE DO NOT TURN OFF AFTER THE MAXIMUM ALLOWED TIME, TESTER TO OPEN OCCUPANCY SENSOR COVER AND CHECK TIMER SETTING AND ADJUST AUTOMATIC OFF TIMER TO 30 MINUTES OR LESS AND REPEAT PROCEDURE.	
TESTER TO FOLLOW MANUFACTURERS INSTRUCTION ON HOW TO SETUP OCCUPANCY SENSOR TO ENSURE SENSOR IS WORKING AND HOW TO RESET.	
WALL SWITCH FOR MANUAL ON/OFF AND DIMMING	
TESTER SHALL MANUALLY TURN ON LIGHT FIXTURE VIA THE SWITCH PROVIDED. ONCE LIGHT FIXTURE IS TUNED ON, TESTER SHALL DIM FIXTURE VIA THE DIMMING FUNCTION AND BUTTONS/SLIDER ON THE SWITCH AND OBSERVE FIXTURE TO ENSURE THAT LIGHT FIXTURES LIGHT LEVEL IS REDUCED UNIFORM AS THE FIXTURE IS DIMMED DOWN AND PAPPED UP.	
IF LIGHT FIXTURE IS NOT TURNED ON/OFF OR DIMMED, TESTER TO CHECK CONNECTION BETWEEN SWITCH, POWER PACK AND SENSOR. IF APPLICABLE TO ENSURE ALL WIRING IS DONE CORRECTLY PER MANUFACTURERS INSTALLATION INSTRUCTION AND REPEAT TESTING PROCEDURE.	
AUTOMATIC OFF VIA TIMELOCK AND CONTRACTOR	
TESTER SHALL INSPECT TIMELOCK TO ENSURE THAT THE AUTOMATIC ON/OFF SCHEDULE IS SET PROPERLY PER TYPICAL CRITERIA. ONCE SCHEDULING IS SETUP, TESTER CAN ADJUST THE INTERNAL CLOCK OF THE TIMELOCK TO ADVANCE TO WITHIN 1 MINUTE OF THE AUTOMATIC ON/OFF TIME AS IF ALL LIGHTS SET TO TURN OFF AUTOMATICALLY BY THE TIMELOCK IS SHUT OFF AS IT SHOULD BE.	
IF LIGHTS DO NOT TURN OFF AT THE SET SCHEDULE, CHECK TO ENSURE THAT TIMELOCK IS SET UP PROPERLY AND ALL CONTRACTOR ARE CONNECTED PROPERLY TO THE TIMELOCK AND CHECK AGAIN.	
TESTING AND ACCEPTANCE PER TITLE 4A	
ALL TESTING AND ADJUSTMENT SHALL BE PROVIDED BY A PERSON/COMPANY THAT IS CERTIFIED TO PROVIDE TESTING, ADJUSTING AND PROVIDING ACCEPTANCE FORM/PCA PER TITLE 4A REQUIREMENTS. THIS IS REQUIRED FOR ALL LIGHTING CONTROL DEVICES AND SYSTEM.	
A FINAL REPORT FOR THE TESTING AND ADJUSTING OF ALL NEW SYSTEMS SHALL BE COMPLETED PRIOR TO FINAL APPROVAL BY THE FIELD INSPECTOR. THIS REPORT SHALL BE SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES. (4.14.1.4)	
AN OPERATION & SYSTEMS MANUAL SHALL BE PROVIDED TO THE OWNER OR REPRESENTATIVE AND TO THE FIELD INSPECTOR AT THE TIME OF FINAL INSPECTION. (4.14.1.4)	
B.	OPERATION AND MAINTENANCE (OM) MANUAL - PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH THE DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF QUANTITIES/MANUALS FOR EACH SYSTEM. OM INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CFR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
C.	INSPECTIONS AND REPORTS - INCLUDE A COPY OF ALL INSPECTIONS, VERIFICATIONS, AND REPORTS, REQUIRED BY THE ENFORCING AGENCY.

DEMOLITION NOTES	
1.	WHERE REMOVAL OF AN EXISTING WORK (E.G. OUTLET, CONDUIT, WIRING ETC.) WILL RESULT IN LOSS OF CIRCUIT CONTINUITY, THE REMAINING ISOLATED PORTIONS OF THE CIRCUIT SHALL BE RECONNECTED TO THE NEAREST AVAILABLE AND APPROPRIATE EXISTING OUTLETS.
2.	WHERE EXISTING WIRING OR EQUIPMENT IS TO BE ABANDONED, IT SHALL BE REMOVED AND THIS WORK SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING: A. REMOVE WIRES AND CABLES BACK TO SOURCE B. REMOVE AND RELOCATE LIGHTING FIXTURES C. REMOVE DEVICES AND EQUIPMENT D. REMOVE EXPOSED CONDUITS E. CUT OFF A CAP REMARKED CONDUIT. STUBS SHALL NOT EXTEND ABOVE FLOOR F. REMOVE OTHER ITEMS NOT INCLUDED IN ITEMS (A) THRU (D)
3.	WHERE EXISTING WIRING, DEVICES AND EQUIPMENT ARE REMOVED, SUCH ITEMS SHALL NOT BE RE-USED UNLESS SPECIFICALLY DIRECTED AND APPROVED BY OWNER.
4.	REFER TO DEMOLITION NOTES ON ARCHITECTURAL DRAWINGS, REGARDING EXISTING LIGHT FIXTURES.
5.	REROUTE ALL CONDUITS THAT ARE TO REMAIN IN SERVICE AND WHICH CONFLICT WITH EQUIPMENT INSTALLATION.
6.	WHEREVER EXISTING ELECTRICAL DEVICES, CONDUITS, CABLES, OR OTHER ITEMS CONFLICT WITH REMOVAL WORK, WHETHER SHOWN OR NOT, RELOCATE THESE ITEMS.
7.	PATCH AND PAINT TO MATCH EXISTING, ALL AREAS AFFECTED BY REMOVAL OF ELECTRICAL EQUIPMENT AND DEVICES.
8.	DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES IN EXISTING CEILING AND WALLS WHICH ARE REQUIRED TO BE DEMOLISHED, WHETHER SHOWN OR NOT, MAINTAIN CIRCUITS TO ALL REMAINING DEVICES.
9.	ALL LIGHT FIXTURES, WIRING METHODS, ETC. WITH A PLenum CEILING MUST BE "PLenum RATED" AS PER LOCAL ORDINANCES.
10.	REMOVE ALL EQUIPMENT, DEVICES, WIRING AND EXPOSED CONDUIT NOT BEING USED.
11.	VERIFY ALL DEMOLITION WORK REQUIRED BY THE LANDLORD WITH LANDLORD'S REPRESENTATIVE PRIOR TO BID.

SHEET INDEX	
DWG NO.	DRAWING TITLE
E.0.D	ELECTRICAL GENERAL INFORMATION
E.P1.0	ELECTRICAL SITE PHOTOMETRIC PLAN
ELECTRICAL SCOPE OF WORK	
1.	PREPARE SITE LIGHTING PHOTOMETRIC CALCULATION. SEE E.P1 FOR MORE INFORMATION.



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVEWAY	+	9.2 f.c.	31.1 f.c.	1.1 f.c.	28.3 f.c.	8.4 f.c.
SERVICE CANOPY	+	37.3 f.c.	41.8 f.c.	30.0 f.c.	1.4 f.c.	1.2 f.c.
PROPERTY LINE	+	0.4 f.c.	0.8 f.c.	0.2 f.c.	4.0 f.c.	2.0 f.c.

Schedule											
Symbol	Label	Quantity	Manufacturer	Model Number	Description	Lamp	Number Lamps	Flux (lm)	Lumens Per Lamp	Light Loss Factor	Footcandle
□	A	12	SI INDUSTRIES, INC	ORUS_SM-SC-LED-50-50			1	CRUS_SM-SC-LED-50-50	13502	0.9	114
□	B	1	SI INDUSTRIES, INC	BSA-LED-12-ACR-3-40			1	BSA-LED-12-ACR-3-40-IES	12642	0.9	105
□	C	2	SI INDUSTRIES, INC	SLM-LED-06-SL-3-40-1FCR-IES			1	SLM-LED-06-SL-3-40-1FCR-IES	9568	0.9	68.2
□	D	3	SI INDUSTRIES, INC	KWM-2-LED-02L-40			1	KWM-2-LED-02L-40	3080	0.9	22.6



UNIFORM DEVELOPMENT APPLICATION  
SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING



PROJECT NO.: 19-7230

ELECTRICAL SITE  
PHOTOMETRIC PLAN



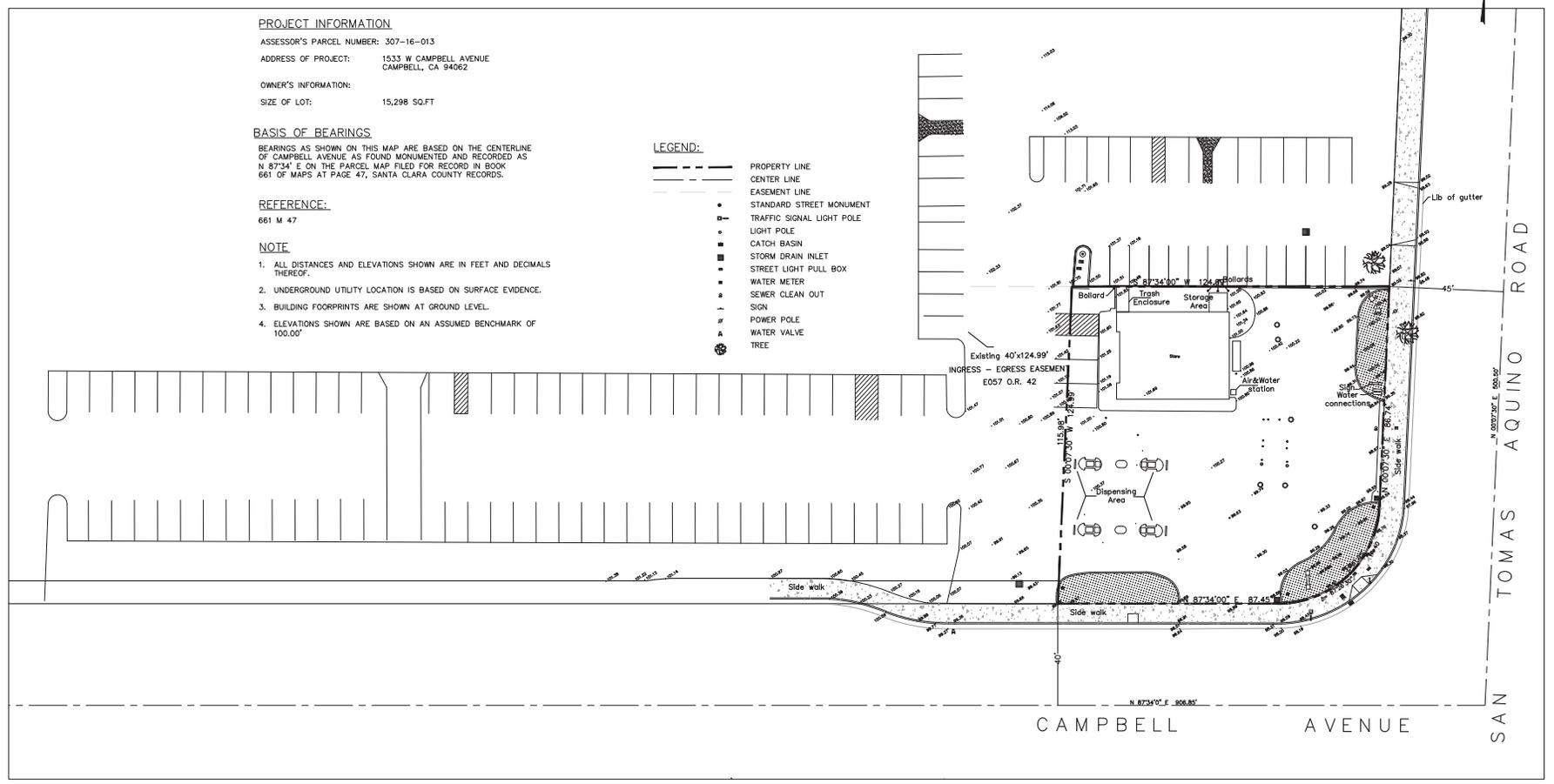
EP1.0

REVISIONS	BY

TOPOGRAPHIC SURVEY  
1533 W CAMPBELL AVENUE  
CAMPBELL, CA

DATE: 03/26/2019  
DRAWN BY: TP  
FIELD SURVEY BY: HE

SV-1



**PROJECT INFORMATION**

ASSESSOR'S PARCEL NUMBER: 307-16-013  
ADDRESS OF PROJECT: 1533 W CAMPBELL AVENUE  
CAMPBELL, CA 94062  
OWNER'S INFORMATION:  
SIZE OF LOT: 15,298 SQ.FT

**BASIS OF BEARINGS**

BEARINGS AS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CAMPBELL AVENUE AS FOUND MONUMENTED AND RECORDED AS N 87°14' E ON THE PARCEL MAP FILED FOR RECORD IN BOOK 661 OF MAPS AT PAGE 47, SANTA CLARA COUNTY RECORDS.

**REFERENCE:**

661 M 47

**NOTE**

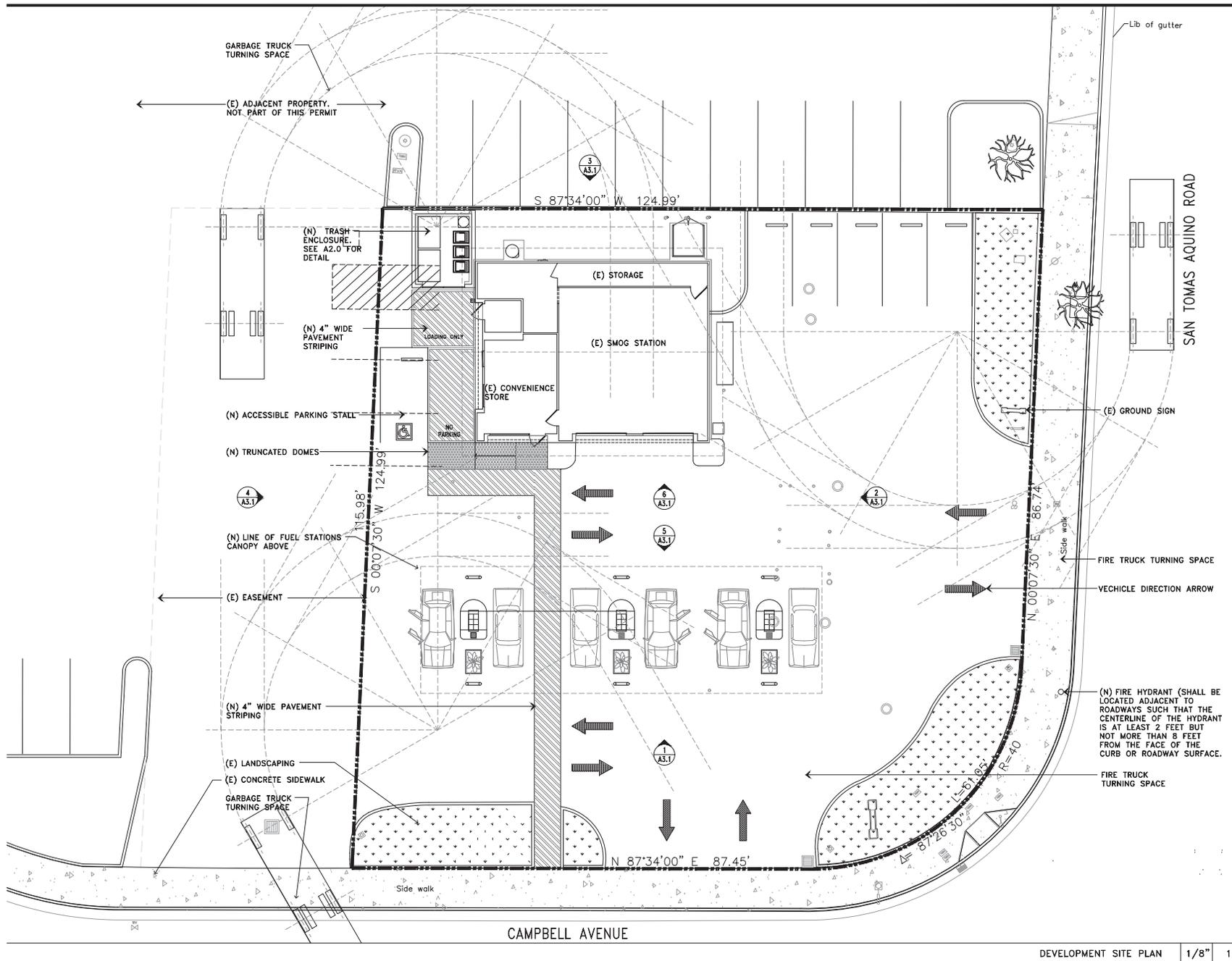
1. ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
3. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
4. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED BENCHMARK OF 100.00'

**LEGEND:**

- PROPERTY LINE
- - - CENTER LINE
- - - EASEMENT LINE
- STANDARD STREET MONUMENT
- TRAFFIC SIGNAL LIGHT POLE
- LIGHT POLE
- CATCH BASIN
- STORM DRAIN INLET
- STREET LIGHT PULL BOX
- WATER METER
- SEWER CLEAN OUT
- SIGN
- POWER POLE
- WATER VALVE
- TREE

THESE PLANS AND THE INFORMATION CONTAINED HEREIN ARE THE SOLE PROPERTY OF THE ENGINEER. NO PART OF THESE PLANS OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR THE CONSTRUCTION OF THE SAME. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR THE CONSTRUCTION OF THE SAME. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR THE CONSTRUCTION OF THE SAME.





UNIFORM DEVELOPMENT APPLICATION  
 SERVICE STATION AT  
**1533 W CAMPPELL AVE**  
 CAMPBELL, CA 95008

01.15.20 ISSUED FOR PLANNING  
 03.31.20 ISSUED FOR PLANNING  
 06.12.20 ARCH REVIEW COMMENT

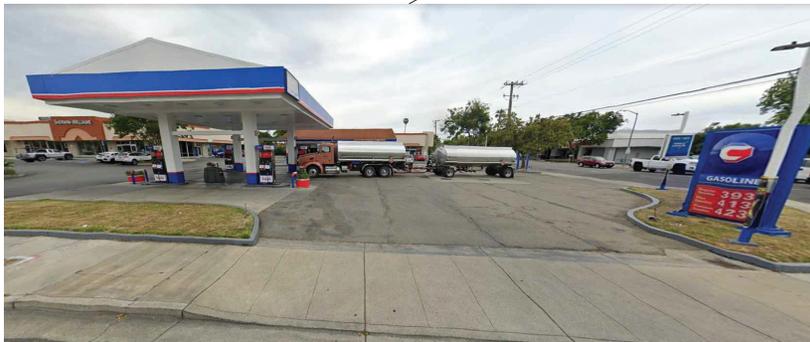
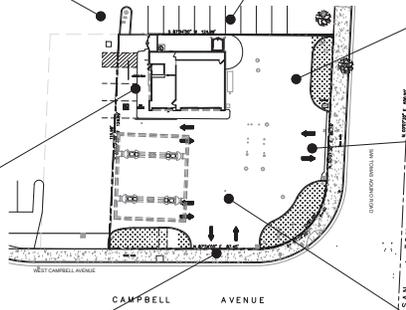
PROJECT NO.: 19-7230

TRASH MANAGEMENT PLAN



A5.1

COPYRIGHT 2020 . STUDIO 02, INC.



UNIFORM DEVELOPMENT APPLICATION  
SERVICE STATION AT  
**1533 W CAMPBELL AVE**  
CAMPBELL, CA 95008

- 01.15.20 ISSUED FOR PLANNING
- 03.31.20 ISSUED FOR PLANNING
- 06.12.20 ARCH REVIEW COMMENT

PROJECT NO.: 19-7230

SITE PHOTOGRAPHS



A7.0

COPYRIGHT 2020 . STUDIO 02, Inc.