

PLANNING COMMISSION
City of Campbell, California

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August 11, 2020
Tuesday
7:30 PM
ZOOM MEETING

After registration, you will receive a confirmation email containing information about joining the webinar. During the registration process, you will be asked if you would like to speak on any of the agenda items. Please provide detail on the items you would like to discuss.

AGENDA

CONVENE MEETING

This Regular Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

The following members of the Planning Commission are listed to permit them to appear electronically or telephonically at the regular Planning Commission meeting on August 11, 2020: Chair Michael Krey, Vice-Chair Maggie Ostrowski, Commissioners Adam Buchbinder, Andrew Rivlin; Nick Colvill; Stuart Ching; and Terry Hines.

Members of the public will not be able to attend meetings at the Campbell City Council Chamber physically. The Planning Commission meeting will be live-streamed on Channel 26, the City's website, and YouTube (<https://www.youtube.com/user/CityofCampbell>).

Those members of the public wishing to participate are asked to register in advance at: https://us02web.zoom.us/webinar/register/WN_uavFQC2sT1m_-cJvrGV1oA. After registering, you will receive a confirmation email containing information about joining the meeting.

Public comment for the Planning Commission meetings will be accepted via email at planning@campbellca.gov prior to the start of the meeting. Written comments will be posted on the website and distributed to the PC. If you choose to email your comments, please indicate in the subject line "FOR PUBLIC COMMENT" and indicate the item number.

ROLL CALL

APPROVAL OF THE MINUTES July 28, 2020

COMMUNICATIONS

AGENDA MODIFICATIONS OR POSTPONEMENTS

ORAL REQUESTS

This is the point on the agenda where members of the public may address the Commission on items of concern to the Community that are not listed on the agenda this evening. People may speak up to 5 minutes on any matter concerning the Commission.

PUBLIC HEARINGS

1. **PLN2019-234** Continued Public Hearing (from the Planning Commission meeting of June 23, 2020) to consider the application of Gordon Wong for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio and a Parking Modification Permit to allow a reduction in the number of required parking spaces at **85 Gilman Avenue** in the P-D (Planned Development) Zoning District. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: Stephen Rose, Senior Planner

2. **PLN-2019-239** Public Hearing to consider the application of Dennis Shafer for a Site and Architectural Review Permit to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum side setback of 5-feet where a ±10-foot side setback would otherwise be required on property located at **1789 Hurst Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: Stephen Rose, Senior Planner

3. **PLN-2020-41** Public Hearing to consider the application of Chong Tseng for a Conditional Use Permit and Parking Modification Permit to allow establishment of a medical office use (JumpStart MD) within an existing office space on property located at **1626 W. Campbell Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: Naz Pouya Healy, Assistant Planner.

4. **PLN-2020-45** Public Hearing to consider the application of Tannaz Haghayegh for a Conditional Use Permit and Parking Modification Permit to allow establishment of a 18,103 square foot grocery store (Grocery Outlet) with late-night hours and off-site general alcohol sales within an existing commercial building on property located at **100 N. San Tomas Aquino Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: Naz Pouya Healy, Assistant Planner.

REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR**ADJOURNMENT**

Adjourn to the next regularly scheduled Planning Commission meeting of **August 25, 2020**, at 7:30 p.m., and likely to be conducted using Zoom.

Americans with Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, listening assistance devices are available for meetings held in the Council Chambers. If you require accommodation to participate in the meeting, please contact Corinne Shinn at the Community Development Department, at corinnes@cityofcampbell.com or (408) 866-2140.

CITY OF CAMPBELL PLANNING COMMISSION

MINUTES

7:30 P.M.

TUESDAY

JULY 28, 2020

REMOTE ON-LINE ZOOM MEETING

The Planning Commission meeting of July 28, 2020, was called to order at 7:30 p.m. by Chair Krey and the following proceedings were had, to wit:

ROLL CALL

Commissioners Present: Chair: Michael Krey
Commissioner: Adam Buchbinder
Commissioner: Stuart Ching
Commissioner: Nick Colvill
Commissioner: Terry Hines
Commissioner: Andrew Rivlin

Commissioners Absent: Vice Chair: Maggie Ostrowski

Staff Present: Community
Development Director: Paul Kermoyan
Senior Planner: Daniel Fama
City Attorney: William Seligmann
Recording Secretary: Corinne Shinn

APPROVAL OF MINUTES

Motion: Upon motion by Commissioner Rivlin, seconded by Commissioner Colvill, the Planning Commission minutes of the meeting of July 14, 2020, were approved as submitted. (6-0-1; Vice Chair Ostrowski was absent)

COMMUNICATIONS

None

AGENDA MODIFICATIONS OR POSTPONEMENTS

None

ORAL REQUESTS

None

Chair Krey asked if there were any disclosures from members of the Commission.

Chair Krey suggested the Commission consider switching the order of tonight's two-item agenda since there are applicants here for Item 2 and no one here for Item 1.

The Commission agreed to reverse the items and consider Item 2 first.

Chair Krey read Agenda Item No. 2 into the record as follows:

NEW BUSINESS

2. **PLN-2020-15 Study Session to consider a Preliminary Application (PLN-2020-15) for a proposed 5-story hotel on property located at 577 Salmar Avenue. Project Planner: *Daniel Fama, Senior Planner.***

Mr. Daniel Fama, Senior Planner, provided the staff report as follows:

- Said that this Study Session will serve to give early feedback to the applicants on their proposed hotel project.
- Advised that Council also conducted its own Study Session in July and were supportive of an increase in FAR.
- Informed that this project site at 577 Salmar Avenue consists of one acre and is located south of Hamilton Avenue. There is a circa 1990 two-story office building on this property.
- Described the project as a five-story hotel consisting of 143 rooms and underground parking. Proposed parking is 135 spaces where 150 spaces are required. The proposed above ground square footage is 59,000 square feet with a 1.5 FAR.
- Reiterated that at the Council Study Session the Council was generally supportive but not necessarily of the initial proposed design that Council found to be too stark and modern.
- Said that there are questions within the staff report including:
 - Options in site layout
 - Whether the building orientation should be flipped around so as to be located nearer to the Home Depot driveway.

- Whether shuttle service to Pruneyard, Light Rail and Downtown Campbell should be an amenity.
- Stated that it is important that this hotel's design be done well as it will influence what goes on in this immediate area in the future.
- Concluded that he is available for questions and advised that the applicant will also make a presentation.

Chair Krey asked if there were questions for staff.

Commissioner Buchbinder asked about the potential for parking reductions.

Planner Daniel Fama advised that existing hotel parking standards are based on the number of rooms as well as the number of employees and as such requires 150 spaces for this proposal. Staff agrees that is rather high number given other transportation options that are available nearby.

Commissioner Rivlin said they are eight parking spaces short of their proposed 150 room count. Does that include staff?

Planner Daniel Fama replied yes, one space per employee is required for staff.

Commissioner Rivlin asked how access to Light Rail fits in with parking reductions.

Planner Daniel Fama replied that any project can ask for a Parking Modification Permit. They must make a case for allowing a reduction of required parking.

Commissioner Hines:

- Asked about environmental aspects of this project.
- Pointed out that Council wanted to see that.
- Questioned whether any specific direction was provided by Council.

Planner Daniel Fama said that the project would undergo CEQA review but there should not too many issues. One item necessary would be a Traffic Report.

Commissioner Hines asked about energy and water efficiency. Is there any criteria available?

Planner Daniel Fama advised that Council is looking beyond minimum required efficiency. Inclusion of a rooftop garden was suggested.

Commissioner Colvill:

- Stated that Council supports variation in design.
- Provided a couple of potential nearby building examples including Joe Escobar and 8X8.
- Added that the initial design currently consists of white straight building lines with lots of windows.
- Asked whether Council gave any examples of desired design.

Planner Daniel Fama advised that architecture an area of Planning Commission purview. Council is looking to the Planning Commission for greater feedback on design.

Commissioner Hines:

- Thanked staff for taking this hotel project to Council this early in the process. That allows the Planning Commission to know if and when it is in line/sync with what Council is looking for.
- Said that as a result of that early review by Council, this Commission is able to get some feedback.
- Commended staff for acquiring additional and early Council guidance.

Commissioner Buchbinder asked staff what the Planning Commission's mandate here. The applicant has some uncertainty.

Planner Daniel Fama said that Council wants the Planning Commission to provide the applicant with clear direction. The project should not be a shock or surprise when it comes to the Commission formally

Chair Krey asked why 5-stories and a 1.5 FAR. Is that tied into the General Plan Update? Is there some connection?

Planner Daniel Fama:

- Said he would defer to the applicant on that.
- Added that usually the reasons are economic.
- Said that the General Plan doesn't provide too much guidance and there is no area plan for this site.

Chair Krey asked if there is information available on how much the availability of ride-share services such as Uber and Lyft reduce parking demand.

Planner Daniel Fama replied that parking demand is a component of a traffic study.

Director Paul Kermoyan:

- Said that reviewing a project can be awkward while a City is in the process of updating its General Plan. While that GP Update is underway the City continues to process new projects using the existing General Plan.
- Stated that the best bet is to follow the current GP.
- Reported that the current GP anticipates development that allows a higher building heights , reduced parking and added FAR.
- Pointed out that more than design, intensity, orientation and the relationship to an area is important to consider. How that design works with its surroundings.
- Added that these types of larger projects can create impacts. The Planning Commission's role is to identify critical issues to shape a project to fit in as best it can.

Commissioner Buchbinder advised that he took a bike ride to the project site.

Commissioner Hines said he too drove by to see the property from the street.

Chair Krey opened the Public Hearing for Agenda Item No. 2.

Kurt Anderson, Project Architect, introduced Todd Bennett, the Project Builder, who will start their presentation.

Todd Bennett, Project Builder:

- Thanked staff and the Commission for conducting this Study Session for their proposed hotel project.
- Advised that he represents the ownership and will be the contractor when the hotel is built.
- Stated that the size of the building will impact the size of the required parking reduction.
- Pointed out that each brand of hotel has an optimal number of rooms that it wants for their brand.
- Added that their request to go from a .4 FAR up to a 1.5 FAR is a fair ask. However, to go to a bigger hotel drives cost up to where it doesn't pencil out.
- Shared a PowerPoint slide presentation but as it is very similar to that presented by Planner Daniel Fama showing his may not actually be necessary.
- Assured that they are prepared to do a Traffic Study.
- Reported that there is no analysis yet on what positive impacts the nearby Light Rail System might have on this project.

Commissioner Rivlin asked Mr. Todd Bennett what he thought about inverting the building's design as suggested by the City Council.

Todd Bennett said there is expense involved in drawing that out that way at this stage. He said the design would be better when they come in with submittal plans.

Kurt Anderson, Project Architect:

- Advised that he was the one who suggested rotating the building during the Council Study Session, so the building is situated closer to the driveway to the north and allowing for activity space to the south. That would represent a much better use of the site.
- Reported that for a structure with more than five feet they would have to change construction from wood frame to concrete.
- Asked Todd Bennett if they plan to use Hexecon.

Todd Bennett said that they are considering Michael Baker International.

Kurt Anderson:

- Said that Cal Green standards would be considered with this project. An activity area is being considered for placement on the roof. They will look into a lot of things.
- Stated that their most important needs are height and FAR and they will make their case for that when they come back before the Planning Commission.
- Advised the Planning Commission that he is looking forward to moving forward with this hotel project. He said he is really excited by it.

Chair Krey asked if there were any questions from the Commission for the applicants.

Commissioner Hines said that the applicants have indicated a desire for a three to four-star hotel.

Todd Bennett said they plan an overnight type of hotel. Not a motel or lodge.

Chair Krey asked if they were catering to business or leisure customers.

Todd Bennett said a mixture of both. He said the weekdays tend to be business customers and weekends leisure customers.

Chair Krey asked if there might be sightlines of Highway 17 from the rooftop.

Todd Bennett said you may be able to see a little bit.

Kurt Anderson:

- Listed some of the attributes of this area in terms of this proposed hotel to include:
 - Proximity to freeways (17, 880 and 85) and Light Rail.
 - Distance of just 10-minute drive to Downtown San Jose and San Jose Airport.
 - Nearby businesses and recreational uses.

Commissioner Buchbinder pointed out the new VTA/Bart connection as well.

Commissioner Rivlin said he has seen images.

Todd Bennett said that Image 4 is a hotel that he just finished. He added that Images 1, 3, 4 and 5 are fairly achievable. He asked Mr. Kurt Anderson if he agrees with him on that.

Kurt Anderson replied yes.

Commissioner Rivlin asked the applicants what the “temperature” might be as far as changing their initial white box building design. He admitted that breaking up of massing is very important to him.

Kurt Anderson:

- Said that including a roof deck will require bringing two stair and one elevator shafts up to the roof, which represents an increase in the total height of the building. The question is whether those three intrusions would be allowed.
- Opined that roof decks are “The Bomb.”

Todd Bennett said that the deck may not include the entire rooftop.

Kurt Anderson cautioned that they will need to have two exits from the rooftop deck represented by three towers.

Commissioner Buchbinder:

- Asked if the reason for the height limitation to five floors is the increase in construction costs if additional floors are included.
- Pointed out that there will be a new Building Code in the future that will allow up to a nine-floor building constructed in wood.

Todd Bennett said that he has been looking into that and may consider it.

Kurt Anderson added that more floors equates to more parking.

Todd Bennett:

- Added that more than five floors means construction costs go up by 30 percent.
- Said that the normal .4 FAR allowance would allow for 35 hotel rooms. Increasing the maximum FAR to 1.5 allows for 143 hotel rooms and 137 parking spaces.

Commissioner Buchbinder asked if that is less that they would have hoped to build there.

Kurt Anderson:

- Stated that this is Campbell. He has lived and worked here since 1975. He has a lot of love for Campbell.
- Admitted that it excites him to hear a Commissioner who wants to push the envelope.
- Advised that the “sweet spot” for a hotel project is between 140 and 160 rooms.
- Added that it has to make sense economically.
- Pointed out that in looking at this particular site, nothing existing is being impacted. It will not overpower any residential neighborhood.

Commissioner Hines asked if solar would be brought in to increase energy efficiency. Has utilizing solar been considered for this project?

Kurt Anderson:

- Said that lots of things are possible.
- Added that they are always looking for ways to achieve both energy and water efficiency.

Commissioner Rivlin asked about FAR and heights. He added that 75-foot maximum height seems pretty firm. He asked if it would be easy to add another floor.

Kurt Anderson said adding another floor later could be cost prohibitive. They would have to do that at the beginning.

City Attorney William Seligmann advised that the 75-foot maximum building height limit was through a voter-approved initiative.

Planner Daniel Fama advised that the Code exempts elevator and stairway shafts from that 75-foot maximum height.

Todd Bennett:

- Said that depends on how Fire looks at it too.

- Said that their proposal includes 33 rooms per floor. Between 143 and 150 rooms falls right into what the operator they want to put in at this location would like.
- Added that there is a little bubble on this size of hotel.
- Concluded that different construction types might not pencil out.

Commissioner Buchbinder asked when the maximum building height restriction got voted in.

City Attorney William Seligmann replied 1986.

Commissioner Buchbinder asked Mr. Todd Bennett if they would consider including bike amenities.

Todd Bennett:

- Such that amenities of that sort are on the operator.
- Listed some potential as being e-bikes and/or bicycles available for rent and shuttle services. It comes down to the jurisdiction.

Kurt Anderson advised that inclusion of conference facilities would equate to the need for more parking. Everything depends on parking.

Planner Daniel Fama asked the applicants if they had considered valet-only parking whereby tandem parking can be implemented.

Kurt Anderson said that too is left to the operator.

Todd Bennett added that most hotel brands support that concept.

Commissioner Buchbinder said they should consider that option.

Commissioner Colvill said he'd like to see other amenities and not just more rooms. Said that this discussion has given us great insight for us to think about. We want bigger. Developer not necessarily so.

Chair Krey asked the applicants if the operator impacts how they design their project.

Todd Bennett replied yes. He added that they can do a lot with the exteriors.

Commissioner Buchbinder asked if the amenity space would be open to the public other than hotel guests.

Todd Bennett:

- Said it speaks to the brand.
- Added that most hotels have a restaurant and one or two bars that are mainly there to serve guests. However, they won't turn you away if you walk in.

Raja Pallela, Campbell Resident:

- Said that he too is appreciative of the City taking this proposal to Council first before bringing it to the Planning Commission.
- Thanked the developer for coming to Campbell.
- Reported that he goes to the nearby Home Depot often and thinks that this project should not adversely impact the area.
- Added that the rooftop deck is a great idea.
- Stated his support for keeping this hotel building on the south side of the lot.

Chair Krey closed the Public Hearing for Agenda Item No. 2.

Commissioner Buchbinder:

- Agreed that rooftop amenities are a good idea and could include a garden, bar and more.
- Added that if valet parking were to be implemented, they wouldn't have to have ground level parking. Parking is better underground and out of view.
- Pointed out that the path from this site to the VTA station at Hamilton requires crossing two un-signalized highway on and off-ramps.
- Said that while that Light Rail station is pretty close to this proposed hotel, there needs to be a more pedestrian-friendly way of getting there on foot.
- Stated that having shuttles to the airport are perfectly fine.
- Concluded that getting to Downtown Campbell is not too difficult of a walk. It would be important to somehow connect this hotel to Downtown Campbell for their guests.

Commissioner Rivlin:

- Said that the FAR perspective is challenging.
- Added that it seems that Council had no issues for consideration of the requested FAR.
- Pointed out that this area has potential for more density. As such he is in support of the increased FAR requested.
- Asked that the architect consider this to be Campbell's Gateway and should incorporate both historic and modern design concepts.
- Questioned what the extra cost might be if the elevator tower were to go up by one more floor. Perhaps they could add five to ten more rooms on the fifth and sixth floors.
- Agreed that valet parking may be a solution to parking constraints.
- Asked that the rooftop deck not just be a bar. Offer some natural element. Perhaps some bees within a small pollinator garden that would draw both butterflies and bees.
- Stated that it's not necessarily up to the hotel brand. The Planning Commission can make the hotel public access.
- Said that it would be great to incorporate solar, EV charging stations and participation with ride share programs.
- Concluded that if viable, this hotel would be a huge welcome piece to Campbell.

Commissioner Colvill:

- Stressed the importance of this hotel setting "the bar" of development in this area. It will be a huge bar-setting project.
- Opined that Design Option #4 is more Campbell-esque.
- Admitted that he is a big fan of industrial-modern design.
- Added that more character would be great.

- Agreed that there is complexity in what this site offers including being walking distance to the Downtown Campbell and proximity to The Pruneyard Shopping Center.
- Stated that the hotel brand that comes to this location will dictate so much.
- Reiterated the importance of design that sets the bar.

Commissioner Hines:

- Expressed his support of the comments of his fellow Commissioners Buchbinder, Rivlin and Colvill.
- Said that solar efficiency will continue to be an emphasis.
- Added that tech continues to expand and grow.
- Emphasized the need to help make it work for these applicants.
- Reiterated the guidance already provided by Council.
- Stated his total support for this project.

Chair Krey:

- Said he is on the same opinion on a lot of points made. He is fine with the expanded FAR and height; the reduced parking request; the orientation of the building in the other direction; and the use of valet parking. Having the parking hidden equates to a great plus visually.
- Supported the need for achieving pedestrian access from this hotel to the Hamilton Light Rail Station.
- Pointed out that expanding maximum FAR from .4 to 1.5 equates to a greater value of this site.
- Stated his preferences for Design Options 4 and 5. He prefers Option 5 over 4 as he doesn't like the windows on Option 4.
- Said that we will have a pretty good project especially with the proposed rooftop garden space.
- Said that with a couple of 75-foot high elevator/stair towers this equals a good project.
- Suggested the use of colors that are more "Campbellic", more "Campbellish".

Commissioner Rivlin:

- Suggested that Old Town Campbell be the leverage of style of our Downtown. It is a Campbell-Industrial Look.
- Supported the rotation of the hotel building but thinks that a wall to Home Depot is not necessary.

Commissioner Hines:

- Encouraged the applicants to "reach higher" with a bigger project and bigger economics.
- Directed them to, "Ask for what they need."

Chair Krey said that it seems enough input has been provided.

Director Paul Kermoyan said that the comments from the Commissioners have been very positive and constructive.

Chair Krey said that it seems that now this project will go to the Site and Architectural Review Committee (SARC) and then to the Planning Commission at a later date. He asked if it goes to Council for final action.

Director Paul Kermoyan advised that the Planning Commission makes the final decision.

Commissioner Hines once again thanked staff for taking this item to Council first.

Commissioner Rivlin asked if an EIR (Environmental Impact Report) would be required.

Planner Daniel Fama replied no.

Chair Krey asked about a Traffic Study.

Planner Daniel Fama replied yes.

Chair Krey said that this will be a good project for Campbell sometime down the road.

Chair Krey called for a short break at 8:58 p.m.

Chair Krey reconvened the meeting at 9:03 p.m.

PUBLIC HEARING

Chair Krey read Agenda Item No. 1 into the record as follows:

1. **PLN-2020-80** Public Hearing to Consider Planning Commission Initiation of a Zoning Code Text Amendment (PLN-2020-80) to adopt reduced non-residential parking standards for properties located within proximity of public transportation. Project Planner: *Daniel Fama, Senior Planner.*

Mr. Daniel Fama, Senior Planner, provided the staff report as follows:

- Said that staff is recommending that this proposed Zoning Code Text Amendment (ZCTA) be deferred until the General Plan Update is completed.
- Added that the Planning Commission can initiate such a ZCTA and that request would be run by Council to determine their priorities for such an amendment.
- Stated that the Planning Commission should draw up what it is looking for by identifying goals. Should it be only non-residential parking standards, or should it include residential as well? Should it be areas around mass transportation?
- Asked that the Commission give staff a sense of what there are look for.

Commissioner Colvill:

- Stated his concern that it might be best to wait until the General Plan Update is completed.

Pointed out however that for the previous item heard this evening, that applicant was told to concentrate on the current General Plan.

Director Paul Kermoyan:

- Clarified that for the hotel project just discussed was simply an initial study session discussion by the Planning Commission. Staff recommends that they stick with existing rules and policies within the current codes that exist.
- Reminded that the Planning Commission is identifying that there's a parking standards problem. It is important for the Planning Commission to articulate in its motion why they need a change to the current parking standards.
- Suggested that if the City's future vision changes with the updated General Plan, let that play out.
- Stated that staff is following your (Planning Commission's) lead.
- Reiterated that the City Council determines our projects and priorities.
- Added that we have a Planning Commission that wants to add more to its current workflow but Council dictates to the City Manager what our priorities are.

Commissioner Buchbinder:

- Said that he is inspired to push for this update since the Planning Commission spends a lot of time and energy on processing Parking Modification Permits.
- Assured that it is not his goal to overload staff but thinks that it would be more efficient if there are new parking standards (rules) that are more in tune.
- Asked staff when work began on the currently occurring General Plan update process.

Planner Daniel Fama replied approximately three years ago.

Director Paul Kermoyan clarified that it was since June 2016.

Commissioner Buchbinder asked if the date is known as to when the GP update would be completed.

Director Paul Kermoyan:

- Replied that a draft is complete, and available on the City's website.
- Advised that the GP update will be before Council in September to determine the next steps in the process.
- Stated that final completion is anticipated to be in December depending on which groups should review prior, such as Historic Preservation Board and Civic Improvement Commission.
- Added that there will be more workshops held and the GP will come back to the Planning Commission probably in October. Next it goes to Council with Planning Commission recommendation likely by December.

Commissioner Buchbinder:

- Pointed out that when the General Plan is dopted there will likely be a cascade of changes to support the changes of the GP.
- Added that the GP process is pretty slow therefore they won't update rules until well into next year.

- Stated this need for revised parking standards is an acute issue. Again, it is not his intent to waste anyone's time but rather to make things as straightforward as possible.
- Pointed out that the Intern did the initial parking research.
- Concluded that it is reasonable to ask Council to adjust parking standards. It's worth it.

Director Paul Kermoyan:

- Said that the City's Parking Ordinance provides for the opportunity to apply for a Parking Modification Permit. Is the Commission proposing that with its modifications to parking standards that option should not be included?
- Cautioned that whatever standard the Planning Commission sets, someone will want to modify it.

Commissioner Buchbinder:

- Said that it is his impression that there are currently quite a lot of Parking Modification Permit requests.
- Added it seems that parking is a common reason for an item to even come before the Planning Commission.
- Concluded that any changes to the current standard could require fewer request for a PMP so it will be less often but not never.

Commissioner Hines stated his total support of Commissioner Buchbinder's comments. Parking is the biggest roadblock and a number have been rejected because of parking.

Chair Krey asked staff if the revised GP will come to the Planning Commission for a discussion of all changes.

Planner Daniel Fama replied correct. The Planning Commission will then provide its recommendation to Council for final action.

Chair Krey verified with staff that it will occur this year.

Planner Daniel Fama replied that is up to Council.

Commissioner Rivlin asked what the timing would be for a Zoning Code Text Amendment. How fast can it be done? What is typical?

Planner Daniel Fama said the last Parking Standards update he and Paul completed took two years. It involved a dozen Planning Commission meetings. It is an intensive effort.

Commissioner Colvill asked if the proposed Parking Standard updates would go through a similar process.

Planner Daniel Fama reiterated that a Zoning Code Text Amendment is a very collaborative process. The last one was a pretty complete update that created the concept of allowing a Parking Modification Permit.

Commissioner Colvill asked if the new GP update would include specific Zoning Code updates or will there be more work for the Zoning Codes.

Planner Daniel Fama said that with the new goals, policies and strategies that will be contained within the updated General Plan, staff will have to figure out how those relate to the Zoning Code. Parking also has to be looked at with that process.

Commissioner Colvill said that seems like a long ordeal and he hopes that the General Plan would provide specifics.

Chair Krey said that with the updated General Plan, we will probably be in the same position with the same issues.

Planner Daniel Fama agreed that the Planning Commission will be very busy after the adoption of the updated General Plan.

Chair Krey opened the Public Hearing for Agenda Item No. 1.

Raja Pallela, Campbell Resident:

- Stated his full support for doing this as soon as possible.
- Claimed that the GPAC (General Plan Advisory Committee) seems to be a questionable process with less than fifty percent of its members attending meetings.
- Recounted that he had asked to be added to the notification of GPAC meetings but that did not occur. There have been no updates in the last six months.
- Stated that he sees a lot of projects not coming to Campbell. There are 150 acres not being built upon.
- Pointed out that the Planning Commission brings more projects to the City to help make the City debt-free. The Planning Commission has the power for its standards not to remain in 1986.

Chair Krey closed the Public Hearing for Agenda Item No. 1.

Commissioner Colvill:

- Said that the Commission needs to provide clarity to staff on what the Planning Commission wants to do to make the existing Parking Ordinance (CMC Section 21.28.040) better.
- Said that the Commission should look at that existing Ordinance and provide direct feedback.
- Concluded that staff needs specifics of what is needed to address parking standard concerns.

Commissioner Buchbinder asked if it would make sense to continue this item.

Commissioner Colvill suggested a motion to initiate this Zoning Code Text Amendment providing specific types of changes desired so staff can clarify what order this process should follow. It's important to look at the existing standards.

Director Paul Kermoyan:

- Clarified the process to require the Planning Commission to articulate why it feels that a ZCTA needs to be initiated.

- Added that if Council agrees, staff (himself and Planner Daniel Fama) will meet and set a game plan together and begin issue identification.

Commissioner Colvill asked if the Planning Commission is able to ask Director Paul Kermoyan to look at GP updates together with this proposed Zoning Code Text Amendment of the parking standards.

Director Paul Kermoyan:

- Replied that the GP update is not yet concrete and useable.
- Reiterated that we go with what we know now.
- Clarified that GPAC is not a public meeting.
- Added that Raja Pallela actually signed up for noticing of General Plan (Envision Campbell) public meetings.
- Cautioned that this Zoning Code Text Amendment will take time and require multiple meetings. It's like peeling an onion.

Commissioner Hines:

- Said that he is totally supportive.
- Added that the Planning Commission is trying to take on this topic of parking standards.
- Suggested a motion to initiate a ZCTA.

Commissioner Rivlin asked staff if they need anything further from the Planning Commission. He asked about the pattern of Parking Modification Permits over the last year.

Director Paul Kermoyan:

- Reminded that businesses routinely ask for Parking Modification Permits.
- Agreed that parking can be a factor that could deter businesses.

Commissioner Hines said that the standard for mixed-use (commercial/residential) projects are really adversely impacting such projects.

Commissioner Rivlin:

- Said that parking is an important consideration when processing commercial uses, mixed uses and residential only when multi-family sites.
- Cautioned that people in Campbell will continue to want to have cars for at least the next ten years.
- Supported taking the right steps and he thinks this is the right step.
- Stated by forwarded the Planning Commission request onward to Council, Council can then validate the Planning Commission's concerns.
- Reminded that Light Rail and bus stops can allow developers to do smart growth.

Chair Krey suggested that an alternative Planning Commission action tonight could be to specifically identify desired parking standard changes and ask Council to make this a priority.

Commissioner Hines stated that the Planning Commission's message to the City Council is that the current stringent parking standards are blocking development. That's the way to give feedback to Council.

Commissioner Colvill stated that deregulation is a very important concept that reduces unnecessary regulation that prevents development from occurring.

Commissioner Buchbinder said he agrees with Commissioner Rivlin that it is possible to make mistakes if all types of parking are considered. The original suggestion was for commercial parking only.

Commissioner Rivlin said less car use would only occur once people find it harder to find their cars due to more limited parking thus making it inconvenient to use your car.

Motion: **Upon motion of Commissioner Buchbinder, seconded by Commissioner Colvill, the Planning Commission took minute action to request that the City Council allow the initiation of a Zoning Code Text Amendment (PLN-2020-80) to adopt reduced parking standards for properties located within proximity of public transportation; by the following roll call vote:**

AYES: **Buchbinder, Colvill, Hines, Krey and Rivlin**

NOES: **None**

ABSENT: **Ching and Ostrowski**

ABSTAIN: **None**

REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR

Director Paul Kermoyan had no additions to his written report but is available for any questions from the Commission.

Commissioner Hines asked Director Paul Kermoyan the status of the planned street closure in Downtown Campbell.

Director Paul Kermoyan:

- Reported that staff is working with Fire regarding the identified areas that need to be secured.
- Added that staff has provided guidelines to businesses that were distributed today.
- Said that the opening will occur on Friday, July 31, 2020.
- Advised that the barricades were put in place this morning.
- Informed that staff will be meeting with Fire on Thursday.
- Pointed out that the logistics take some time when closing down a public street and making it safe for dining/pedestrian uses.

Commissioner Buchbinder reported that he had not yet heard back on his request to the City Manager for the scheduling of a Joint Session with both Council and the Planning Commission.

Director Paul Kermoyan advised Commissioner Buchbinder that the City Manager advised him (Paul Kermoyan) that he (City Manager) had called him (Commissioner Buchbinder).

Commissioner Buchbinder said he would call again.

ADJOURNMENT

The Planning Commission meeting adjourned 9:34 p.m. to the next Regular Planning Commission Meeting of **August 11, 2020**, which will be conducted on Zoom.

SUBMITTED BY: _____
Corinne Shinn, Recording Secretary

APPROVED BY: _____
Michael Krey, Chair

ATTEST: _____
Paul Kermoyan, Secretary



CITY OF CAMPBELL • PLANNING COMMISSION
Staff Report • August 11, 2020

PLN2019-234 Continued Public Hearing (from the Planning Commission meeting of June 23, 2020) to consider the application of Gordon Wong for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio and a Parking Modification Permit to allow for a reduction in the number of required parking spaces at **85 Gilman Avenue** in the P-D (Planned Development) Zoning District.

(APD)

Wong, G.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution**, approving a request for an Administrative Planned Development Permit (PLN2019-234) and Parking Modification Permit at **85 Gilman Avenue**.

ENVIRONMENTAL DETERMINATION

Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15301, Class 1 of the California Environmental Quality Act (CEQA), pertaining to the operation and leasing of an existing private structure.

PROJECT SITE

The project site is located on the west side of Gilman Avenue, south of E. Campbell Avenue and north of Sam Cava Lane (reference **Attachment 3** – Location Map). The rectangular 8,268 square-foot property is developed with a surface level parking lot at the front of the lot and an L-shaped two-story industrial building toward the back.



Figure 1 – Project Site

PROJECT DATA

Zoning District:	P-D (Planned Development) / SOCA 3
General Plan Designation:	Medium-High Density Residential / Commercial
Lot Size:	8,268 sq. ft.
Existing Building:	4,600 sq. ft. / 55% FAR

Proposed Building: 3,900 sq. ft. (4,600 sq. ft. – 700 sq. ft.) / 47% FAR

Parking Required: 16 spaces (3,900 sq. ft. @ 1:250 sq. ft.)
Parking Proposed: 9 spaces (10 existing; one lost for ada stall)

Maximum Occupants: 9 occupants at peak operations

Operational/Public Hours: 6:00 a.m. – 8:00 p.m. (Mon. – Fri.)
8:00 a.m.– 2:00 p.m. (Sat. & Sun.)

Existing Landscaping: ±300 sq. ft. (3% of net lot area)
Proposed Landscaping: ±0 sq. ft. (0% of net lot area)

Surrounding Uses:

North: Solid Rock Landscaping (general contractor / office)
South: Vacant (formerly commercial/industrial; formerly Etched Media)
East: Commercial/Industrial (professional office, business support services etc.)
West: Vacant (formerly Etched Media) & Single-Family Residence (future Cresleigh)

DISCUSSION

Continued Hearing: At its meeting of June 23, 2020, the Planning Commission considered the applicant’s request for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio (12 or fewer participants) with a Parking Modification Permit to allow for a reduction in the number of required parking spaces (9 spaces proposed / 16 spaces required) (reference **Attachment 3** – Project Plans & **Attachment 4** – Written Description).

After due consideration, the majority¹ of the Commission expressed a willingness to grant the request (reference **Attachment 5** – Meeting Minutes). However, since the staff recommendation was for denial, a resolution for approval was not available the night of the meeting. The Commission continued the public hearing to a date uncertain and directed staff to prepare a Resolution to approve the project. The Draft Resolution for Approval (reference **Attachment 1**) provides findings required to support the request, as well as conditions of approval which limit the use to a maximum of 9 occupants at peak operations, consistent with the applicant’s request, but broader operational hours to provide added flexibility.

Prepared by:



Stephen Rose, Senior Planner

Approved by:



Paul Kermoyan, Community Development Director

¹ Four (4) Planning Commissioners voted in favor, two (2) voted in opposition, and one (1) abstained.

Attachments:

1. Draft Resolution for Approval
2. Location Map
3. Project Plans
4. Written Description
5. Planning Commission Meeting Minutes, June 23, 2020

RESOLUTION NO.

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL GRANTING APPROVAL OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT (PLN2019-234) ALLOWING THE ESTABLISHMENT OF A SMALL HEALTH AND FITNESS STUDIO AND A PARKING MODIFICATION PERMIT TO ALLOW FOR A REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES AT **85 GILMAN AVENUE** IN THE P-D (PLANNED DEVELOPMENT) ZONING DISTRICT.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

After due consideration of all evidence presented, the Planning Commission did find as follows with respect to application PLN2019-234.

Environmental Finding

1. The project may be found Categorically Exempt under Section 15301 of the California Environmental Quality Act (CEQA), pertaining to the operation and leasing, and minor alteration of an existing private structure.

Further Evidentiary Findings

1. The project site is located on the west side of Gilman Avenue, south of E. Campbell Avenue and north of Sam Cava Lane.
2. The rectangular 8,268 square-foot property is developed with a surface level parking lot at the front of the lot and an L-shaped two-story industrial building toward the back.
3. The project site is zoned P-D (Planned Development) and has a mixed-use General Plan Land Use Designation of Medium-High Density Residential/Commercial.
4. The project site is located within Sub-Area 3 of the SOCA (South of Campbell Avenue Area) Plan.
5. The applicant's proposal is for an Administrative Planned Development Permit (PLN2019-234) to allow the operation of a small health and fitness studio with a Parking Modification to allow for a reduction in the number of required parking spaces (9 parking spaces provided / 16 spaces required).
6. The scope of work entails a complete interior remodel of the first floor (adding a new reception area, office area, trash room, and new bathrooms with shower facilities), removal of the second floor (approximately 700 sq. ft.), installation of two new accessible paths of travel (extending along the southerly property line and in the public right of way behind the driveway), and removal of a trash enclosure, landscaping, and a shed.
7. The proposed site improvements would result in the removal of landscaping on the property in order to provide required accessible paths of travel.

8. The Zoning code requires an Administrative Planned Development Permit for a change of use to a small health and fitness studio in the P-D (Planned Development Permit) Zoning District, subject to special provisions applying to small health and fitness studios specified in Campbell Municipal Code Chapter 21.36.095.
9. A small health and fitness studio with less than 12-students has a parking requirement of one parking space per 250 sq. ft. of gross floor area.
10. The proposed building size is 3,900 square feet (after the removal of a 700 sq. ft. interior second level).
11. The site will provide 9 parking spaces.
12. The parking demand for the small studio is 16 parking spaces (15.6 after rounding up in accordance with CMC 21.02.020.D. - Calculations - Rounding)
13. The applicant contends that less than the required number of parking spaces should be allowed based on the proximity to public transportation, proposal to add a bike rack and shower stalls, limited number of participants, and in consideration classes would be staggered by 15-minutes. Further, the applicant contents that many of the members live or work within .5 to 1.5 miles of the project site, have expressed an interest in supporting alternative modes of transportation, and in consideration that the business caters to fit clientele who utilize walking, biking and running in their daily lives and are therefore highly likely to arrive without driving.
14. The Community Development Director understands the neighborhood has an existing street parking issue and could not support the applicant's proposal at a staff level.
15. The Community Development Director forwarded the project to the Planning Commission to consider the applicant's proposal in accordance with CMC 21.38.020 – Authority for land use and zoning decisions.
16. A condition of approval provides the Community Development Director authority to require a loading and/or unloading area for safe and acceptable means of drop-off and pick-up of persons using the health and fitness center.
17. Applicable General Plan Policies considered by the Planning Commission included, but were not limited to, the following:

Policy LUT-5.1: Neighborhood Integrity: Recognize that the City is composed of residential, industrial and commercial neighborhoods, each with its own individual character; and allow change consistent with reinforcing positive neighborhood values, while protecting the integrity of the city's neighborhoods.

Policy LUT-13.1: Variety of Uses: Attract and maintain a variety of uses that create an economic balance within the City while maintaining a balance with other community land use needs, such as housing and open space, and while providing high quality services to the community.

85 Gilman Avenue

Administrative Planned Development Permit (PLN2019-234) and Parking Modification Permit

18. The proposed use would offer group and personal/semi-personal fitness training sessions.
19. As conditioned, no more than 9 occupants would be in the building at any one time (including, but not limited to, all instructors, students, and staff).
20. As conditioned, the project's business/public (class) and operational (staff) hours shall be restricted from 6:00 a.m. to 8:00 p.m. daily.
21. The Planning Commission's review of the proposed project encompassed zoning and General Plan land use conformance, noise impacts, parking, property maintenance, odors, security and enforcement, and neighborhood impacts.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

22. There is a reasonable relationship and a rough proportionality between the conditions of approval and the impacts of the project.

Planned Development Permit Findings (CMC Sec. 21.12.030.H.6):

23. The proposed development or uses clearly would result in a more desirable environment and use of land than would be possible under any other zoning district classification;
24. The proposed development will be compatible with the general plan and will aid in the harmonious development of the immediate area;
25. The proposed development will not result in allowing more residential units than would be allowed by other residential zoning districts which are consistent with the general plan designation of the property;
26. The proposed development will not be detrimental to the health, safety or welfare of the neighborhood or of the city as a whole; and

Parking Modification Permit Findings (CMC Sec. 21.12.030.H.7):

1. Due to the unique nature and circumstances of the project, or special development features, the anticipated number of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standard, and would *not* be satisfied by the existing or proposed number of parking spaces, as supported by review of the applicant's documentation and/or a parking demand study prepared by a qualified transportation engineer accepted by the decision-making body; and
2. Approval of the parking modification permit will further the purpose of this chapter.

85 Gilman Avenue

Administrative Planned Development Permit (PLN2019-234) and Parking Modification Permit

Environmental Assessment Findings (CMC Sec. 21.38.050.A):

27. This project is Categorically Exempt under Section 15301 of the California Environmental Quality Act (CEQA), pertaining to the operation and leasing of an existing private structure.

28. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

THEREFORE, BE IT RESOLVED that the Planning Commission grants approval of an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small health and fitness studio and a Parking Modification Permit to allow for a reduction in the number of required parking spaces at 85 Gilman Avenue, subject to the attached Conditions of Approval (attached Exhibit A).

PASSED AND ADOPTED this 11th day of August, 2020, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

APPROVED: _____

Michael Krey, Chair

ATTEST: _____

Paul Kermoyan, Secretary

CONDITIONS OF APPROVALAdministrative Planned Development Permit (PLN2019-234)
and Parking Modification Permit

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT**PLANNING DIVISION**

1. Approved Project: Approval is granted for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small health and fitness studio and a Parking Modification Permit to allow for a reduction in the number of required parking spaces at 85 Gilman Avenue. The project shall substantially conform to the Project Plans stamped as received by the Planning Division on March 6, 2020, and Written Statement stamped as received by the Planning Division on January 28, 2020, except as may be modified by the Conditions of Approval contained herein.
2. Permit Approval Expiration: The Administrative Planned Development Permit and Parking Modification Permit approval shall be valid for one year from the effective date of the resolution. Within this one-year period all conditions of approval shall be fulfilled, and the use established. Failure to meet this deadline will result in the Administrative Planned Development Permit being void. Abandonment, discontinuation, or ceasing of operations for a continuous period of twelve months shall void the Administrative Planned Development Permit approved herein without the need for formal revocation by the decision-making body.
3. Revocation of Permit: Operation of an small health and fitness studio pursuant to the Administrative Planned Development approved herein is subject to Chapter 21.46 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke an Administrative Planned Development Permit if it is determined that its operation has become a nuisance to the City's public health, safety or welfare or for violation of the Administrative Planned Development Permit or any standards, codes, or ordinances of the City of Campbell. At the discretion of the Community Development Director, if the establishment generates three (3) verifiable complaints related to violations of conditions of approval and/or related to its operation within a six (6) month period, a public hearing may be scheduled to consider modifying conditions of approval or revoking the Administrative Planned Development Permit. The Community Development Director may commence proceedings for the revocation or modification of permits upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. In

exercising this authority, the decision-making body may consider the following factors, among others:

- a. The number and types of noise complaints at or near the establishment that are reasonably determined to be a direct result of patrons' actions or facility equipment;
 - b. The number of parking complaints received from residents, business owners and other citizens concerning the operation of an establishment; and
 - c. Violation of conditions of approval.
4. **Operational Standards:** Consistent with the submitted Written Description and City standards, any small health and fitness studio operating pursuant to the Administrative Planned Development Permit approved herein shall conform to the following operational standards. Significant deviations from these standards (as determined by the Community Development Director) shall require approval of a new Administrative Planned Development Permit.
- a. **Maximum Occupancy:** A maximum of 9 occupants (including all instructors, employees, students, and participants) shall be permitted on the premises at any time, which is further subject to the maximum occupancy capacities of certain rooms as determined by the California Building Code (CBC). It is the responsibility of the business owner to provide adequate entrance controls to ensure that participant occupancy is not exceeded. Maximum Occupancy signs shall be posted conspicuously within the premises.
 - b. **Hours of Operation:** Hours of operation shall be as follows. By the end of 'Business/Public Hours' all patrons shall have exited the premises. By the end of the 'Operational Hours' all employees shall be off the premises.

Operational/Staff:	6:00 AM – 8:00 PM, Daily
Business/Public:	6:00 AM – 8:00 PM, Daily

These hours are restricted in perpetuity.
 - c. **Parking Management:** In the event that a verifiable complaint is received by the City regarding parking, the Community Development Director may reduce the permitted occupancy, limit the hours of operation, require staggering of classes, require additional parking management strategies and/or forward the project to the Planning Commission for review.
 - d. **Smoking:** "No Smoking" signs shall be posted on the premises in compliance with CMC 6.11.060.
 - e. **Noise:** Outdoor speakers are prohibited. Unreasonable levels of noise, sounds and/or voices, including but not limited to indoor amplified sounds, indoor loud speakers, sounds from indoor audio sound systems or music, and/or indoor public address system or fitness equipment, generated or used by the establishment or its participants shall not be audible to a person of normal hearing capacity from outside the enclosed tenant space.

In the event that a verifiable complaint is received by the City regarding noise, the Community Development Director may reduce the permitted occupancy, limit the hours of operation, limit the permissible decibels, require the installation of a sound attenuation material between suites or rubber floor mat to absorb vibration/impacts, and/or forward the project to the Planning Commission for review.

- f. **Loitering:** There shall be no loitering allowed outside the business. The business owner is responsible for monitoring the premises to prevent loitering.
 - g. **Trash Disposal and Clean-Up:** All trash disposal, normal clean-up, carpet cleaning, window cleaning, sidewalk sweeping, etc. shall occur during the "operational hours."
 - h. **Business License:** The business shall be required to obtain and maintain a City business license at all times.
 - i. **Staggered Classes/Sessions:** Classes/sessions shall be staggered by at least 15-minutes to allow adequate turnover of parking spaces.
 - j. **Minimum Age of Participants/Students:** All students shall be 18 years old or older.
 - k. **Assigned Parking:** No assigned parking shall be allowed.
 - l. **Outdoor Activity:** No outdoor classes/instruction shall be allowed.
5. **Windows & Doors:** At no time shall an obscure wall or barrier (i.e. drapery, window tinting, blinds, furniture, inventory, shelving units, storage of any kind or similar) be installed along, behind or attached to windows or doorways that blocks visual access to the tenant space or blocks natural light.
6. **Property Maintenance:** The owner/operator of the subject property shall maintain all exterior areas of the business free from graffiti, trash, rubbish, posters and stickers placed on the property. Exterior areas of the business shall include not only the parking lot and private landscape areas, but also include the public right-of-way adjacent to the business. Trash receptacles shall be maintained within their approved enclosures at all times.
7. **Landscape Maintenance:** All landscaped areas shall be continuously maintained in accordance with City Landscaping Requirements (CMC 21.26). Landscaped areas shall be watered on a regular basis so as to maintain healthy plants. Landscaped areas shall be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.
8. **Signage:** No signage is approved as part of the development application approved herein. New signage shall not be installed prior to approval of a sign permit.

9. Location of Mechanical Equipment: No roof-mounted mechanical equipment (i.e. air conditioning units, ventilation ducts or vents), shall be added to the existing building without providing screening of the mechanical equipment from public view and surrounding properties. The screening material and method shall be architecturally compatible with the building and requires review and approval by the Community Development Director and Building Division prior to installation of such screening.
10. Outdoor Storage: No outdoor storage is permitted on the subject property. No equipment, materials or business vehicles shall be parked and/or stored outside the building or within the parking lot.
11. Building Permit Required: A building permit shall be required for review and approval of the parking and site circulation design, which shall be further subject to Fire Department review and approval.
12. Loading & Unloading Area: An area for the safe and acceptable means of drop-off and pick-up of persons using the health and fitness center use shall be provided at the discretion of the Community Development Director and in accordance with CMC 21.35.095.D.1. – Parking and Loading. This condition could require one or more parking spaces to be marked for loading/unloading only – and the installation and enforcement of a wall or pole mounted sign indicating such restricted use.
13. Parking and Driveways: All parking and driveway areas shall be maintained in compliance with the standards in Chapter 21.28 (Parking & Loading) of the Campbell Municipal Code. Parking spaces shall be free of debris or other obstructions.
14. Automated External Defibrillator: An automated external defibrillator (AED) shall be installed, maintained, and made publicly available for any health and fitness studio activity operating pursuant to the Administrative Planned Development Permit approved herein in accordance with state law and manufacturer specifications and/or a written statement shall be provided in conjunction with the building permit submittal explaining why the facility is exempt from the requirement in accordance with state law (including, but not limited to, California Health and Safety Code § 104113) for review and approval by the Community Development Director.

BUILDING DIVISION

15. Permits Required: A building permit application shall be required for the proposed Tenant Improvements to the (e) vacant commercial space. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
16. Construction Plans: The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
17. Size Of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.

18. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be “wet stamped” and signed by the qualifying professional person.
19. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Site address and parcel numbers shall also be clearly called out. Site parking and path of travel to public sidewalks shall be detailed.
20. Title 24 Energy Compliance: California Title 24 Energy Standards Compliance forms shall be blue-lined on the construction plans. Compliance with the Standards shall be demonstrated for conditioning of the building envelope and lighting of the building.
21. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
22. Non-Point Source Pollution: The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24” X 36”) is available at the Building Division service counter.
23. Title 24 Accessibility – Commercial: On site general path of travel shall comply with the latest California Title 24 Accessibility Standards. Work shall include but not be limited to accessibility to building entrances from parking facilities and public sidewalks.
24. Approvals Required: The project requires the following agency approval prior to issuance of the building permit:
 - a. West Valley Sanitation District
 - b. Santa Clara County Fire Department
25. P.G.& E.: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.

PUBLIC WORKS DEPARTMENT

26. The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11.24.040. The applicant will need to upgrade the existing driveways to be accessible (ADA) compliant and construct sidewalk transition from the new driveway to the existing sidewalk. The plan is showing

pedestrian ADA transition on the east side of the driveway and not on the west side of the driveway. Revise plan to show pedestrian ADA transition on the west side of the driveway.

27. Construction Drawings: The applicant shall submit the required Street Improvement Plans directly to the Public Works Department prior to, or concurrent with the Building permit application.

28. Right-of-Way for Public Street Purposes: The applicant prior to issuance of any grading or building permits for the site shall fully complete the process to cause additional right-of-way to be granted in fee for public street purposes along the Gilman Avenue project frontage to accommodate the ADA compliant driveway approach, unless otherwise approved by the City Engineer. The applicant shall submit the necessary documents for approval by the City Engineer, process the submittal with City staff's comments and fully complete the right-of-way process. The applicant shall cause all documents to be prepared by a registered civil engineer/land surveyor, as necessary, for the City's review and recordation.

29. Drainage System: Prior to occupancy clearance, the applicant shall refurbish, remodel, and reconstruct the on-site drainage system, as necessary, to demonstrate that the facilities are functioning normally in accordance with the requirements of the City.

30. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2003.

31. Utilities: All on-site utilities shall be installed underground per Section 21.18.140 of the Campbell Municipal Code for any new or remodeled buildings or additions. Applicant shall comply with all plan submittals, permitting, and fee requirements of the serving utility companies.

Utility locations shall not cause damage to any existing street trees. Where there are utility conflicts due to established tree roots or where a new tree will be installed, alternate locations for utilities shall be explored. Include utility trench details where necessary.

32. Water Meter(s) and Sewer Cleanout(s): Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.
33. Utility Coordination Plan: Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
34. Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
35. Encroachment Permit, Plans, Fees and Deposits: Prior to issuance of any building permits for the site, the applicant shall cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
- a. Show location of all existing utilities within the new and existing public right of way.
 - b. Relocation of all existing utilities including utility boxes, covers, poles, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.
 - c. Removal of existing driveway approach and necessary sidewalk, curb and gutter.
 - d. Installation of City standard curb, gutter, sidewalk and ADA compliant driveway approach.
 - e. Construction of conforms to existing public and private improvements, as necessary.
 - f. Submit final plans in a digital format acceptable to the City.
36. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy and/or final building permit signoff for any and/or all buildings, the applicant shall have the required street improvements installed and accepted by the

City, and the design engineer shall submit as-built drawings to the City.

37. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to: trees, lawn, plantings, irrigation, etc. Trees shall not be pruned in a manner that would not allow the tree to grow to a mature height.
38. Utility Encroachment Permit: Separate encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
39. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.

FIRE DEPARTMENT

40. Formal Plan Review: Review of this development proposal is limited to accessibility of site access and water supply and may include specific additional requirements as they pertain to fire department operations and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Division all applicable construction permits.
41. Fire Apparatus Access Roads Required for Buildings and Facilities: (As noted on Sheet A005) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1]. A 20' wide clear path is designated as fire lane from Gilman to the building, to comply with this section.
42. Fire Lanes Required: (As noted on Sheet A005) The minimum clear width of fire department access roads shall be 20 feet. The minimum outside turning radius is 42 feet for required circulating access roadways. Fire apparatus access roads shall be designated and marked as a fire lane as set forth in Section 22500.1 of the California Vehicle Code and SCCFD A-6 Standard. Please check standard for signage wording requirement.
43. Address identification: (As noted on Sheet A005) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

44. Construction Site Fire Safety: (As noted on Sheet A000) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
45. No Violation: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch. 1, 105.3.6]



City of Campbell
Location Map
85 Gilman Avenue



SCOPE OF WORK

- TENANT IMPROVEMENT
 - PRIVATE FITNESS GYM/SMALL STUDIO & OFFICE ON THE FIRST FLOOR (INTERIOR ONLY) (M/E P)
 - STORAGE ON THE SECOND FLOOR
 - PARKING RESTRIPPING / PARKING MODIFICATION PERMIT
 - ADA COMPLIANCE UPGRADE
 - ADA PARKING/TRUNCATED DOMES
 - ADA COUNTER
 - ADA BATHROOMS & SHOWER SIGNAGE (BATHROOM & EXIT)
 - ROOF INSULATION
 - STAIRCASE DEMOLITION

PROJECT INFORMATION

PROJECT LOCATION: 85 GILMAN AVE. CAMPBELL, CA 95008
 APN: 412-09-035
 ZONING: P-D (PLANNED DEVELOPMENT)
 GENERAL PLAN: MIXED USE DESIGNATION
 COMMERCIAL/HIGH-MEDIUM DENSITY RESIDENTIAL
 (14-27 UNITS/GR. ACRE)
 LOT SIZE: 0.19 AC (8268.26 SF)
 MAX. F.A.R.: 0.20
 BUILDING LOT COVERAGE: 0.48 (3960 SF)
 LANDSCAPE COVERAGE: 168 SF
 PAVING COVERAGE: 4037 SF
 IMPERVIOUS COVERAGE: 8057 SF
 PERVIOUS COVERAGE: 212 SF
 REQUIRED SETBACKS: N/A

(E) BUILDING FLOOR AREA:
 1ST FLOOR 3000 SF
 2ND FLOOR 600 SF
 TOTAL 4500 SF

(P) BUILDING FLOOR AREA:
 1ST FLOOR 3900 SF
 TOTAL 3900 SF

BUILDING HEIGHT: 22 FT

(E) USE: INDUSTRIAL

(P) USE: STUDIO, SMALL (UP TO 12 PARTICIPANTS)

(P) TENANT'S MAX. OCCUPANCY: 8 ATTENDANTS + 1 TRAINER

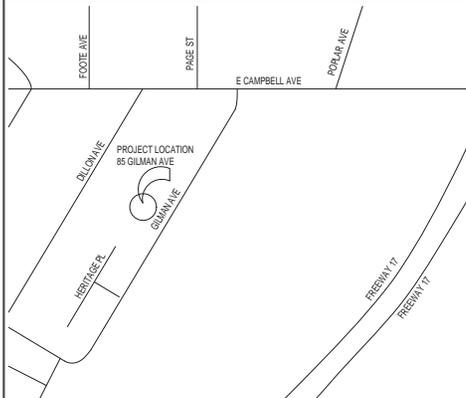
(P) TOTAL PARKING SPACE: 9 (1 ADA PARKING SPACE)

OCCUPANCY: B

CONSTRUCTION TYPE: IIB

FIRE SPRINKLER: NO

VICINITY MAP



SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
A000	Cover Sheet, Site Plan, Proposed
A001	Architectural Notes, Abbreviation & Site Plan, Existing
A002	Adjacent Site Plan
A003	ADA Parking Analysis
A004	Fence & Landscape Plan
A005	Fire Access Analysis
A100	Egress & Occupancy Analysis
A200	Floor Plans, Existing
A201	Floor Plans, Proposed
A300	Elevations
A400	Interior Elevations
A500	Schedule & Finishes
A501	Architectural Signage
A600	Reflected Ceiling Plan

PUBLIC WORKS & SITE PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF LOS ALTOS HILLS.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE CBC. PROVIDE THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
- PER CGSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODE

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF CAMPBELL MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

PROJECT DIRECTORY

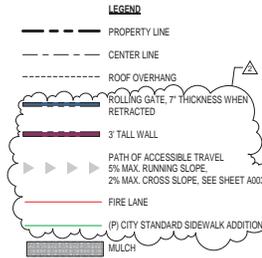
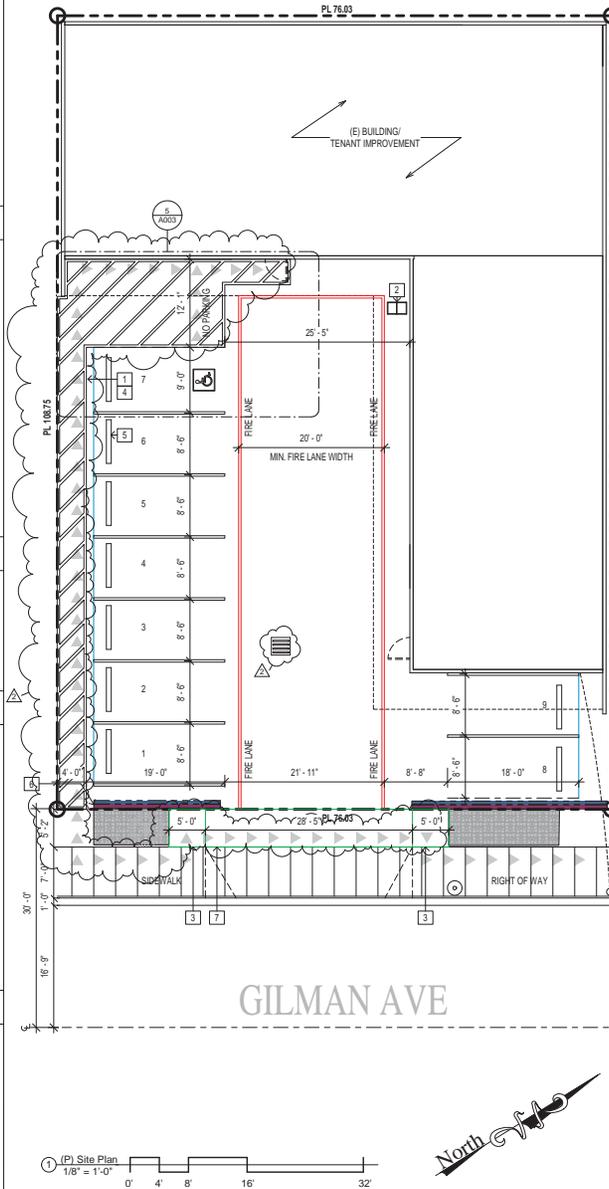
OWNER: ETCHED MEDIA CORPORATION
 85 GILMAN AVE. CAMPBELL, CA 95008
 (408)874-6821, (408)813-7214

ARCHITECT: GKW ARCHITECTS, INC.
 GORDON K. WONG, AIA, LEED GA, CSLB
 710 MCCLINCY LANE SUITE 109, CAMPBELL, CA 95008
 (408)515-2125 | GORDONKWONG@GKWARCHITECTS.COM

ELECTRICAL ENGINEER: MR ENGINEERING
 RAHUL BATHINDA, P.E.
 39210 STATE STREET SUITE 106, FREMONT CA 94538
 P/F (510)509-2362
 WWW.MRENGCON.COM

GENERAL CONTRACTOR: ROBERTO FLAMENCO
 4375 HAMILTON AVE, SAN JOSE, CA 95130
 (83)566-9040
 ROBEFLAMENCO@YAHOO.COM

3D VIEW



- ### (P) KEYNOTES
- ADA PARKING SIGNAGE, SEE SHEET A003/4.
 - BIKE RACK, SEE SHEET A003/8.
 - (P) CITY STANDARD SIDEWALK ADDITION, SEE SHEET A003/2.
 - UNAUTHORIZED SIGN, SEE SHEET A003/6.
 - WHEEL STOPS
 - (P) PART OF 3 TALL WALL TO BE DEMOLISHED
 - (E) ASPHALT TO BE REPLACED WITH CITY STANDARD SIDEWALK, SEE SHEET A003/2.

PARKING ANALYSIS
 PER 21.28.040, 1 PARKING SPACE IS REQUIRED PER 250 SF GROSS BUILDING AREA.
 3900 SQ. FT. / 250 = 15.6 (1ST FLOOR)
 PARKING PROVIDED 16
 PARKING PROPOSED 9
 SEE PARKING A003_FINDING/CON_A004
 APPLICATION FOR CHANGE OF LAND USE PERMIT

ACCESSIBLE PARKING SPACES

TOTAL # OF PARKING SPACES PROVIDED	MIN. # OF ACCESSIBLE SPACES REQUIRED
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4

- ### NOTES
- THE TENANT SPACE IS FULLY COMPLIANT WITH CURRENT CALIFORNIA ACCESSIBILITY REQUIREMENTS.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.
 - ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION S13.
 - CONTRACTOR TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO ANY WORK IN CITY OF CAMPBELL RIGHT-OF-WAY.
 - CROSS SLOPE FOR THE SIDEWALK SHOULD BE 2% OR LESS.
 - DOWEL THE NEW SIDEWALK TO THE EXISTING SIDEWALK AND DRIVEWAY.

HOURS OF OPERATIONS
 MONDAY-FRIDAY 6 AM - 10 AM & 4:30 PM - 7:30 PM
 SATURDAY 8 AM - 10AM
 SUNDAY CLOSED

CLASS TIME INTERVALS:
 TYPICAL CLASS LENGTH 45 MINUTES - 1 HOUR
 SPECIALTY CLASSES 120 MINUTES
 CLASS INTERVALS 15 MINUTES - 30 MINUTES



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 GORDONKWONG@GKWARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Project Schedule Revision
 Rev # Date Description
 1 08/14/18 Planning & Design
 2 09/03/18 Public Work
 3 09/03/18 Planning & Design
 4 09/03/18 Public Work

Rev #	Date	Description

Cover Sheet, Site Plan, Proposed

A000
 SCALE 1/8" = 1'-0"
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ABBREVIATIONS

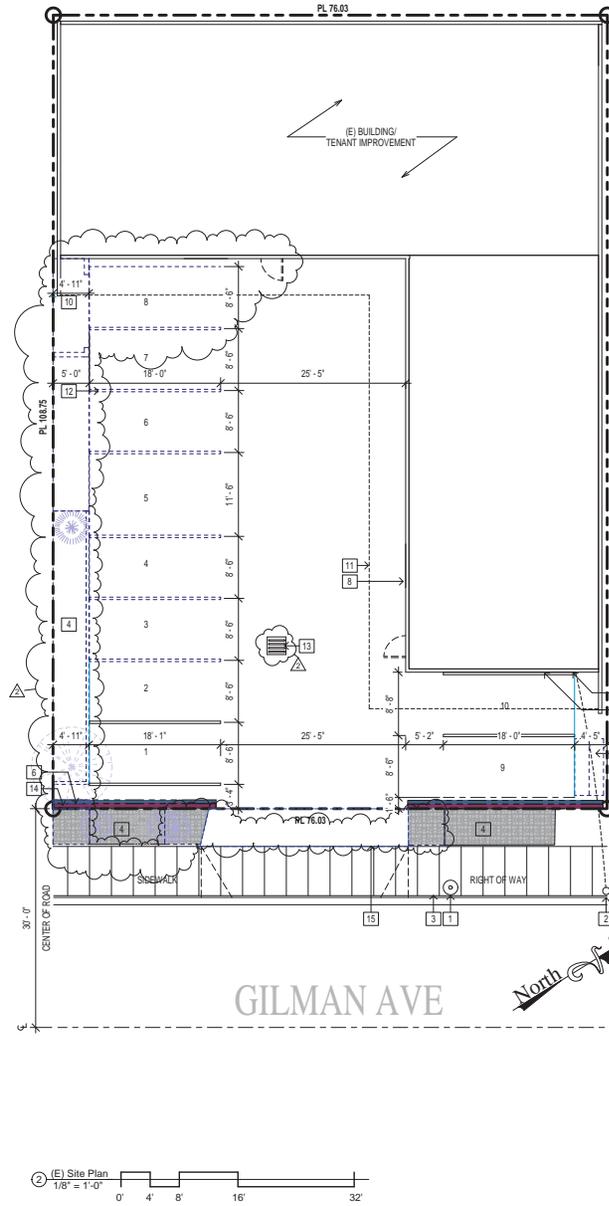
A	G	N	S				
ABV	ABOVE	CALV	GALVANIZED	(N)	NEW	SCD	SEE CIVIL DRAWINGS
AC	ASPHALT CONCRETE	GC	GENERAL CONTRACTOR	N	NORTH	SCHD	SCHEDULE
AD	AREA DRAIN	GL	GLASS	NIC	NORTH IN CONTRACT	SD	STORM DRAIN
ADDL	ADDITION	GND	GROUND	NOM	NOMINAL	SECT	SECTION
AFF	ABOVE FINISH FLOOR	GWB	GYSUM WALL BOARD	NP	NO PARKING	SEE	SEE ELECTRICAL DRAWINGS
ASPH	ASPHALT	GYP	GYSUM	NR	NON-RATED	SF	SQUARE FOOT OR FEET
B	H	NTS	NOT TO SCALE	SHR	SHOWER	SHT	SHEET
BLDG	BUILDING	SHTG	SHEATHING	SI	SIMILAR	SHTG	SHEATHING
BM	BEAM	SIM	SIMILAR	SJ	SEISMIC JOINT	SIM	SIMILAR
BUR	BUILT-UP ROOF	SJ	SEISMIC JOINT	SL	SEALANT	SJ	SEISMIC JOINT
BR	BEDROOM	SL	SEALANT	SLD	SEE LANDSCAPE DRAWINGS	SLD	SEE LANDSCAPE DRAWINGS
BW	BOTTOM OF WALL	SMD	OWNER FURNISHED CONTRACTOR INSTALLED	SLE	SHEET METAL	SMD	SEE MECHANICAL DRAWINGS
C	I	SOF	SOFIT	SMT	SEE MECHANICAL DRAWINGS	SOF	SOFIT
CAB	CABINET	SOG	SLAB ON GRADE	SMT	SEE MECHANICAL DRAWINGS	SOG	SLAB ON GRADE
CB	CATCH BASIN	SPD	SEE PLUMBING DRAWINGS	SPD	SEE PLUMBING DRAWINGS	SPD	SEE PLUMBING DRAWINGS
CEM	CEMENT	SPECS	SPECIFICATION	SQ	SQUARE	SPECS	SPECIFICATION
CF	CUBIC FEET	SQ	SQUARE	SS	SANITARY SEWER	SQ	SQUARE
CJ	CONTROL JOINT	SS	SANITARY SEWER	SSD	SEE STRUCTURAL DRAWINGS	SS	SANITARY SEWER
CL	CLOSET	STD	STANDARD	STD	STANDARD	SSD	SEE STRUCTURAL DRAWINGS
CLG	CENTERLINE	STL	STEEL	STL	STEEL	STD	STANDARD
CLG	CEILING	STR	STORAGE	STR	STRUCTURAL	STL	STEEL
CMCK	CONCRETE	STR	STRUCTURAL	STR	STRUCTURAL	STR	STRUCTURAL
CPT	CARPET	T	TOP	T	TOP	STR	STRUCTURAL
DR	DRAIN	TC	TOP OF CURB	TC	TOP OF CURB	T	TOP
E	K	TOC	TOP OF CONCRETE	TOC	TOP OF CONCRETE	TC	TOP OF CURB
(E)	EXISTING	TOP	TOP OF PAVING	TOP	TOP OF PAVING	TOC	TOP OF CONCRETE
ELEC	ELECTRICAL	TOS	TOP OF STEEL	TOS	TOP OF STEEL	TOP	TOP OF PAVING
EP	ELECTRICAL PANEL	TRD	TREAD	TRD	TREAD	TOS	TOP OF STEEL
EXT	EXTERIOR	TW	TOP OF WALL	TW	TOP OF WALL	TRD	TREAD
F	M	UTIL	UTILITIES	UTIL	UTILITIES	TW	TOP OF WALL
FDN	FOUNDATION	VERT	VERTICAL	VERT	VERTICAL	UTIL	UTILITIES
FH	FIRE HYDRANT	VTR	VENT THROUGH ROOF	VTR	VENT THROUGH ROOF	VERT	VERTICAL
FIN	FINISH	W	WEST OR WIDTH	W	WEST OR WIDTH	VTR	VENT THROUGH ROOF
FF	FINISH FLOOR	WC	WATER CLOSET	WC	WATER CLOSET	W	WEST OR WIDTH
FL	FLOW LINE	WD	WOOD	WD	WOOD	WC	WATER CLOSET
FLJLR	FLUORESCENT	WIDW	WINDOW	WIDW	WINDOW	WD	WOOD
FOC	FACE OF CONCRETE	WIO	WITHOUT	WIO	WITHOUT	WIDW	WINDOW
FOF	FACE OF FINISH	WP	WORKING POINT	WP	WORKING POINT	WIO	WITHOUT
FOS	FACE OF STUD	WPT	WORKING POINT	WPT	WORKING POINT	WP	WORKING POINT
FR	FIRE RATED	WR	WATER RESISTANT	WR	WATER RESISTANT	WPT	WORKING POINT
FS	FLOOR SINK					WR	WATER RESISTANT
FSL	FIRE SPRINKLER						
FTG	FOOTING						

GRAPHIC SYMBOLS

	CONCRETE PAD		BUILDING SECTION		DATUM REFERENCE
	DETAIL REFERENCE		REVISION		WINDOW TYPE
	INTERIOR ELEVATION		WALL TYPE		KEY NOTE

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GUY ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.



- LEGEND**
- PROPERTY LINE
 - - - CENTER LINE
 - - - ROOF OVERHANG
 - GATE
 - 3 TALL WALL
 - MULCH
- KEYNOTES**
- STREET LIGHT
 - ELECTRICAL POLE
 - CLEAN OUT
 - PLANTING
 - ELECTRICAL PANEL
 - IRRIGATION VALVES TO BE REMOVED
 - INGERSOLL COMPRESSOR TO BE REMOVED
 - MAILBOX
 - POGE METER
 - TRASH ENCLOSURE TO BE REMOVED
 - ROOF OVERHANG
 - PARKING SPACES TO BE RESTRICTED
 - DRAIN
 - PART OF 3 TALL WALL TO BE DEMOLISHED
 - (E) ASPHALT TO BE REPLACED WITH CITY STANDARD SIDEWALK SEE SHEET A0032
- GENERAL NOTES**
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
 - ALL ELEMENTS IN BLACK ARE EXISTING AND TO REMAIN
 - ALL ELEMENTS IN DASHED BLUE ARE EXISTING AND TO BE DEMOLISHED



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 85 GILMAN AVE., SUITE 100
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 GUYARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

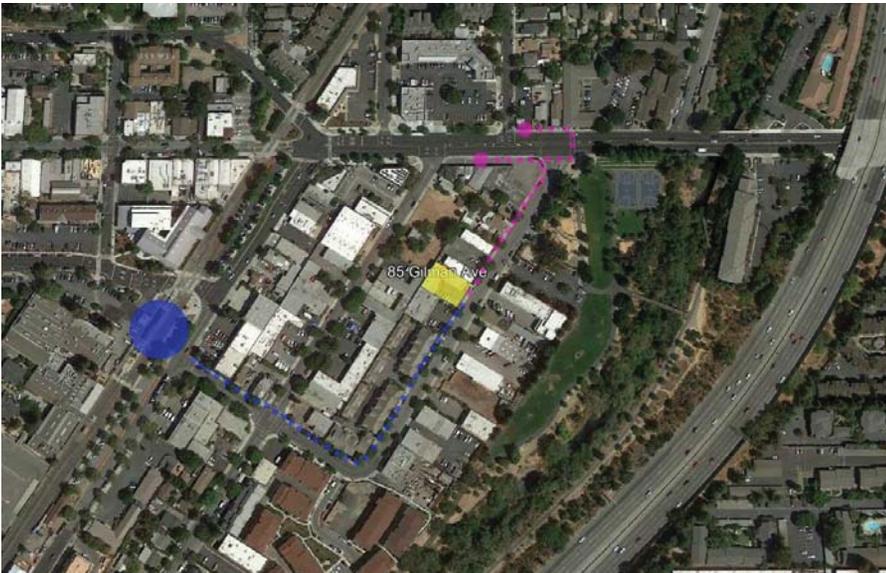
Rev	Date	Description
1	03/03/20	Permitting & Public Work
2	03/03/20	Permitting & Public Work

Architectural Notes
 Abbreviation & Site Plan, Existing

A001
 SCALE 1/8" = 1'-0"
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PHOTOS OF SITE, EXISTING

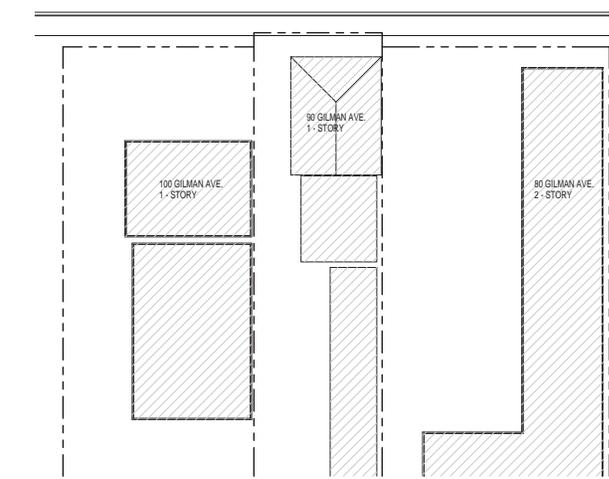
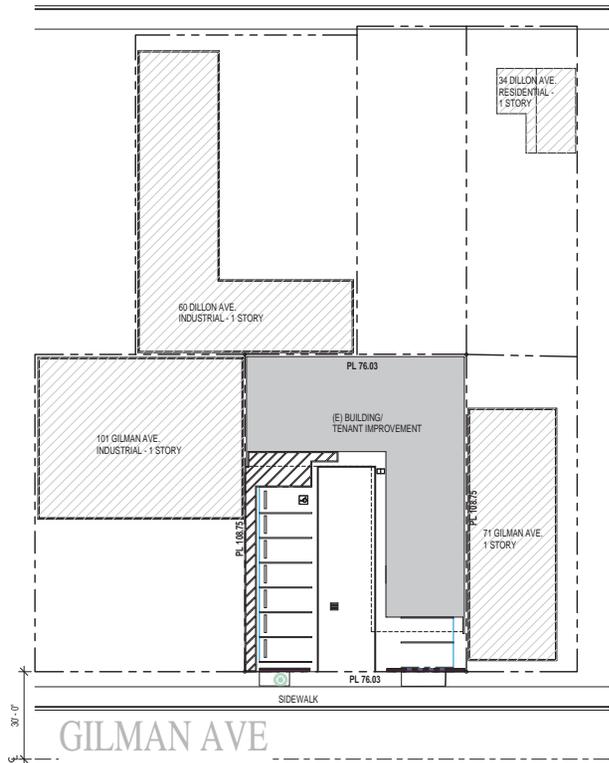


PARKING MODIFICATION ENDINGS

FROM DOWNTOWN CAMPBELL LRT STATION 6 MIN WALKING, 0.3 MILES (1,584 FEET)
 FROM CAMPBELL & GILMAN BUS STOPS 2 MIN WALKING, 0.1 MILES (528 FEET)
 PROVIDED BIKE RACKS 1 (6 BICYCLE PARKING)
 MAX # OF PARTICIPANTS 8 ATHLETES + 1 TRAINER
 # OF (P) PARKING 9 (1 ADA PARKING INCLUDED)

LEGEND

- BUS STOP
- LIGHT RAIL STATION
- PROJECT LOCATION



- LEGEND**
- PROPERTY LINE
 - CENTER LINE
 - SCOPE OF WORK, TENANT IMPROVEMENT
 - ADJACENT BLDG, NOT PART OF SCOPE



① Adjacent Site Plan
1" = 20'-0"

Adjacent Site Plan



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 1007 FERRAN AVENUE UNIT A
 CAMPBELL, CA 95008 408 351-3335
 GORDONWONGARCHITECTS.COM



85 Gilman Ave,
 CAMPBELL, CA 95008
 Tenant Improvement

Rev #	Date	Description
1	2019.02.12	Planning & Public Work
2	2020.03.02	Planning & Public Work

Adjacent Site Plan

A002

SCALE 1/8" = 1'-0"

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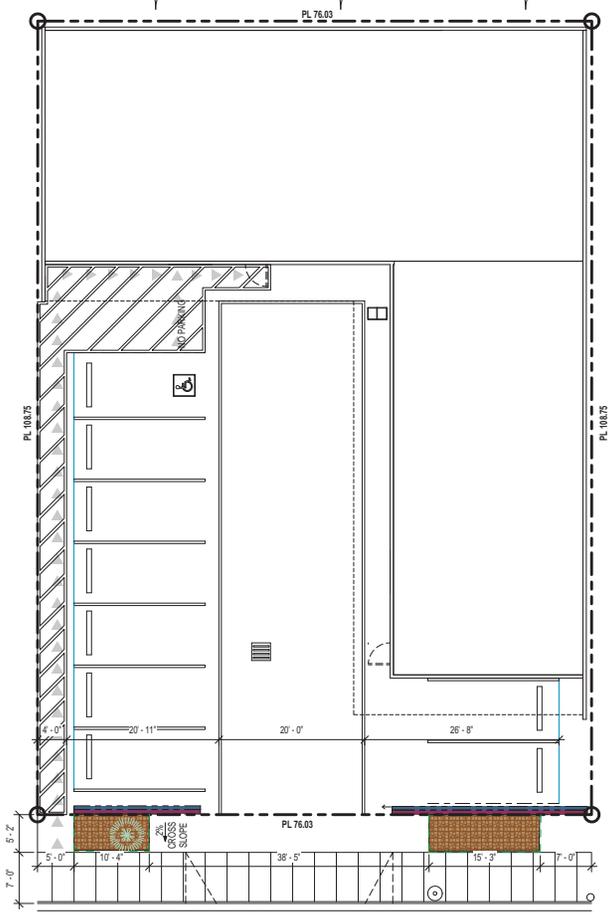
GORDON K WONG, ARCHT/ENR, LIC# 44445
 10001 GILMAN AVE, SUITE 100
 CAMPBELL, CA 95008 408.351.3335
 GORDONKWONGARCHITECTS.COM



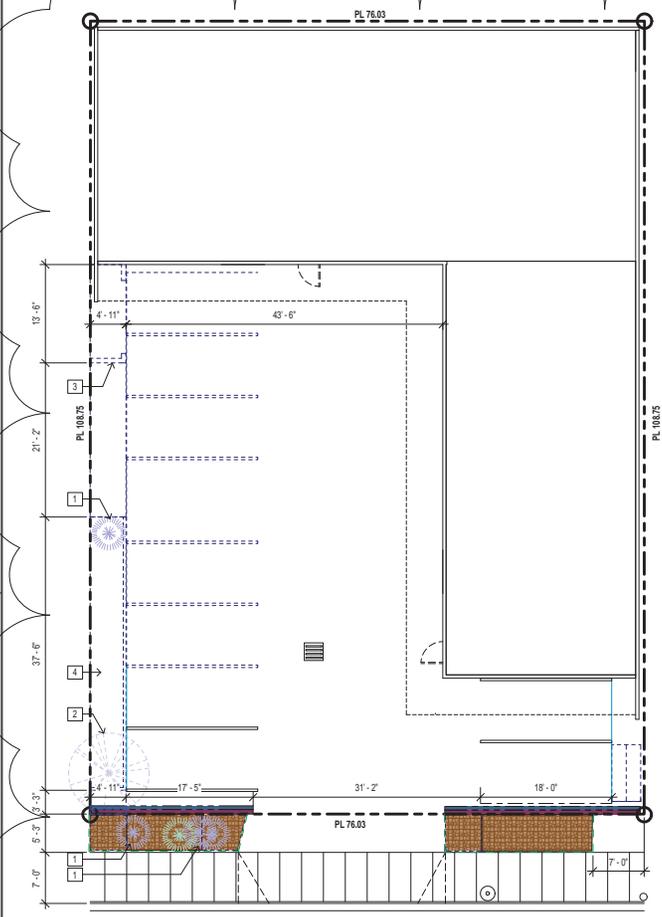
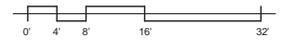
85 Gilman Ave,
 CAMPBELL, CA 95008
 Tenant Improvement

Fence & Landscape Plan

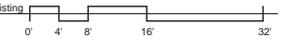
- (E) KEYNOTES**
- 1 SHRUBS
 - 2 TREE (7" DIAMETER) TO BE REMOVED
 - 3 TRASH ENCLOSURE WALL TO BE DEMOLISHED
 - 4 PLANTING
- LEGEND**
- PROPERTY LINE
 - - - ROOF OVERHANG
 - (P) ROLLING GATE & FENCE
 - ▬ 3' TALL WALL, CONCRETE BLOCK
 - ▬ 1' 6" TALL FENCE
 - MULCH
 - EARTH
 - ▶▶▶ PATH OF ACCESSIBLE TRAVE
 - (E) TREE, LAUREL 7" DIAMETER
 - (E) BUSH TO BE REMOVED
 - (E) BUSH



1 Landscape Plan, Proposed
 1/8" = 1'-0"



2 Landscape Plan, Existing
 1/8" = 1'-0"



(E) UTILITY SCREENING



(E) TRASH ENCLOSURE FROM STREET PERSPECTIVE



(E) TRASH ENCLOSURE

Rev #	Date	Description
1	2020.02.02	Final
2	2020.03.02	Public Work
3	2020.03.02	Public Work

Fence & Landscape Plan

A004

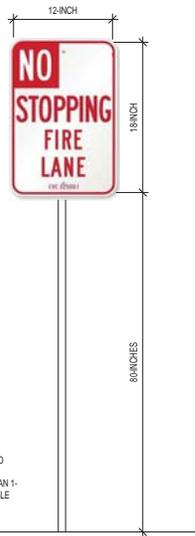
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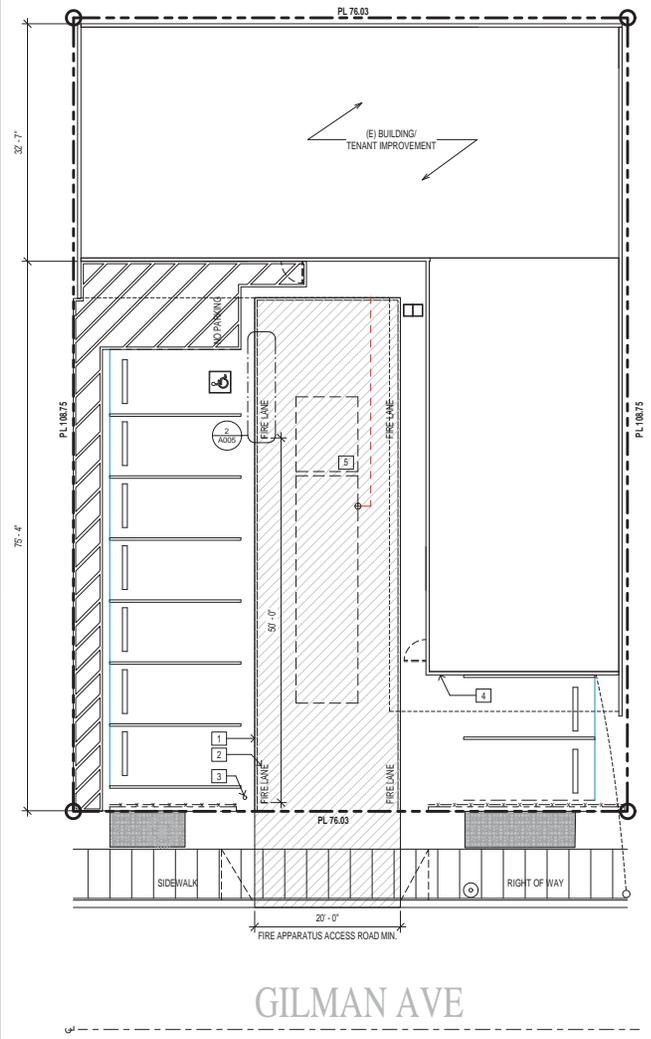
2 Callout of Fire Lane
1/2" = 1'-0"

FIRE DEPARTMENT SANTA CLARA COUNTY
SPEC NO. A.6: FIRE LANE MARKING



FIRE DEPARTMENT SANTA CLARA COUNTY SPEC NO. A.6:
SIGNAGE: 2. SIGNS SHALL READ: "NO STOPPING-FIRE LANE 22500.1 CIV." LETTERING SHALL BE NOT LESS THAN 1-INCH IN HEIGHT AND CLEARLY VISIBLE FROM A VEHICLE.

3 FIRE LANE SIGNAGE
3/4" = 1'-0"



1 Fire Access Analysis
1/8" = 1'-0"

- LEGEND**
- PROPERTY LINE
 - CENTER LINE
 - ROOF OVERHANG
 - x-x-x-x- ROLLING GATE
 - 3 TALL WALL
 - FIRE HOSE
 - ▨ FIRE LANE

- KEYNOTES**
- 1 FIRE LANE OUTLINE
 - 2 "FIRE LANE" MARKING
 - 3 SIGNAGE, SEE A005/3
 - 4 ADDRESS NUMBER
 - 5 FIRE TRUCK



GORDON & WONG, ARCHITECTS, INC. 14444
DRAFT FIRM: MARIANNE HENRY A
CAMPBELL, CA 95008 408 351-3135
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GORDONWONGARCHITECTS.COM



Fire Access Analysis

85 Gilman Ave,
CAMPBELL, CA 95008
Tenant Improvement

Project Schedule Revision

Rev #	Date	Description
1	2019.12.12	Planning & Public Work
2	2020.03.03	Planning & Public Work

Fire Access Analysis

A005

SCALE 1/8" = 1'-0"

3/6/2020 1:47:30 PM



GORDON K WONG, ARCHT/ECT, LIC# 44468
 1007 FERRAN AVENUE UNIT A
 CAMPBELL, CA 95008 408 351-3335
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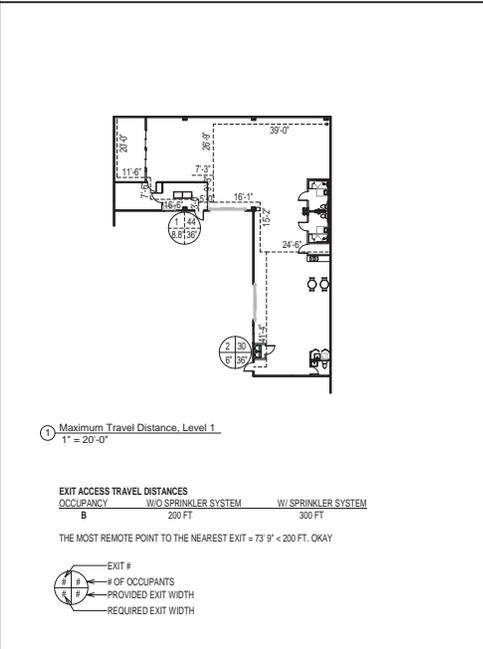
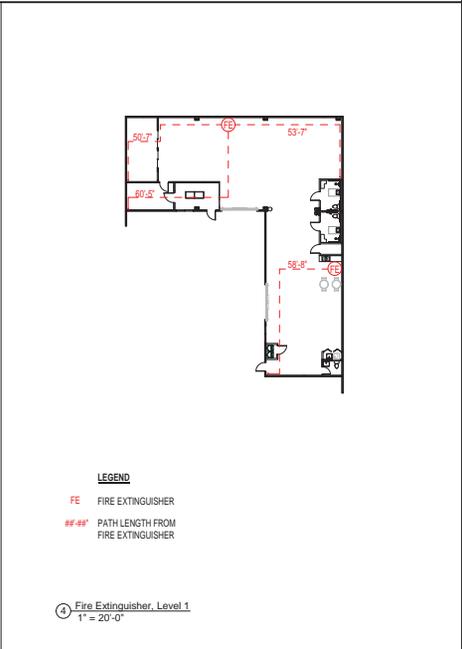
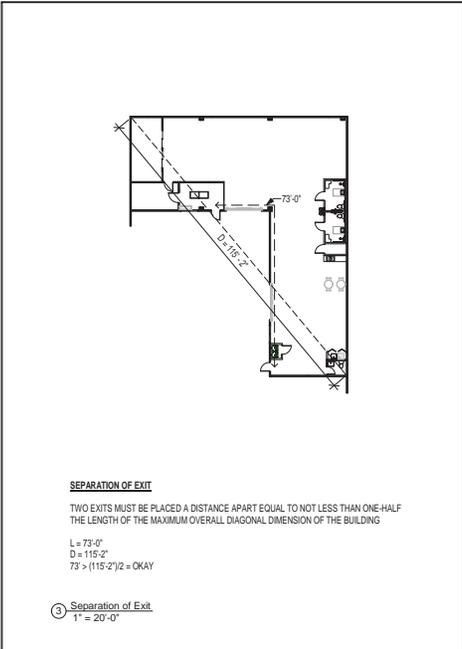
85 Gilman Ave,
 CAMPBELL, CA 95008
 Tenant Improvement

Rev #	Date	Description
1	2019.12.12	Planning & Public Work
2	2020.03.07	Planning & Public Work

Egress & Occupancy Analysis

A100
 SCALE 1/8" = 1'-0"
 3/6/2020 1:47:34 PM

Egress & Occupancy Analysis



PER CBC SECTION 1005.3.2. MEAN OF EGRESS OTHER THAN STAIRWAYS:

EXIT #1
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'
 41 X 2' = 8.2'
 EXIT PROVIDED 36" > 8.2' OKAY

EXIT #2
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'
 30 X 2' = 6'
 EXIT PROVIDED 36" > 6' OKAY

PER CAMPBELL MUNICIPAL CODE
 USE: STUDIO, SMALL
 OCCUPANTS: UP TO 12 PARTICIPANTS

PER CBC SECTION 1005 - OCCUPANCY CLASSIFICATION AND EXITING OCCUPANT LOAD FACTOR (OLF)

FUNCTION OF SPACE	OLF (SP/PERSON)
BUSINESS AREAS	100 GROSS
EXERCISE ROOMS	50 GROSS
STORAGE	300 GROSS

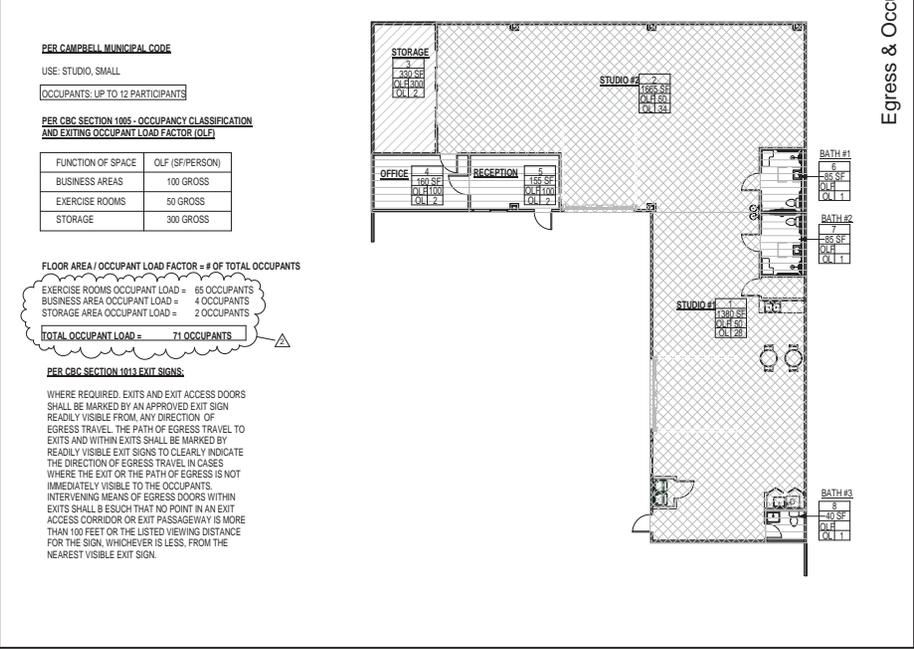
FLOOR AREA / OCCUPANT LOAD FACTOR = # OF TOTAL OCCUPANTS

EXERCISE ROOMS OCCUPANT LOAD = 65 OCCUPANTS
 BUSINESS AREA OCCUPANT LOAD = 4 OCCUPANTS
 STORAGE AREA OCCUPANT LOAD = 2 OCCUPANTS

TOTAL OCCUPANT LOAD = 71 OCCUPANTS

PER CBC SECTION 1013 EXIT SIGNS:

WHERE REQUIRED, EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.





GORDON K WONG, ARCHITECT, LIC# 141445
 10017 FERNAN MUNIZ STREET, A
 CAMPBELL, CA 95008, 408-351-5135
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 GORDONWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Rev	Date	Description
1	2019.12.15	Final
2	2020.03.02	Public Work
3	2020.03.02	Public Work

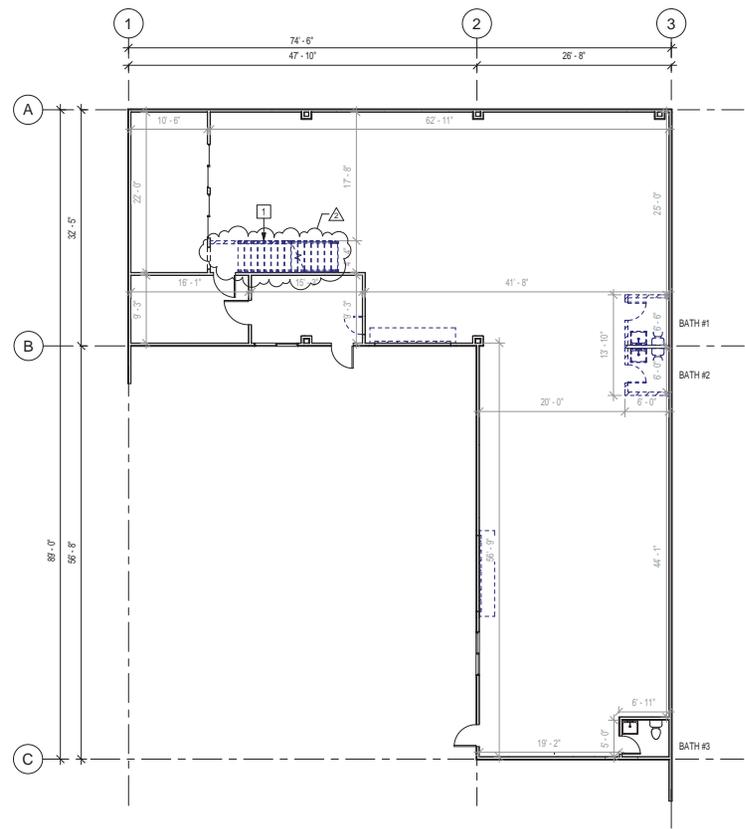
Floor Plans, Existing

A200

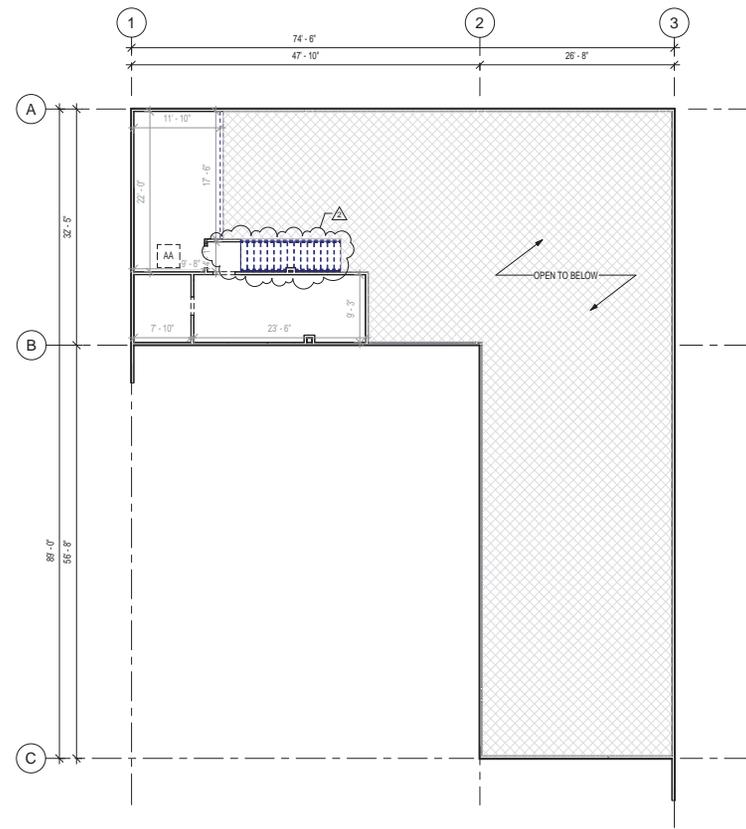
SCALE 1/8" = 1'-0"

3/6/2020 1:47:36 PM

Floor Plans, Existing



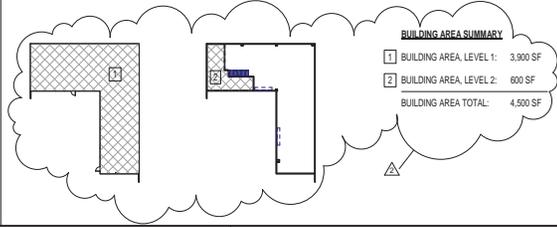
① (E) Floor Plan, Level 1
 1/8" = 1'-0"



② (E) Floor Plan, 2nd Level
 1/8" = 1'-0"

- LEGEND**
- (E) WALL TO BE REMOVED
 - (E) WALL TO REMAIN
 - (E) DOORS TO BE REMOVED
 - (E) DOORS TO BE REMAIN
 - (E) ATTIC ACCESS

- GENERAL NOTES**
1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
 2. ALL ELEMENTS IN BLACK ARE EXISTING AND TO REMAIN
 3. ALL ELEMENTS IN DASHED BLUE ARE EXISTING AND TO BE DEMOLISHED
- KEYNOTE**
- STAIRS TO BE DEMOLISHED.





GORDON K WONG, ARCHITECT, LIC# 41445
 2007 FERRIS AVENUE, SUITE 100
 CAMPBELL, CA 95008 408-351-3135
 GORDONWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Floor Plans, Proposed

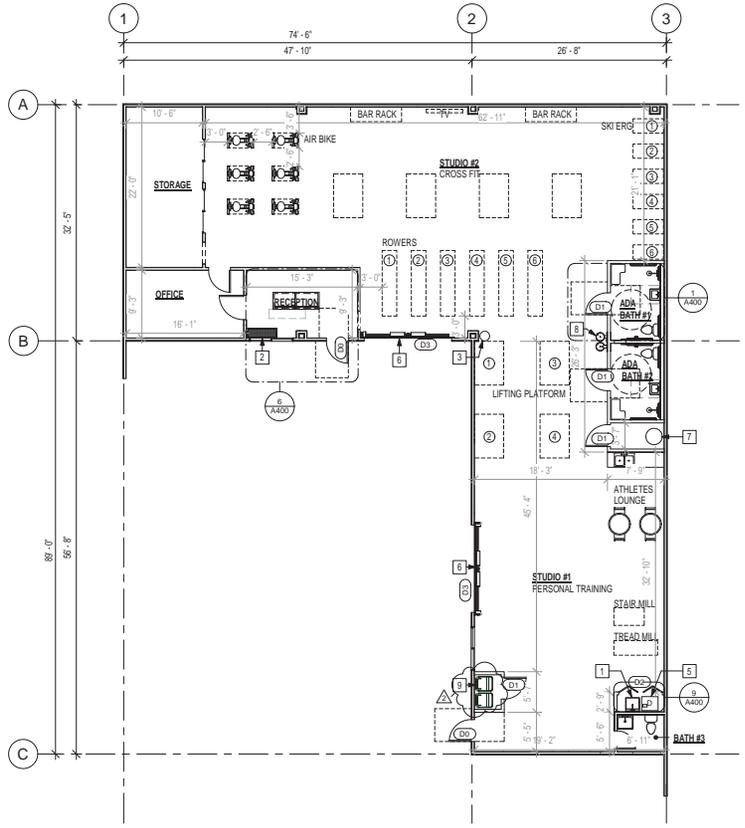
Rev #	Date	Description
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2	09/11/20	Final
3	09/11/20	Final
4	09/11/20	Final
5	09/11/20	Final
6	09/11/20	Final
7	09/11/20	Final
8	09/11/20	Final
9	09/11/20	Final
10	09/11/20	Final

Floor Plans, Proposed

A201

SCALE 1/8" = 1'-0"

3/6/2020 1:47:39 PM

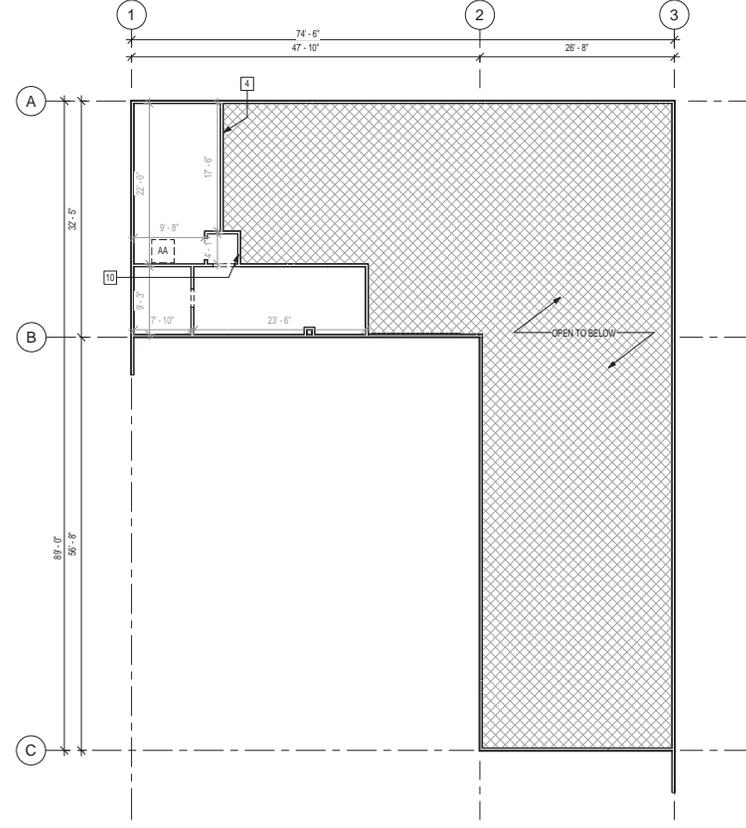


1 (P) Floor Plan, Level 1
 1/8" = 1'-0"

LEGEND
 [---] ATTIC ACCESS

- (P) KEY NOTES**
- | | | |
|---|------------------------------|--------------------------------|
| 1 UTILITY SINK | 5 STACKABLE WASHER / DRYER | 9 TRASH ROOM |
| 2 WIRE MESH DISPLAY SHELVING | 6 ALUMINUM FULL-VIEW DOOR | 10 WALL TO CLOSE THE 2ND FLOOR |
| 3 CENTRAL VAC | 7 WATER HEATER | |
| 4 CLOSING OPENING WITH FULL HEIGHT WALL | 8 HIGH-LOW DRINKING FOUNTAIN | |

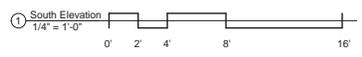
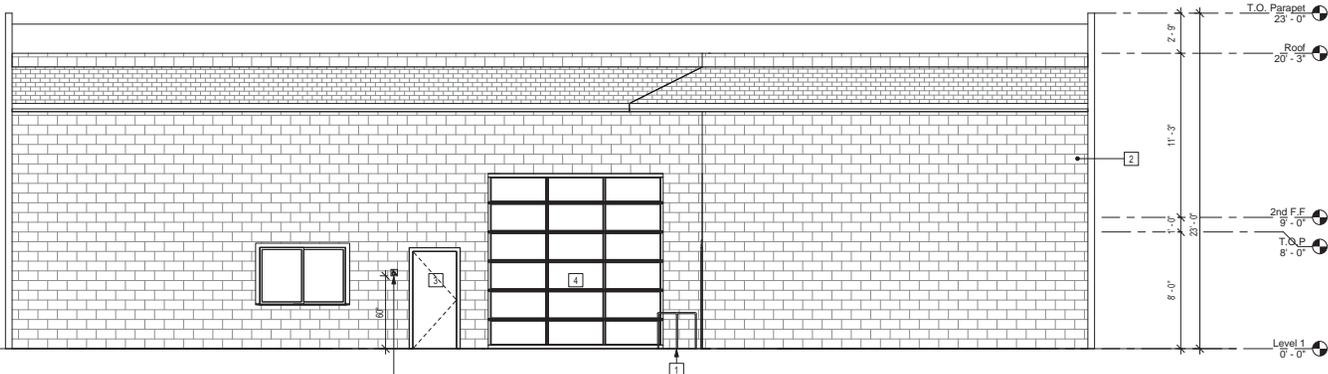
Door Schedule					
Type Mark	Count	Comments	Height	Width	Phase Created
D0	2	Single-Flush	6' - 8"	3' - 0"	Existing
D1	4	Single-Flush	6' - 8"	3' - 0"	New Construction
D2	1	Bifold	6' - 8"	6' - 0"	New Construction
D3	2	Full-View Door	12' - 0"	12' - 0"	New Construction



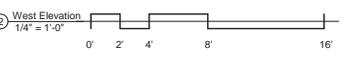
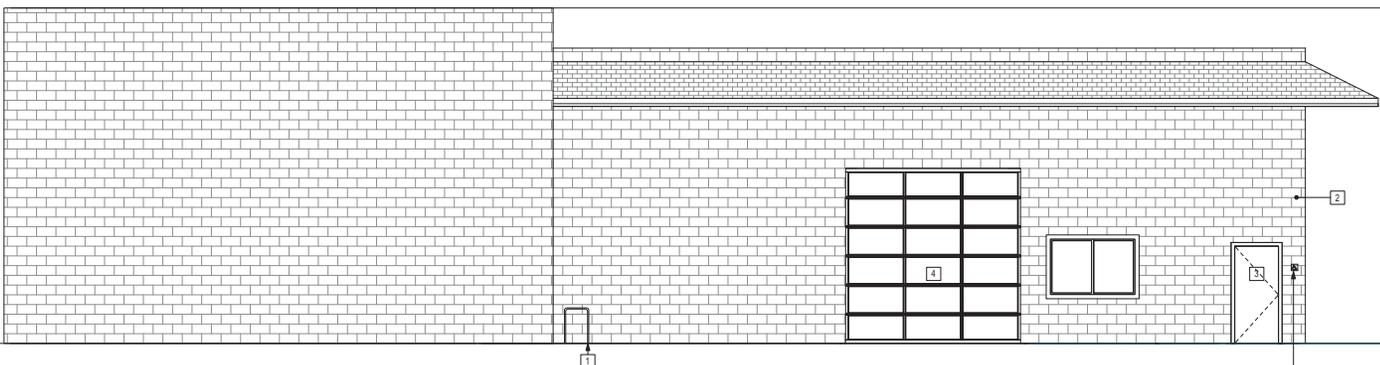
2 (P) Floor Plan, 2nd Level
 1/8" = 1'-0"

FLOOR PLAN NOTES

- EXIT DOORS SHALL BE EQUIPPED WITH A SINGLE OPERATION LATCH AND SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR A SPECIAL KNOWLEDGE OR EFFORT. SEE A200 DOOR SCHEDULE.
- THE MAIN EXTERIOR DOOR IS EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE. THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE. SEE SHEET A200 DETAIL A FOR DOOR SIGN. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICE FOR DUE CAUSE.
- ALL PORTIONS OF THE BUILDING SHALL BE PROVIDED WITH FIRE EXTINGUISHERS OF SIZE AND WITHIN THE TRAVEL DISTANCES REQUIRED BY THE CFC. AT A MINIMUM, PROVIDE SIZE 2A-20BC FIRE EXTINGUISHER IN ORDINARY HAZARD AREA LOCATED AT 50 FEET TRAVEL DISTANCE TO ANY POINT. SIZE 2A-18C FOR THE LIGHT HAZARD COMMON AREAS LOCATED AT 75 FEET TRAVEL DISTANCE TO ANY POINT OF THE BUILDING. 75 FEET TRAVEL DISTANCE TO FIRE EXTINGUISHER CABINETS MUST BE MEASURED FROM THE MOST REMOTE ROOM.
- TEMPORARY FIRE EXTINGUISHERS SHALL BE PROVIDED DURING CONSTRUCTION.
- THE THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCE DOORS HAS A MAXIMUM HEIGHT OF 1/2".
- THE MAXIMUM DOOR OPENING EFFORTS IS 5 LBS. FOR EXTERIOR AND INTERIOR DOORS.
- IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- ALL DOORS ARE EQUIPPED WITH SINGLE EFFORT, NON-GRASP HARDWARE ((E, LEVER) CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR.



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT BUILDING ENTRANCES MOUNTED ON THE WALL ADJACENT TO ENTRY DOOR AT 5 FEET ABOVE FINISH FLOOR PER 119-703.7. SEE SIGN 44501



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT BUILDING ENTRANCES MOUNTED ON THE WALL ADJACENT TO ENTRY DOOR AT 5 FEET ABOVE FINISH FLOOR PER 119-703.7. SEE SIGN 44501

CLOREY COMMERCIAL - MODELS 902, 903
architectural series

ALUMINUM FULL-VIEW DOORS

Cloray Aluminum Full-View Doors offer designers the flexibility of working within a budget while maintaining the appearance of brick. A wide selection of panels and custom glazing options make a bold statement in retail and other environments.

- 2 1/2" glazing depth construction, 100% 70 mil-thick aluminum alloy with integral weathering for long-term durability.
- Excludes support and construction help used for the entrance and walls to meet accessibility.
- Tongue and groove weathering rail.
- Available in a wide variety of powder-coated and anodized finish colors.
- Heavy glazing options available, including Thermaglass, Low-E glass and polycarbonate panels in multiple colors.
- Inset 1000 Series 2" x 1 1/2" top-on-center panel glazing with bonded glazing system. Inset 1000 Series 1000 construction and bonded-in-place glazing.

Image approved for illustration

*OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT



*PROPOSED COLOR
CHOCOLATE (PAINTED)

KEYNOTES

- 1 (P) BIKE RACK, SEE SHEET A003.9.
- 2 (E) CMU WALL
- 3 (E) ENTRANCE
- 4 (P) ALUMINUM FULL-VIEW DOORS

Elevations



GORDON K WONG, ARCHITECT, LIC# 14445
DRAFTSMAN, MINIMUM DENSITY A
CAMPBELL, CA 95008, 408.351.3135
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GORDONWONGARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

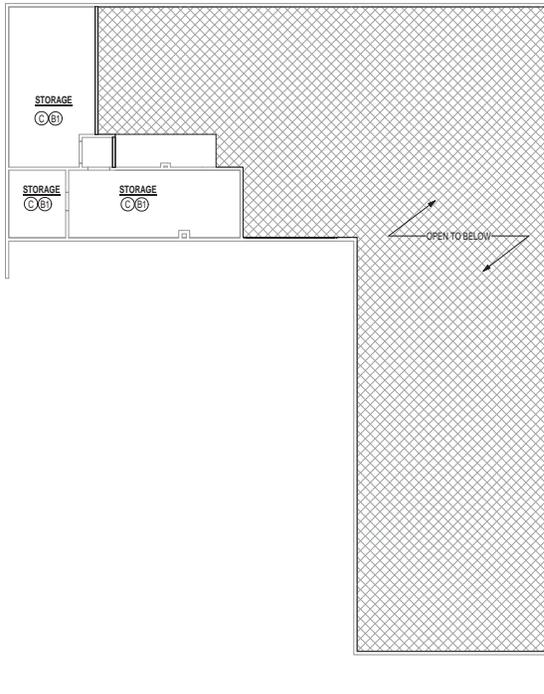
Rev #	Date	Description
1	2019.02.12	Final
2	2020.03.02	Final

Elevations

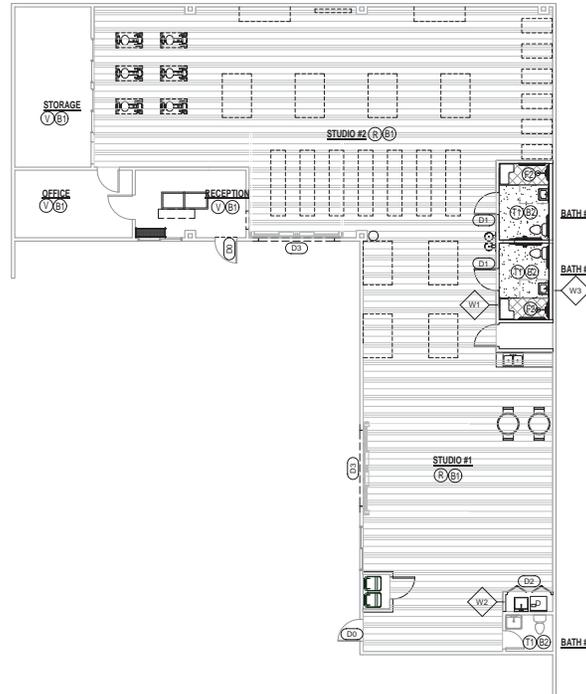
A300

SCALE 1/8" = 1'-0"

3/6/2020 1:47:40 PM



② Interior Finished, Level 2
1/8" = 1'-0"



① Interior Finishes, Level 1
1/8" = 1'-0"

FINISH SCHEDULE

		RECEPTION	OFFICE	STORAGE	STUDIO	BATHROOM	SHOWER
WALLS	P 1	GWB PAINTED	X	X	X	X	X
	P 2	GWB PAINTED					
	T	PORCELAIN TILE					
FLOORING	F1	FIBERGLASS REINFORCED PINE	X	X	X	X	X
	V	WHITE VCT TILE	X	X	X	X	X
	T1	PORCELAIN TILE					
BASE	F2	FIBERGLASS					
	R	RUBBER MAT					
	C	CARPET					
CEILING	B1	RUBBER BASE					
	B 2	TILE 3/8" COVE					
	C1	SMOOTH CEILING TILE					
	C2	OPEN					
	C3	GWB PAINTED	X	X	X	X	X

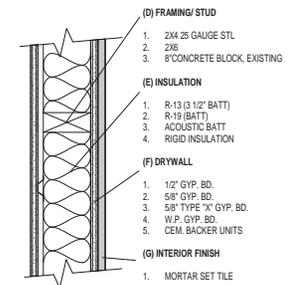
LEGEND

Ⓜ FINISH TYPE

Door Schedule

Type Mark	Count	Comments	Height	Width	Phase Created
D0	2	Single-Flush	6' - 8"	3' - 0"	Existing
D1	4	Single-Flush	6' - 8"	3' - 0"	New Construction
D2	1	Bifold	6' - 8"	6' - 0"	New Construction
D3	2	Full-View Door	12' - 0"	12' - 0"	New Construction

WALL ASSEMBLY SCHEDULE



WALL TYPES: WALL ASSEMBLY:

- Ⓜ1 (F1, D1, E2, F1, G1)
- Ⓜ2 (F1, D1, E2, F1)
- Ⓜ3 (D3, D2, F1, G1)

Schedule & Finishes



GORDON K WONG, ARCHITECT, LIC# 14445
DRAFTSMAN: MINGMIN LIU, LIC# 14445
CAMPBELL, CA 95008 4088 331-3335
CAMPBELL, CA 95008 4088 331-3335
GORDONWONGARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

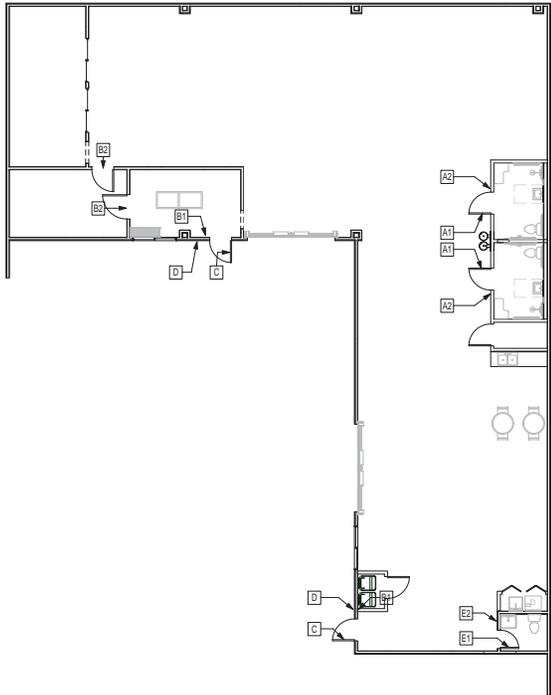
Rev #	Date	Description
1	2019.12.12	Finishing & Public Work
2	2020.03.03	Finishing & Public Work

Schedule & Finishes

A500

SCALE 1/8" = 1'-0"

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8 Sign Location, Proposed
1/8" = 1'-0"

DOOR NOTES:

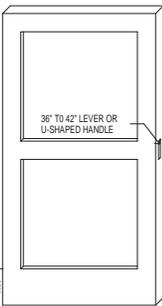
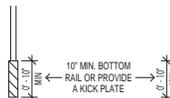
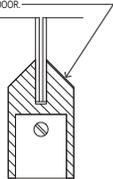
A NARROW FRAME WITH A BEVELED TOP EDGE (30 DEGREE MAXIMUM BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF A GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.

DOOR TYPE:

1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
2. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
4. MOUNTED 36" TO 42"
5. MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.

HARDWARE:

1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
2. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
4. MOUNTED 36" TO 42"
5. MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.



11B-404.2.10. EXCEPTIONS 2

TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SIDE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 INCH (254MM) BOTTOM SMOOTH SURFACE HEIGHT REQUIREMENT.

11B-404.2.8 CLOSING SPEED. DOOR AND GATE CLOSING SPEED SHALL COMPLY WITH SECTION 11B-404.2.8.

11B-404.2.11 DOOR CLOSERS AND GATE CLOSERS. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.

11B-404.2.9 (4) DOOR AND GATE OPENING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWING:
4. EXTERIOR HINGED DOOR: 5 POUNDS (22.2 N) MAXIMUM. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION. (FIRE DOORS MAY HAVE UP TO 15 POUNDS TO ACHIEVE POSITION LATCHING)

9 ADA DOOR
3/4" = 1'-0"

ALL GENDER ADA SYMBOL



A1

DOOR SIGNS SHALL BE CENTERED ON THE DOORS AND MOUNTED AT A HEIGHT OF 60 INCHES ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SYMBOL (CBC SEC. 11B-703.7.2).

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

THE SYMBOL'S COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.

PICTOGRAM SHALL SET WITH A MIN. 6" FIELD HEIGHT



60" MAX. AFF TO THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS
48" MIN. AFF TO THE BASELINE OF THE LOWEST LINE OF THE BRAILLE

BRaille SHALL BE FLUSH LEFT OR CENTERED, AND SHALL BE PLACED TOGETHER BELOW ALL LINES OF TEXT PER: 11B 703.3.2

MIN. 6" MAX. 12" MAX. 12" MAX. 12" MAX.

CORRESPONDING BRAILLE FOR ALL DOOR SIGNS. VISUAL CHARACTERS SHALL COMPLY WITH SECTION 11B-703.5 (CBC SEC. 11B-703.5).

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

RAISED CHARACTER SHALL BE UPPER CASE AND SANS SERIF PER: 11B 703.2.2, 11B 703.3.3.

CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH NON GLARE FINISH PER: 11B 703.5.1

RAISED CHARACTERS SHALL BE MIN. 1/32" ABOVE THEIR BACKGROUND PER: 11B 703.2.1

F.F. OR GROUND

1 Unisex Restroom ADA
12" = 1'-0"

E1



5 Unisex Restroom Sign
12" = 1'-0"

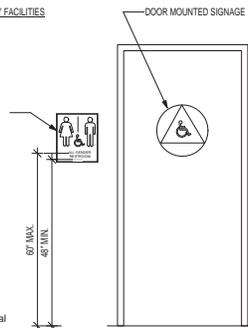
E2



DOOR SIGNAGE FOR SANITARY FACILITIES

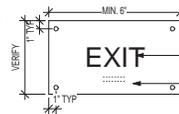
WALL MOUNTED BRAILLE SIGNAGE TO BE MOUNTED ON THE LATCH SIDE OF THE DOOR WITH THE SIGN CENTERED 60" ABOVE THE FLOOR. VERIFY USE AND LOCATION PER SIGNAGE PLAN.

ALL GENDER PICTOGRAM PROVIDED DIRECTLY ABOVE THE RAISED LETTER. 6" MIN. FIELD HEIGHT PER 11B-703.6.1.



6 Restroom Door & Sign, Typical
6" = 1'-0"

B1



2 Tactile Exit Signage
12" = 1'-0"



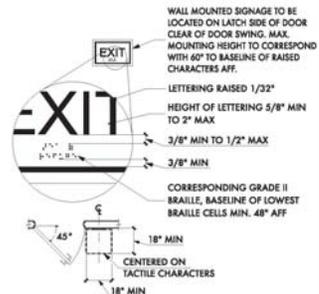
C



3 Door Sign, Locks & Latches
12" = 1'-0"

LOCKS AND LATCHES: (2) A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.

7 Tactile Exit Sign
1/2" = 1'-0"



11B-703.5, 32, 43

D



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) COMPLY WITH CBC FIGURE 11B-703.7.2.1

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

4 International Symbol of Access
12" = 1'-0"

Architectural Signage



GORDON & WONG, ARCHITECTS, INC. LIC# 14445
DRAFTSMAN: MUMUKESH DUBAY
CAMPBELL, CA 95008 408-351-3135
CAMPBELL, CA 95008 408-351-3135
GORDONANDWONGARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

Rev #	Date	Description
1	10/14/20	Final Work
2	10/20/20	Final Work

Architectural Signage

A501

SCALE 1/8" = 1'-0"

3/6/2020 1:47:55 PM



GORDON K WONG, ARCHITECT, LIC# 141445
 10001 FERNANDEZ STREET, SUITE A
 CAMPBELL, CA 95008, 408.351.3135
 GORDONWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Rev #	Date	Description
1	2019.12.12	Final
2	2020.03.02	Final

Reflected Ceiling Plan

A600

SCALE 1/8" = 1'-0"

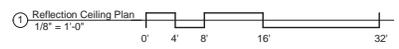
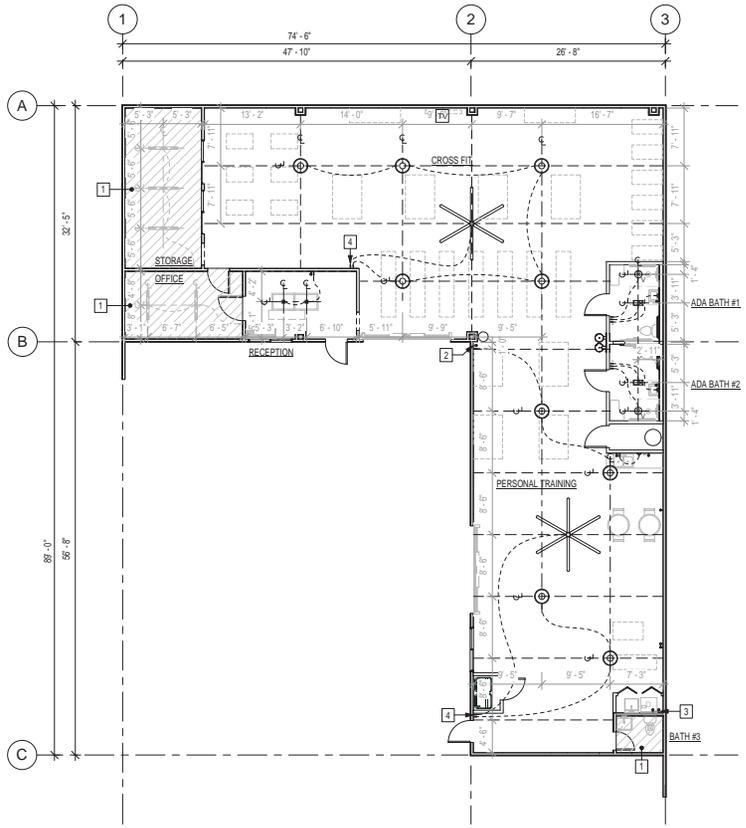
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Reflected Ceiling Plan

- LEGEND**
- 1X4 LED
 - RECESSED, VAPOR PROOF
 - PENDANT LIGHT
 - WALL SCONCE
 - CEILING FAN
 - HIGH BAY LED
 - LIGHT / VENT UNIT
 - VENT
 - SWITCH SINGLE POLE
 - SWITCH MOTION / VACANCY SENSOR
 - TELEVISION DATA CABLE
 - OUTLET, DUPLEX
 - GROUND FAULT
 - 220 OUTLET, 3 PHASE
 - OUTLET, FOOD DISPOSAL
 - OUTLET, REFRIGERATOR
 - BEAM & JOIST OC

- KEY/NOTES**
- 1 EXISTING ELECTRICAL TO REMAIN
 - 2 20 AMP DEDICATED CIRCUIT
 - 3 15 AMP DEDICATED CIRCUITS
 - 4 10 AMP CIRCUITS
- NOTES**
- OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT

LIGHTING FIXTURE SCHEDULE						
DESCRIPTION	MANUFACTURE'S MODEL	LAMPS	VOLT	WATTS	MOUNTING	
10' FAN	BIG ASS FANS ESSENCE	NA			CEILING STRUCTURE MOUNTED	
HIGH BAY LED	LEDONE HIGH LUMEN HIGH BAY	LED	100-277	250	CEILING SUSPENDED	
PENDANT LIGHT	TBD	LED	22	25	CEILING SUSPENDED	
4' LED LINEAR LIGHT	TBD	LED	120 - 277	200	CEILING SUSPENDED	
VAPOR PROOF RECESSED LIGHT	TBD	LED	12	3	RECESSED CAN IN CEILING	
LIGHT / VENT UNIT	TBD	LED	120	33	CEILING MOUNTED	
WALL SCONCE	TBD	LED	100-240	200	WALL MOUNTED	



Application for Change of Land Use Permit

Parking Modification Permit

Project Site Information

85 Gilman Ave. Campbell, CA 95008

APN: 412-09-035

Zoning District: P-D

General Plan Designation: Mixed Use

Commercial/High-Medium Density Residential (14-27 Units/Gr. Acre)

Applicant Information

Name: Gordon K Wong Company: Gkw Architects, INC.

Address: 710 McGlincy Lane Suite 109, Campbell CA 95008

Phone: 408-796-1845

Email: gordonkwong@gkwarchitects.com

Property Owner Information

Name: Elie Antoun Company: Etched Media

Address: 101 Gilman Avenue Campbell CA 95008

Phone: 408-874-6812

Email: elie_antoun@yahoo.com

Application Material – Written Description

Proposed Use: Fitness Gym / Small Studio (Up to 8 participants), Office, and Storage

Type of Building Proposed: Commercial

Size of Building Proposed: 3960 SF

Project Goals: Tenant Improvement

- Fitness Gym/ Small Studio
- Office
- Storage
- Parking Re-striping / Parking Modification Permit
- Roof Insulation
- ADA Compliance
 1. ADA Parking/Truncated Domes
 2. ADA Counter
 3. ADA Bathrooms & Showers
 4. Signage (Bathroom & Exit)



Further information provided by the business owner

Assumptions:

- Current membership is 54 members
- Current class offering is 6 classes/day Monday - Friday and 2 classes on Saturday = 32 classes per week
- Current attendance trend is an average of 3 classes/week/member
- One trainer is assigned to coach per class

Current Metrics:

# of members	Average attendance/week	# of athlete spots/week	# of classes offered/week	# of athletes/class
54	3	162	32	5.06

Based on current membership and attendance trends, we are well below the 8:1 ratio (athletes/trainer) that our parking lot accommodates.

Future Metrics: (Growth of Business)

# of members	Average attendance /week	# of athlete spots/week	# of classes offered/week	# of athletes/class
108	3	324	44	7.36

By adding 2 additional classes per day, membership could double and the 8:1 ratio (athletes/trainer) is still supported.

Comments:

- 1) Current membership is well within the parking allotment for 85 Gilman.
- 2) 85 Gilman parking limitations do not inhibit the growth of the business, allowing the business to expand its current members by 2x with minor additions in classes needed.
- 3) Many of our members live and/or work within .5 - 1.5 miles of 85 Gilman, and have expressed an interest in supporting alternative modes of transportation.
- 4) We cater to a fit clientele who utilize walking, biking and running in their daily lives, therefore it is highly likely several people will arrive to class without a vehicle.
- 5) Public transit is very nearby as is the light rail system allowing many to attend without driving.
- 6) Many homes are located within a very short distance of 85 Gilman, hence this business provides a convenient service to the community of Campbell.

PUBLIC HEARINGS

Commissioner Rivlin advised that he must recuse from Item 1 since his home is located within the minimum 500-foot noticing distance thus preventing his participation.

Chair Krey read Agenda Item No. 1 into the record as follows:

1. **PLN2019-234** Public Hearing to consider the application of Gordon Wong for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio and a Parking Modification Permit to allow a reduction in the number of required parking spaces at **85 Gilman Avenue** in the P-D (Planned Development) Zoning District. Staff is recommending that this item be deemed Categorically Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Stephen Rose, Senior Planner*

Mr. Stephen Rose, Senior Planner, provided the staff report.

Chair Krey asked if there were questions for staff.

Commissioner Buchbinder asked whether any concern that the limit of nine people and the provision of just nine parking spaces would be exceeded, would it be possible to formally limit occupancy.

Planner Stephen Rose:

- Advised that a condition of approval could be imposed limiting occupancy to nine.
- Cautioned that this is a very large space to serve just nine. As a result, there would be a tendency for abuse.
- Added that even with a condition for occupancy up to nine, any deviation would become something that Code Enforcement would have to deal with.

Commissioner Buchbinder asked if there have been any recent proposals for housing being developed on those adjacent lots discussed including this parcel.

Planner Stephen Rose replied not recently. The building/site have been vacant for a year now.

Commissioner Hines asked if there would be anything preventing this property owner from selling this property. Does this proposed use get in the way of a sale?

Planner Stephen Rose:

- Replied that on the City's part there is nothing preventing this owner from selling his parcel

- Added that if there is a lease for specific use on site that use would have to be allowed to continue even upon sale as the use goes with the location not the owner.
- Stated that with the owner being required to make site improvements to accommodate the next use, that investment would effectively extend the current non-residential use of that site. That results in a delay for the site and area to accommodate denser housing units.

Chair Krey

- Clarified with staff that while the site may be considered to be a housing opportunity site to help in the provision of low/medium and market rate housing, is this not an encouragement rather than a requirement?
- Asked if the property owner can be compelled to change the use to residential,

Planner Stephen Rose:

- Replied that the City cannot compel the conversion to housing.
- Reminded that the application is here for an Administrative Planned Development as required for a change of use and an associated Parking Modification Permit.
- Added that the Planning Commission doesn't have to approve those entitlements.

Director Paul Kermoyan:

- Advised that there is a broader vision intended for this area.
- Said that staff is providing information about that vision so that the Planning Commission has the ability to support that vision if they choose to. The Area Plan doesn't call out initiation provisions.
- Added that what is being proposed here is within the confines of the existing zoning.

Commissioner Colvill:

- Stated that until there is an actual demand to put in housing there not allowing this owner to use his property as he sees fit at this time is concerning.
- Pointed out that it imposes an extra layer of regulation if this owner is prevented from doing something right now with his property
- Concluded that he doesn't want to handcuff the property owner or applicant.

Chair Krey opened the Public Hearing for Agenda Item No. 1.

Gordon Wong, Applicant:

- Reported that it takes time to put together a good housing development project.
- Added that there will be some flexibility in place with a tenant having just three or four years of a lease.
- Explained that they are planning on a minimum tenant improvement to the interior.
- Stated that the hardest hits are landscaping and ADA accessibility requirements before a larger development is possible.

Alie Antoun, Property Owner:

- Stated his appreciation for Planner Stephen Rose's support during this process.
- Advised that he owns three adjacent properties and the business that formerly occupied this site, Etched Media.

- Said he understands that the long-term vision of this area is for higher density housing, but this is not the time for that right now.
- Added that he is interested in securing high quality tenants for his buildings that are walkable to Downtown.
- Said he is investing enough on the site to attract the right tenants.
- Reported that with the two to three month delays and impacts due to Covid19 he lost another tenant on one of the other properties.
- Agreed that there is a parking issue in this area and that the size of a building itself dictates the imposed parking standard by use.
- Explained that this proposed use was for a private training facility with an individual trainer and customer or a small class of two students at one time at most.
- Informed that this operator has a loyal client base who will follow her if or when she needs to relocate her business.
- Assured that he would be redeveloping these properties himself in the future and has also tried to purchase a fourth adjacent parcel without success.

Commissioner Hines:

- Cautioned that one problem often seen with a CrossFit-type of business is the potential for the users to extend their workouts out onto the streets around it.
- Asked if there is any objection to having limits on this business to prevent that.

Alie Antoun, Property Owner:

- Said that topic has come up.
- Added he is willing to include that into the lease.
- Stated that the lease already includes a provision against loud music by including maximum decibel limits.

Chair Krey closed the Public Hearing for Agenda Item No. 1.

Commissioner Buchbinder:

- Reiterated his desire to see the issue of parking standards for commercial uses located near transit.
- Stated that it appears it's either this use now or nothing now.
- Expressed concerns about the maximum occupancy of nine and the required escrow to cover costs if any non-conforming code enforcement is required.
- Said he also doesn't support a time limit on the use.
- Pointed out that the property owner (Alie Antoun) is not concerned since he wants to redevelop the sites he owns in the future.
- Stated it is not fair to ask that this building remain vacant.

Commissioner Colvill:

- Agreed that this property owner needs tenants for his building.
- Reminded that that Mr. Antoun owns multiple buildings in Campbell and as thus has invested in Campbell.
- Said that this proposed tenant is better than an empty building.
- Assured that reconstruction of this area is something that can occur later down the road.

Commissioner Hines:

- Stressed the importance of creating a favorable climate for business. Especially small businesses.
- Pointed out the harm to the economy that has already resulted from the Covid19.
- Said that small business could include possible sales tax revenue. We have a willing small business here.
- Stated his preference to “deny the denial” of this proposal

Vice Chair Ostrowski:

- Expressed her concurrence with her fellow Commissioners and also supports this business.
- Pointed out this business will fill that building. It’s either this fitness center or a vacant building.
- Agreed that the chief issue is parking and the concerns of staff with potential for overflow and excess cars.
- Admitted that if, in the future, the owner wants to increase their number of customers, she would be open to that if the use is reevaluated based on actual traffic whether that expansion is possible.
- Reiterated that this location is close to Downtown and within an area with higher density housing.

Commissioner Colvill:

- Said that there is no cookie-cutter solution for parking.
- Stated that they must look at the Parking Modification Permit as part of the Planned Development Permit.
- Concluded that it is not that big of a deal.

Chair Krey:

- Said that this may be the highest and best use of this site right now and it is much better than a vacant building.
- Stated that it may be clear that there are better uses for that location in the future it is a tough situation for this property owner and his potential business tenant now.
- Agreed with Commissioner Buchbinder that there needs to be a broad vision on parking moving forward. This is one of the worse areas for parking.
- Admitted that he thinks this use will cause pretty much of a parking crunch, so he is leaning against this. Parking is a big problem.

Commissioner Ching:

- Said that he is leaning to Chair Krey’s point.
- Added that there is a massive need for housing. We are well behind where we should be in affordable housing. This would be an ideal site for housing as it no longer is for warehousing uses.
- Admitted that denying this will not make redevelopment any easier but he’s not sure. We don’t know that but at some stage we have to make a stand for housing.
- Opined that removing landscaping and open space is not improving the existing situation.
- Declared the parking in this area to be a nightmare and dangerous.

- Assured that there will be a parking issue there.
- Asked staff what they propose if the Commission reaches a decision to “deny the denial?”
- Said one condition could be the staff suggested deposit for \$5,000 to deal with any code issues that may crop up if this occupancy and parking limits are not adhered to.

Commissioner Colvill:

- Said that one alternative would be to continue this item to allow staff to draft the resolution to approve.
- Added that he doesn't support the deposit requirement for potential code enforcement.
- Suggested a motion.

Motion: Upon motion of Commissioner Colvill, seconded by Commissioner Buchbinder, the Planning Commission CONTINUED TO A DATE UNCERTAIN, consideration of the Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio and a Parking Modification Permit to allow a reduction in the number of required parking spaces at 85 Gilman Avenue, with the following direction to staff to:

- Return with a resolution for approval for this use with conditions, removing the \$5,000 deposit to cover costs for potential code enforcement; establishing a maximum occupancy of nine people; and the provision and use of nine on-site parking spaces; and no limit to the duration of the use;

by the following roll call vote:

AYES: Buchbinder, Colvill, Hines and Ostrowski

NOES: Ching and Krey

ABSENT: None

ABSTAIN: Rivlin

Commissioner Rivlin returned to the dais following the conclusion of Item No. 1.

Chair Krey called for a brief break at 8:45 p.m. and reconvened the meeting at 8:50 p.m.

Chair Krey read Agenda Item No. 2 into the record as follows:

2. **PLN2019-176** Continued Public Hearing to consider the application of Nandini Bhattacharya and Buddhadeb Basu for a Variance (PLN2019-176) to allow a reduced side-yard setback to legalize an unpermitted accessory dwelling unit (ADU) on property located at **309 Redding Road**. Staff is recommending that this item be deemed Categorically Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Daniel Fama, Senior Planner*.



CITY OF CAMPBELL • PLANNING COMMISSION
Staff Report • August 11, 2020

PLN2019-239 Public Hearing to consider the application of Dennis Shafer for a Site and Architectural Review Permit (PLN2019-239) to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a ±10-foot side setback would otherwise be required at **1789 Hurst Avenue** in the R-1-6 (Single-Family Residential) Zoning District.

Shafer, D.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution**, approving a Site and Architectural Review Permit (PLN2019-239) to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a ±10-foot side setback would otherwise be required at 1789 Hurst Avenue.

ENVIRONMENTAL DETERMINATION

Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15301, Class 1 of the California Environmental Quality Act (CEQA), pertaining to minor alterations to existing private structures.

PROJECT DATA

Zoning Designation:	R-1-6 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 6 units/gr. acre)	
Net Lot Area:	7,590 square feet	
	<u>Proposed</u>	<u>Required</u>
Building Height:	23-feet (no change)	≤ 35-feet
Building Square Footage:		
Existing Residence:	3,339 square-feet	
Storage Shed	64 square-feet	
Proposed Addition:	<u>285 square-feet</u>	
	3,688 square-feet	
Floor Area Ratio (FAR):	48.6% (3,688 sq. ft.)	50% max. (3,795 sq. ft.) with PC 45% max. (3,415 sq. ft.) without PC)
Building (Lot) Coverage:	30.6%	40% Maximum
Parking:	2 Covered Spaces	2 Parking Spaces (1 covered)

Setbacks:	<u>Proposed</u>	<u>Required</u>
Front (east):	25 feet, 5-inches	20 feet
Side (north):	5 feet	10-feet (greater of 5 feet or half wall)
Side (south):	5 feet, 1-inch	10-feet (greater of 5 feet or half wall)
Rear (west):	39 feet	5 feet (greater of 5 feet or half wall)
Garage:	25 feet, 6-inches	25 feet

DISCUSSION

Applicant's Proposal: The applicant is seeking approval of a Site and Architectural Review Permit to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a \pm 10-foot side setback would otherwise be required (reference **Attachment 3** – Project Plans).

Project Location: The project site is a single-family residential property located on the west side of Hurst Avenue, north of Montemar Way and south of Hamilton Avenue within the R-1-6 (Single-Family Residential) Zoning District. The project site is not subject to the requirements of an area plan (i.e. San Tomas Area Neighborhood Plan).

ANALYSIS

General Plan: The General Plan land use designation for the project site is Low Density Residential (less than 6 units per gross acre). In consideration of the applicant's request, the following General Plan Land Use Strategy should be considered:

Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.

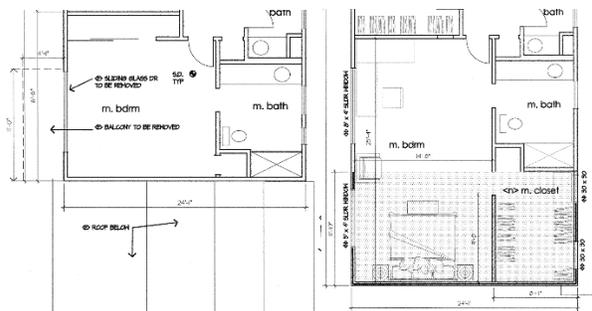
While recognizing the size of the addition (285 sq. ft.) may not be considered 'substantial' in relation to the size of the existing home (3,339 sq. ft.), the requested increase in floor area ratio could present compatibility issues with the character and development pattern of the surrounding neighborhood. However, based on the reasons indicated later in this report (i.e. diminished prominence due to distance from the street, low building height, use of a hipped roof which diminishes the scale/massing of the building) the project could be found compatible with the neighborhood.

Zoning Designation: The subject property is zoned R-1-6 (Single Family Residential, 6,000 square foot minimum lot size). Typically, residences located outside of a special project area (such as the San Tomas Area Neighborhood Plan) are approved through a ministerial building permit, and are not subject to a design review process. Since this proposal includes a request for a floor area ratio exceeding 45%, as well as a request for a minimum second-story side setback of 5-feet, a Site and Architectural Review Permit is required.

Reduced Side Setback: The applicant’s request would allow a 5-foot second-story side setback where 10-feet would otherwise be required. In consideration of the request, the following findings must be made:

- a. **The side setback would not be detrimental to the health, safety, peace, comfort or general welfare of persons in the neighborhood, or the city as a whole; and**
- b. **The side setback would not unreasonably interfere with the ability of adjoining property owners to enjoy access to air, privacy, sunlight, and quiet enjoyment of the owner’s property.**

As the addition would be designed to match the existing residence - any impact to the ‘neighborhood or city as a whole’ would be minimal to nonexistent. In relation to the adjacent neighbors, the applicant provided a Written Statement (reference **Attachment 4**) explaining how the project may improve the comfort, peace, and quiet enjoyment of adjoining properties through the removal and replacement of a second-story balcony and sliding door with two smaller windows. To further promote privacy, the applicant notes that the south side (interior side) of the existing second floor has no windows, and that no windows would be added with the new addition. Finally, in regard to access to air and sunlight, the proposed setback and placement of the addition would maintain adequate airflow between the properties and minimize the creation of shadows recognizing it would occur to the north of the closest adjoining property (sun creates the greatest shadows east to west).



Figures 1 & 2 – Existing vs. New Second Floor Plan

Increased Floor Area Ratio: The applicant’s request would allow for a floor area ratio exceeding 45% (48.6% proposed) where a maximum floor area ratio of 50% may be allowed by the Planning Commission. In consideration of the requested increase in floor area, the following findings must be made:

- a. **The perceived scale and mass of the home is compatible with the adjacent homes and the homes in the surrounding area.**
- b. **The home minimizes the use of design features that make it appear significantly larger than the adjacent homes and the homes in the surrounding area.**

The applicant’s Written Statement (reference **Attachment 4**) indicates several personal (improving quality of master bedroom) and financial reasons (more economical construction approach) to support the request that do not relate to the required findings. Instead, the Planning

Commission may wish to consider how the overall building form, which is characterized by a long and low hipped roof, with a second-story which is offset from the first by nearly 22-feet, and a total of 47-feet from the street, diminishes the prominence of the home and proposed addition when viewed from the street. Further, while located between two single-story homes, the impact of the second story is lessened by the overall height of the building which is 12-feet lower than what is allowed by code (23-feet vs 35-feet) (reference **Attachment 5** – Streetscape Exhibit).

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) reviewed the applicant’s proposal at its meeting of July 14, 2020 (reference **Attachment 6** – SARC Memo). While generally supportive of the project, the SARC directed staff to prepare a neighborhood analysis to better understand how common ‘large and boxy/unarticulated’ homes are in the neighborhood. A copy of this analysis has been provided as a separate attachment (reference **Attachment 7** – Neighborhood Study). From a review of this study, while it should be noted that the home would be the largest of those studied, larger homes could be built without discretionary review due to their larger lot sizes (including adjacent to the site to the north). Further, while the proposed second-story addition may result in a boxier appearance for the home – several homes in the immediate area are similarly styled. As a result, the overall size and design could be found compatible with homes in the area.

Neighborhood Comment: Notice of this application was provided to all property owners within 300 feet of the subject property. No comments have been received as of the writing of this staff report.

Attachments:

1. Resolution for Approval of File No.: PLN2019-239
2. Location Map
3. Project Plans
4. Written Statement
5. Streetscape Exhibit
6. SARC Memo
7. Neighborhood Study

Prepared by:



Stephen Rose, Senior Planner

Approved by:



Paul Kermoyan, Community Development Director

RESOLUTION NO.

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A SITE AND ARCHITECTURAL REVIEW PERMIT (PLN2019-239) TO ALLOW A SECOND FLOOR ADDITION TO AN EXISTING 3,339 SQUARE-FOOT TWO-STORY SINGLE-FAMILY HOME WITH A FLOOR AREA RATIO EXCEEDING 45% (48.6% PROPOSED) AND A MINIMUM SECOND-STORY SIDE SETBACK OF 5-FEET WHERE A \pm 10-FOOT SIDE SETBACK WOULD OTHERWISE BE REQUIRED AT **1789 HURST AVENUE**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN2019-239:

Environmental Finding

1. The project qualifies as a Categorical Exempt project per Section 15301 of the California Environmental Quality Act (CEQA), pertaining to minor alterations to existing private structures.

Continued Evidentiary Findings

2. The project site is zoned R-1-6 (Single Family Residential) on the City of Campbell Zoning Map.
3. The project site is designated Low Density Residential (<6 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
4. The project site is a single-family residential property located on the west side of Hurst Avenue, north of Montemar Way and south of Hamilton Avenue within the R-1-6 (Single-Family Residential) Zoning District. The project site is not subject to the requirements of an area plan (i.e. San Tomas Area Neighborhood Plan).
5. The project would allow for a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a \pm 10-foot side setback would otherwise be required.
6. The project requires review and approval of a Site and Architectural Review Permit due the request for a floor area ratio exceeding 45 percent, and requires the approval of additional findings for the increase in floor area ratio as well as for the approval a second-story side setback of 5-feet.
7. The project will also result in the removal of a second-story balcony on the rear of the building.

8. The overall building form, which is characterized by a long and low hipped roof, with a second-story which is offset from the first by nearly 22-feet, and a total of 47-feet from the street, diminishes the prominence of the home and proposed addition when viewed from the street.
9. The prominence of the second story and proposed addition is lessened by the overall height of the building which is 12-feet lower than what is allowed by code (23-feet vs 35-feet)
10. The building architecture and materials are consistent with the neighborhood which exhibits similar/matching features and designs.
11. The proposed addition would be designed to match the existing residence (same colors and materials).
12. The addition is located to the north of the closest adjoining property (1803 Hurst) which does not have a second story reducing the impact of shadows.
13. The closest adjoining property (1803 Hurst) to the addition does not have a second story increasing airflow between properties.
14. The proposed addition does not have any windows on the south facing wall.
15. The project uses different materials to break up the façade and keep the home from appearing too massive or boxy.
16. While the home would be the among the largest the immediate area, other homes in the vicinity could be larger without requiring discretionary review due to their larger lot sizes.
17. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required Conditions of Approval, will have a significant adverse impact on the environment.
18. There is a reasonable relationship and a rough proportionality between the Conditions of Approval and the impacts of the project.
19. There is a reasonable relationship between the use of the fees (if any) imposed upon the project and the type of development project.

Based upon the foregoing findings of fact the Planning Commission further finds and concludes that:

Findings to allow a minimum side setback of five feet for a second-story addition – CMC 21.08.030 (Table 2-3)

- 20. The side setback would not be detrimental to the health, safety, peace, comfort or general welfare of persons in the neighborhood, or the city as a whole; and
- 21. The side setback would not unreasonably interfere with the ability of adjoining property owners to enjoy access to air, privacy, sunlight, and quiet enjoyment of the owner's property.

Findings to allow a FAR up to 50% - CMC 21.08.030 (Table 2-3)

- 22. The perceived scale and mass of the home is compatible with the adjacent homes and the homes in the surrounding area.
- 23. The home minimizes the use of design features that make it appear significantly larger than the adjacent homes and the homes in the surrounding area.

Site and Architectural Review Permit Findings (CMC 21.42.060.B)

- 24. The project will be consistent with the general plan;
- 25. The project will aid in the harmonious development of the immediate area; and
- 26. The project is consistent with applicable adopted design guidelines, development agreement, overlay district, area plan, neighborhood plan, and specific plan(s).

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Site and Architectural Review Permit (PLN2019-239) to allow a second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a ±10-foot side setback would otherwise be required at 1789 Hurst Avenue subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 11th day of August, 2020, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners
ABSTAIN: Commissioners:

APPROVED: _____
 Michael Krey, Chair

ATTEST: _____
 Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL
Site and Architectural Review Permit (PLN2019-239)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

1. Approved Project: Approval is granted for a Site and Architectural Review Permit (PLN2019-239) to allow a second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a ± 10 -foot side setback would otherwise be required at 1789 Hurst Avenue. The project shall substantially conform to the project plans stamped as received by the Planning Division on June 22, 2020, except as may be modified by the conditions of approval herein.
2. Plan Revisions: Prior to Building Permit submittal, the project plans shall be revised to identify the correct location of the front property line, which occurs six-inches behind the back of sidewalk.
3. Permit Expiration: The Site and Architectural Review Permit approval shall be valid for one year from the date of final approval (August 21, 2021). Within this one-year period, an application for a building permit must be submitted. Failure to meet this deadline will result in the Site and Architectural Review Permit being rendered void.
4. Planning Final Required: Planning Division clearance is required prior to Building Permit final. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body. Please add a note to the cover sheet of the project plans indicating this requirement (i.e. Planning Final Required).
5. Fences/Walls: Any newly proposed fencing and/or walls shall comply with Section 21.18.060 of the Campbell Municipal Code and shall be submitted for review and approval by the Community Development Department.
6. Compliance with Other Regulations: The applicant shall comply with other State, County, and City ordinances that pertain to the proposed project and where they are conducted.
7. Contractor Contact Information Posting: The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.

8. On-Site Lighting: On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director prior to installation of the lighting for compliance with all applicable Conditions of Approval, ordinances, laws and regulations. Lighting fixtures shall be of a decorative design to be compatible with the residential development and shall incorporate energy saving features.
9. Roof Vents: The applicant shall coordinate mechanical and plumbing plans to minimize the number of roof vents that are visible from the street frontage. The applicant shall provide the location of such vents on the building plan elevations and roof plans, to the satisfaction of the Community Development Director, prior to issuance of a building permit.
10. Construction Activities: The applicant shall abide by the following requirements during construction:
 - a. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
 - b. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
 - c. Unnecessary idling of internal combustion engines shall be strictly prohibited.
 - d. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
 - e. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.

Building Division

11. Permits Required: A Building Permit application shall be required for the proposed remodeling and addition to the existing structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
12. Plan Preparation: This addition may require plan prepared under the direction and oversight of a California licensed Engineer or Architect. When applicable, plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
13. Construction Plans: The Conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
14. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.

15. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details.
16. Title 24 Energy Compliance: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. 8½ X 11 calculations shall be submitted as well.
17. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
18. Non-Point Source: The standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
19. Approvals Required: The project requires the following agency approval prior to issuance of the building permit:
 - a. West Valley Sanitation District (378-2407)
 - b. Santa Clara County Fire Department (378-4010)
 - c. School District:
 - i. Campbell Union School District (378-3405)
 - ii. Campbell Union High School District (371-0960)
 - iii. Moreland School District (379-1370)
 - iv. Cambrian School District (377-2103)

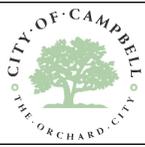
Note: To determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.

 - d. Bay Area Air Quality Management District (Demolitions Only)
 - e. San Jose Water Company (279-7900)
20. P.G.& E.: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.
21. Intent to Occupy During Construction: Owners shall declare their intent to occupy the (e) dwelling during construction. The Building Inspection Division may require the premises to be vacated during portions of construction because of substandard and unsafe living conditions created by construction.

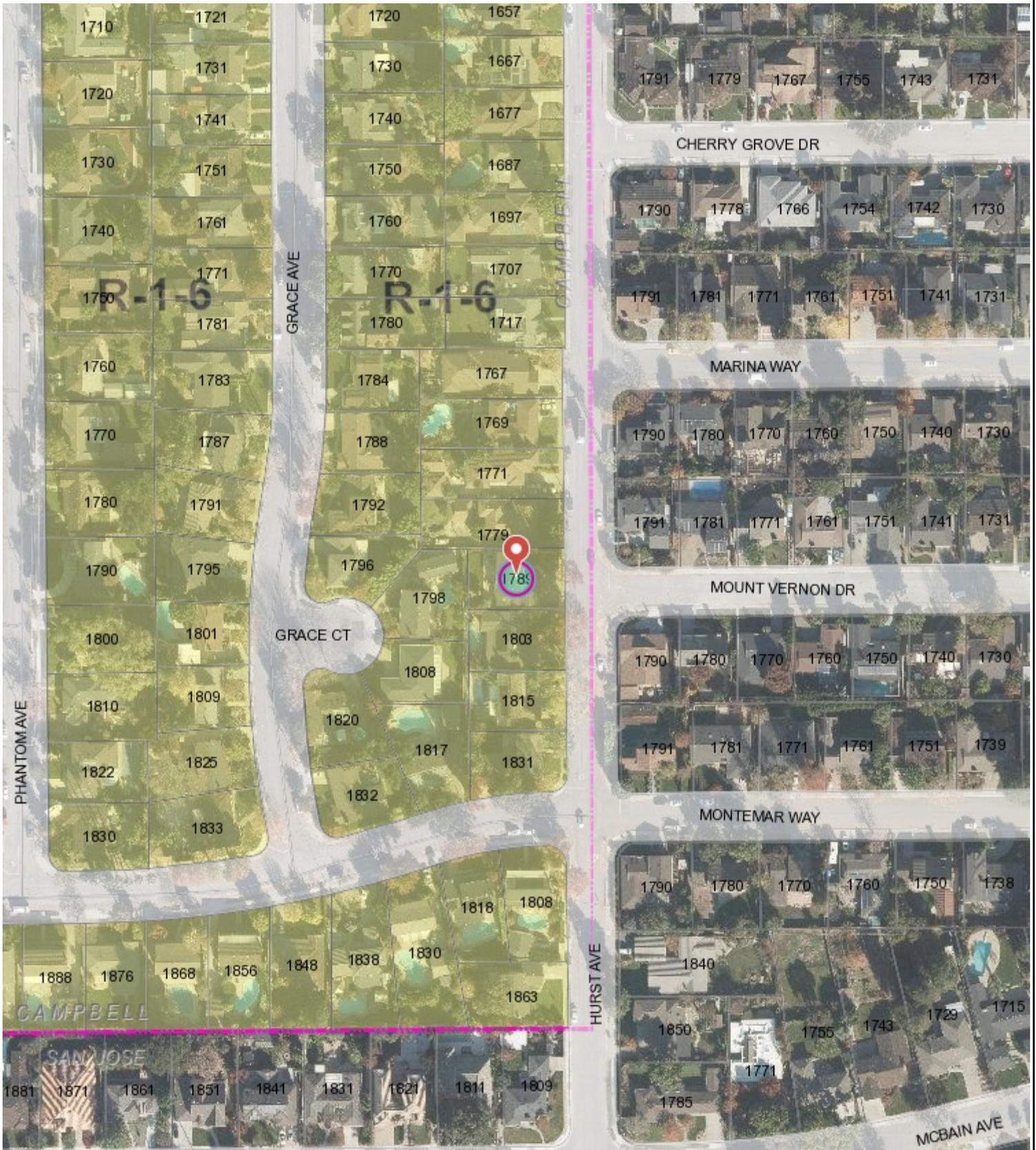
22. California Green Building Code: This project shall comply with the mandatory requirements for Residential Structures, Chapter 4 of the California Green Building Code 2013 ed.
23. Storm Water Requirements: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.

Public Works Division

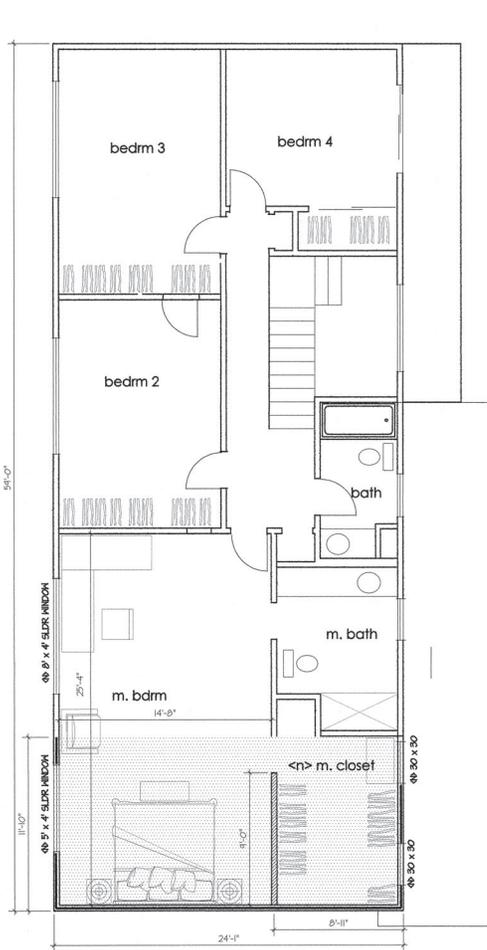
24. Storm Drain Area Fee: Prior to (issuance of any grading or building permits for the site)(recordation of the Parcel Map/Final Map), the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre, which is \$369.00 (set for R-1/multi family/commercial land use).
25. Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
26. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip in the public right of way. This includes, but is not limited to: lawn, plantings, irrigation, etc. Trees shall not be pruned by the property owner.
27. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.



Location Map 1789 Hurst Avenue



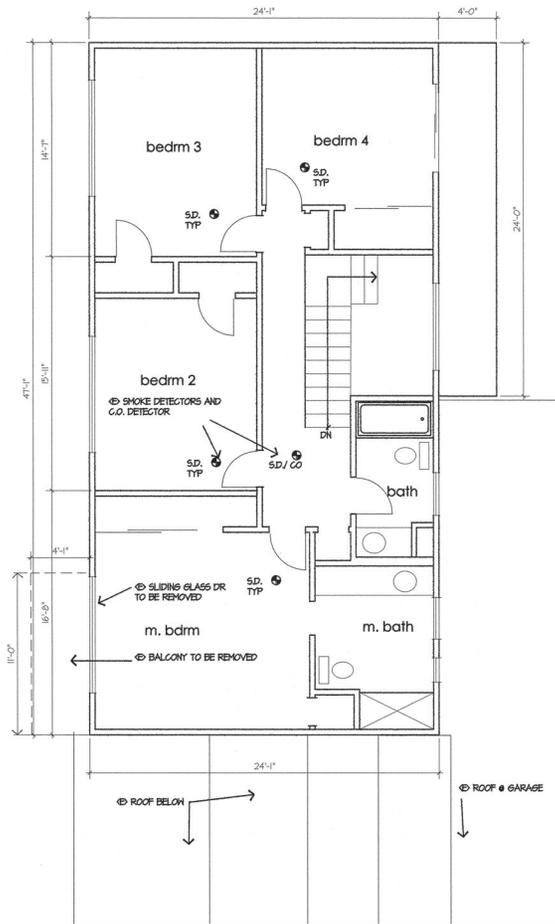
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



<n> 2nd floor plan

114'-11-0"

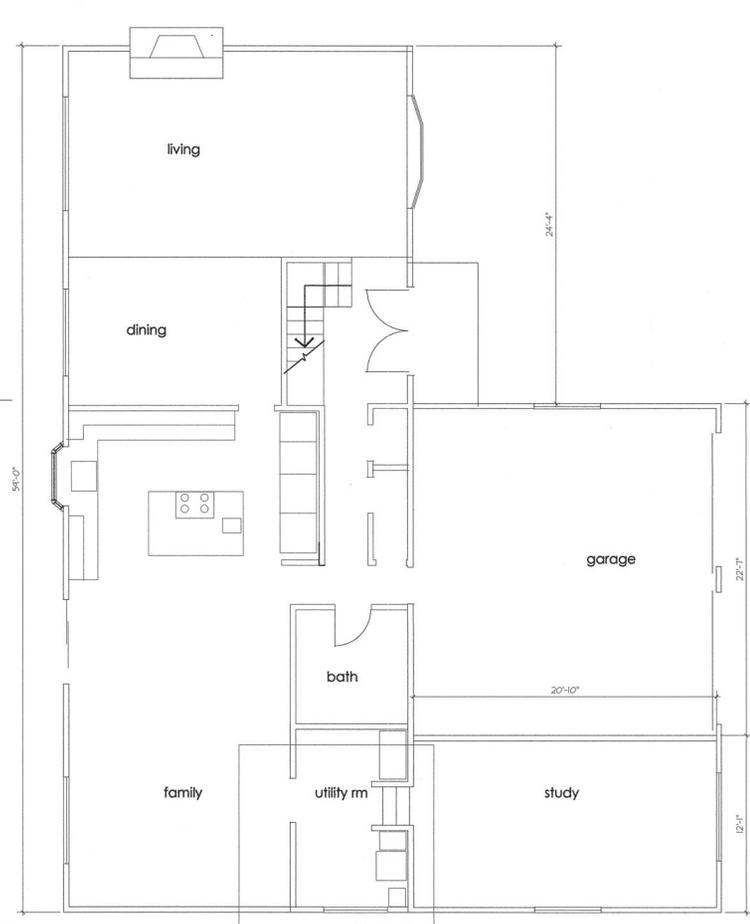
1082 SF LIVING, 96 BAL, REMOVE 44 BAL
 @ 295 ADDITION
 1367 SF LIVING, 46 BAL, 1463 SF TOTAL



<e> 2nd floor plan

114'-11-0"

1082 SF LIVING, 96 BAL, 44 BAL, 1222 SF TOTAL



<e> 1st floor plan

114'-11-0"

1614 SF LIVING SPACE 410 SF GARAGE 2025 SF TOTAL

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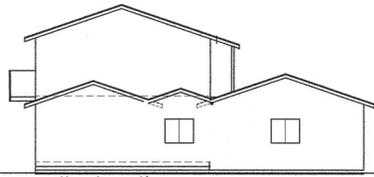
shafers
 architecture
 shafers is a registered architect
 PH (408) 343-1336

1030 e-el Camino real #1445
 sunnyvale, california 94087

MASTER BEDROOM EXTENSION
BETH ANNY RESIDENCE
 1784 HURST AVE.
 CAMPBELL, CA

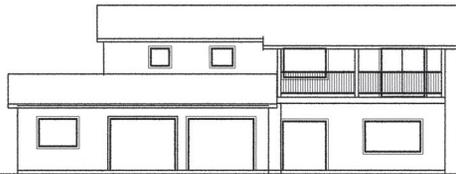
no.	revisions	date
1	Final submittal	10/28/14

18-01
A2
 2/1/20



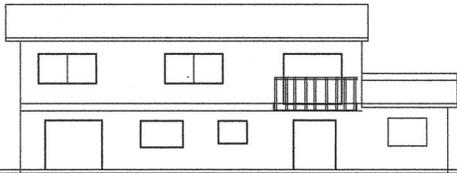
<e> south elevation

SCALE: 1/8"=1'-0"



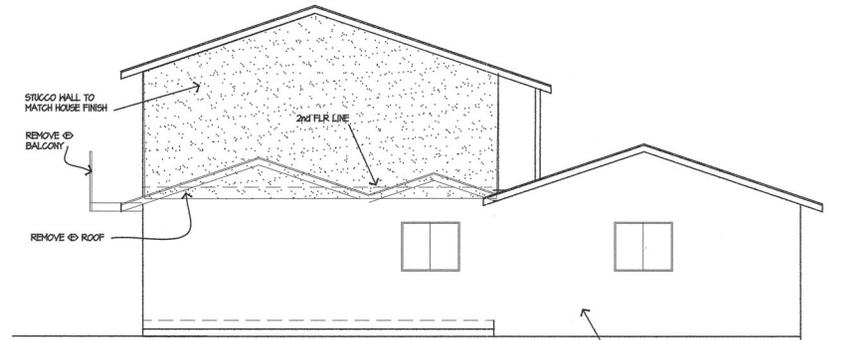
<e> east elevation

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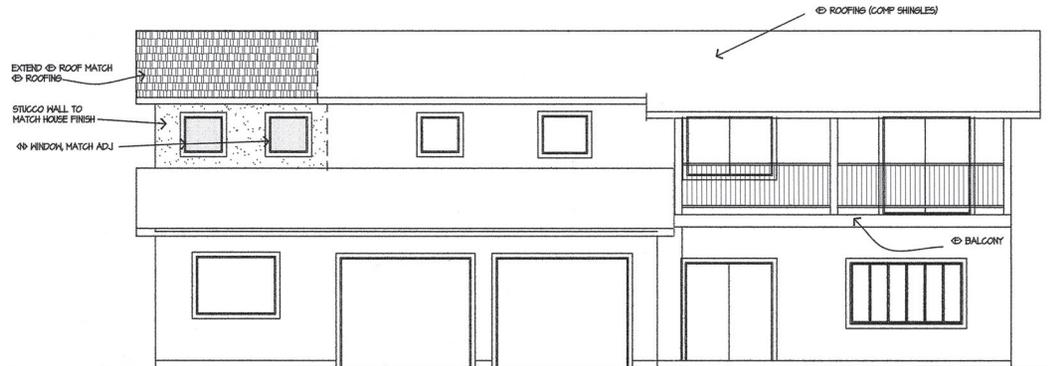
<e> west elevation

SCALE: 1/8"=1'-0"



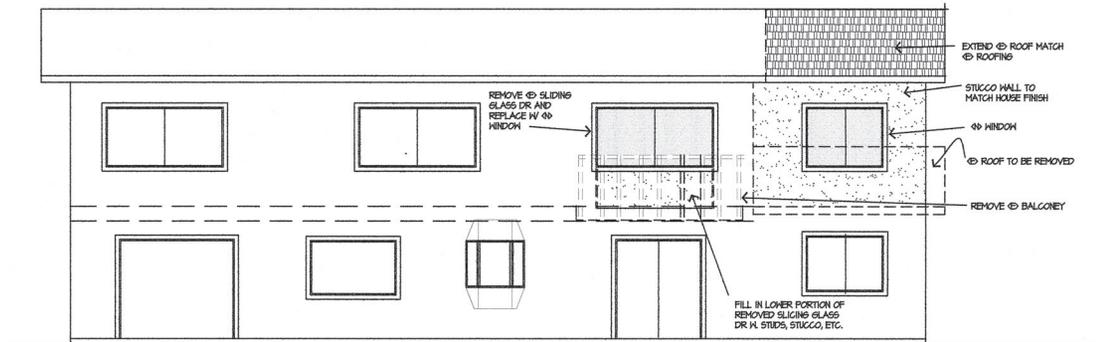
south elevation

SCALE: 1/4"=1'-0"



east elevation

SCALE: 1/4"=1'-0"



west elevation

SCALE: 1/4"=1'-0"

THE ONLY DESIGN MANAGEMENT, DRAWING, SPECIFICATION AND COSTS DOCUMENTS PREPARED BY SHAFER ARCHITECTURE OF THE PROJECT. ANY OTHER ARCHITECTURE SHALL BE DEEMED THE PROPERTY OF SHAFER ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF SHAFER ARCHITECTURE. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHAFER ARCHITECTURE.

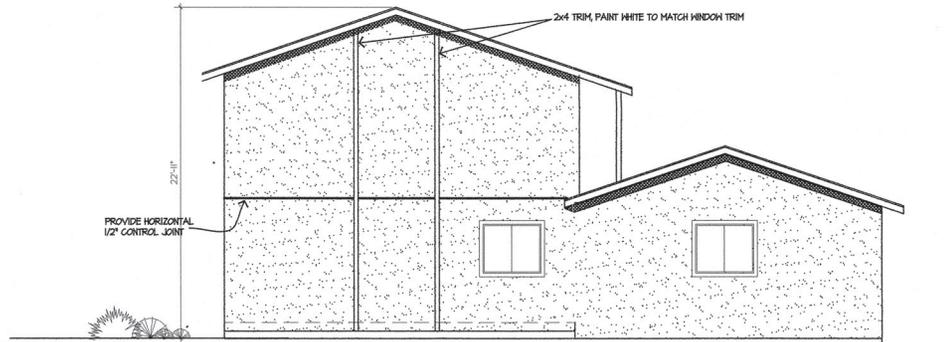
NO.	REVISIONS	DATE

MASTER BEDROOM EXTENSION
BETHLAHMY RESIDENCE
 1754 HURST AVE.
 CAMPBELL, CA

1030 S. G. Camino Road #244E
 Sunnyvale, California 94087

shafér architecture
 SHAFER ARCHITECTURE
 PRT (408) 343-1336

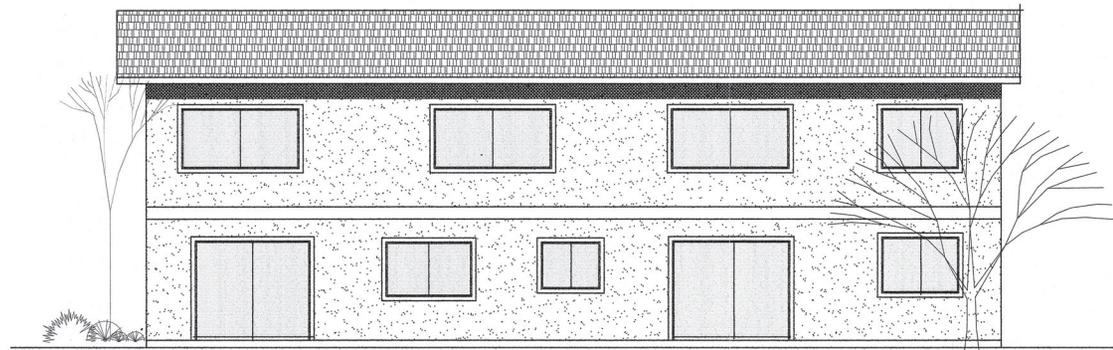
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A3
 2/14/20



south elevation
SCALE: 1/4"=1'-0"



east elevation



west elevation
SCALE: 1/4"=1'-0"

no.	revisions	date
1	REV. 2/11/2020	2/11/20

MASTER BEDROOM EXTENSION
BETHLAHMY RESIDENCE
7164 HURST AVE
CAMPBELL, CA

1030 S. EL CAMINO REAL #445
SUNNYVALE, CALIFORNIA 94087

shafiq architecture
ARCHITECTS
PHOTOGRAPHY
PH. (408) 345-1336

THE SEALS, SPECIFICATIONS, DRAWINGS, SCHEDULES AND OTHER DOCUMENTS PREPARED BY SHAFIQ ARCHITECTURE FOR THE PROJECT ARE HEREBY OFFERED TO THE PUBLIC FOR REVIEW AND COMMENT. ANY COMMENTS SHOULD BE SUBMITTED TO SHAFIQ ARCHITECTURE WITHIN 15 DAYS OF THE DATE OF THIS NOTICE. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE DOCUMENTS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. EXCEPT AS NOTED OTHERWISE, THESE DOCUMENTS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SHAFIQ ARCHITECTURE.



Written Statement

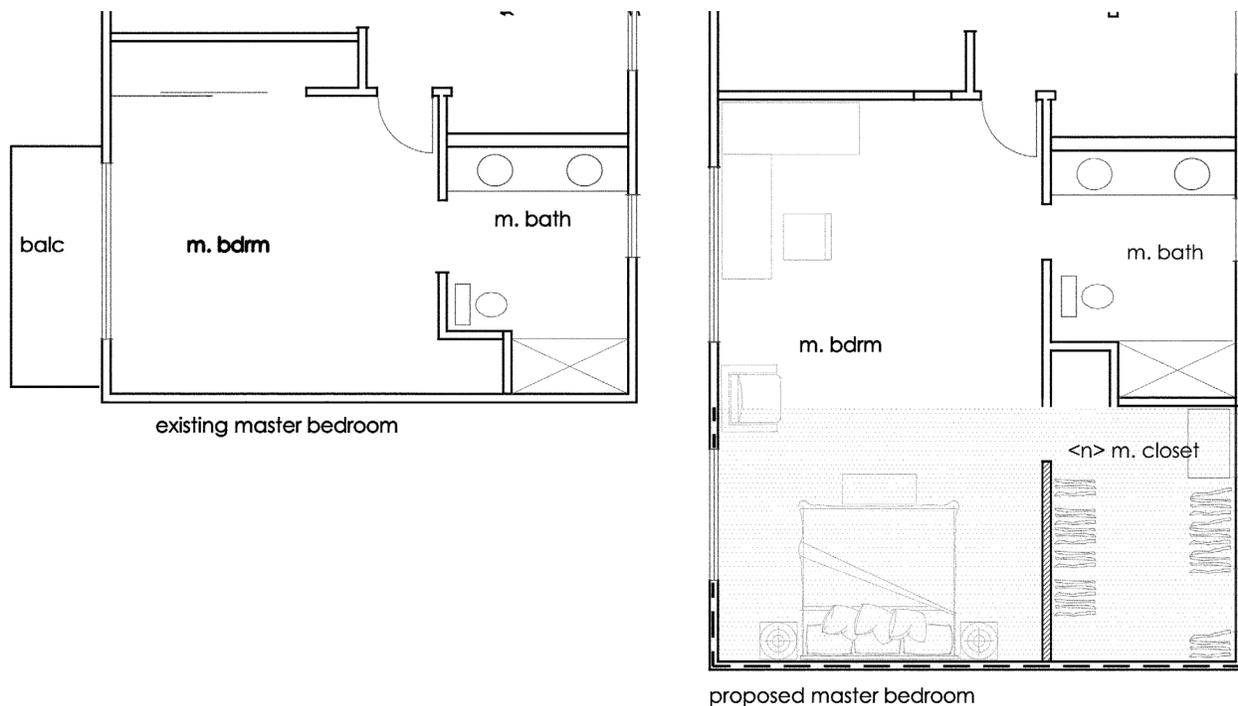
Justification Statement

1789 Hurst Ave.

Dear Planning Commissioners,

Thank you for your time and attention to our application. We respectfully request that you approve a Floor Area Ratio (FAR) increase for our home from 45.3 to 48.5% which is an increase of 285 square feet. We believe this modest increase can be justified as the perceived scale and mass of our home would be similar to neighboring homes. We have summarized the plan and rationale below:

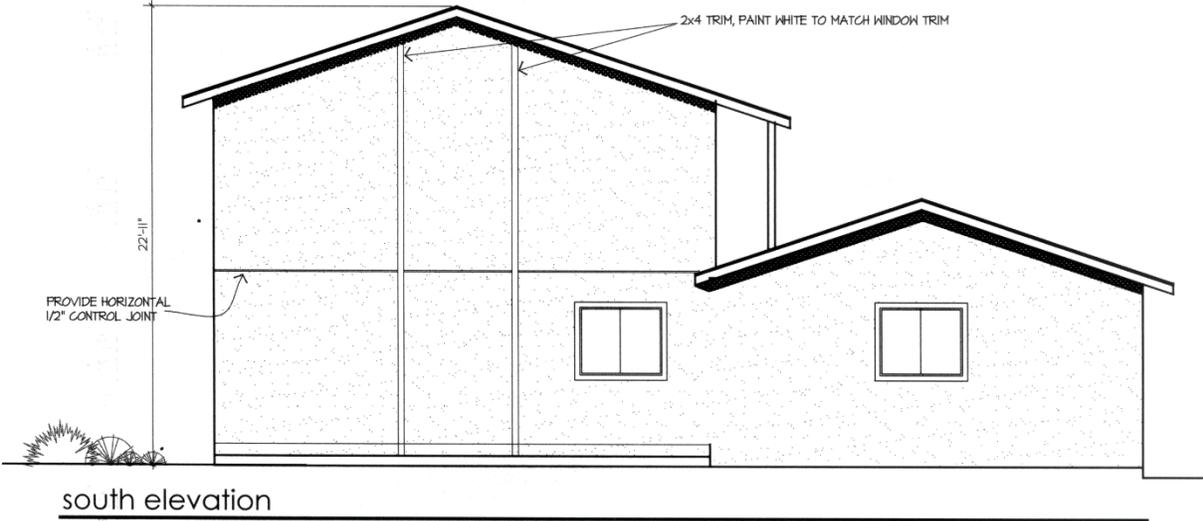
Bringing Master Bedroom to 21st Century Norms: The current master bedroom is small by today's standards for a home of this size. The layout affords little room other than for a small bed and dresser. The current closets do not provide suitable storage space. Clothing and extra bedding are now kept in the garage. The addition will enable us to have a larger bed and dresser plus a walk-in closet. This will also allow us to maximize space within the home and to move cars off the driveway/street and back into the garage.



Front of Home Design: The proposed front exterior of the home will be in keeping with its current look and feel and that of the neighborhood. The new design would extend the second-floor wall to be in line with the first-floor wall. To provide character to the front of the home, additional trim and windows will be added on the second floor to avoid long unarticulated massing.



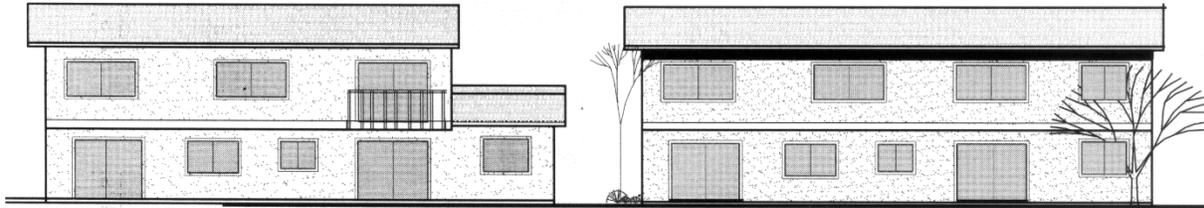
South Side of Home Design: The proposed south side of the home will be enhanced by a horizontal control joint and 2x vertical trim to match the front window trim. This will provide more character to the south side wall.



Leveraging Existing Footing for Economy: The proposed extension of the second-floor wall to be in line with the first floor's wall would be more economical construction wise. The need for a large beam to carry the wall and shear transfer elements would be eliminated since the existing footing could be used.

Enhanced Privacy for Neighbors: Overall, the proposed second floor addition will improve our neighbors' privacy.

West wall: The replacement of the master bedroom's sliding glass door and balcony with two smaller windows will significantly reduce visibility into our neighbors' yards and homes.



South wall: The proposed second floor addition will have no impact on the privacy of our next-door neighbors. Currently the south wall has no windows on the second-floor and this will not change.

Lot Size Comparison: The three lots to the south of us are of similar size. However, the thirteen lots to the north are 1,000 to 1,500 square feet larger which affords them 450 to 675 more square feet without going over the FAR.

For these reasons, we believe our request is justified and it is our hope that you agree and approve our request.

Streetscape Exhibit



MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee

Date: July 14, 2020

From: Stephen Rose, Senior Planner

Via: Paul Kermoyan, Community Development Director

Subject: Site and Architectural Review Permit

File No.: PLN2019-239 ~ 1789 Hurst Avenue

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow a 285 square-foot second floor addition to an existing 3,339¹ square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum second-story side setback of 5-feet where a ±10-foot side setback would otherwise be required (reference **Attachment 1** – Project Plans).

PROJECT SITE

The project site is a single-family residential property located on the west side of Hurst Avenue, north of Montemar Way and south of Hamilton Avenue within the R-1-6 (Single-Family Residential) Zoning District. The project site is not subject to the requirements of an area plan (i.e. San Tomas Area Neighborhood Plan).

PROJECT DATA

Zoning Designation:	R-1-6 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 6 units/gr. acre)	
Net Lot Area:	7,590 square feet	
	<u>Proposed</u>	<u>Required</u>
Building Height:	23-feet (no change)	≤ 35-feet
Building Square Footage:		
Existing Residence:	3,339 square-feet	
Storage Shed	64 square-feet	
Proposed Addition:	<u>285 square-feet</u>	
	3,688 square-feet	3,795 Maximum (with PC Approval) 3,415 Maximum (without PC Approval)
Floor Area Ratio (FAR):	48.6%	50% Maximum (with PC Approval) 45% Maximum (without PC Approval)
Building (Lot) Coverage:	30.6%	40% Maximum
Parking:	2 Covered Spaces	2 Parking Spaces (1 covered)

¹ The project plans include a 44 square foot balcony in the existing floor area calculation in error. This is resolved under the proposed building area summary and resultant floor area ratio calculation as the balcony is proposed for removal.

Setbacks:	<u>Proposed</u>	<u>Required</u>
Front (east):	25 feet, 5-inches	20 feet
Side (north):	5 feet	10-feet (greater of 5 feet or half wall height)
Side (south):	5 feet, 1-inch	10-feet (greater of 5 feet or half the wall height)
Rear (west):	39 feet	5 feet or half the wall height
Garage:	25 feet, 6-inches	25 feet

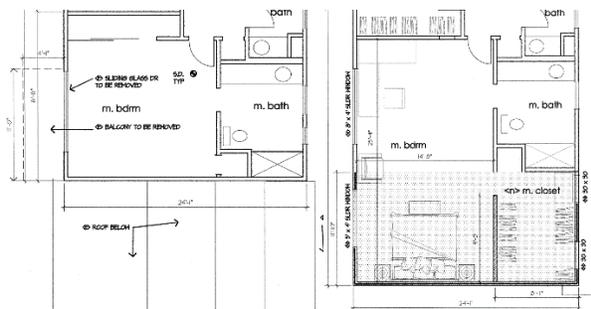
DISCUSSION

The subject property is located within a zone district which typically allows the construction of new homes and additions through a simple building permit. The applicant’s request for a reduced side setback and an increase in floor area ratio requires review and approval of a Site and Architectural Review Permit. The following sections serve to provide an overview of the required findings and design guidelines which must be considered in order to grant the request.

Reduced Side Setback: The applicant’s request would allow for a 5-foot second-story side setback where 10-feet would otherwise be required. In consideration of the request, the following findings must be made:

- a. **The side setback would not be detrimental to the health, safety, peace, comfort or general welfare of persons in the neighborhood, or the city as a whole; and**
- b. **The side setback would not unreasonably interfere with the ability of adjoining property owners to enjoy access to air, privacy, sunlight, and quiet enjoyment of the owner’s property.**

As the addition would be designed to match the existing residence - any impact to the ‘neighborhood or city as a whole’ would be minimal to nonexistent. In relation to the adjacent neighbors, the applicant provided a Written Statement (reference **Attachment 3**) explaining how the project may improve the comfort, peace, and quiet enjoyment of adjoining properties through the removal and replacement of a second-story balcony and sliding door with two smaller windows. To further promote privacy, the applicant notes that the south side (interior side) of the existing second floor has no windows, and that no windows would be added with the new addition. Finally, in regard to access to air and sunlight, the proposed setback and placement of the addition would maintain adequate airflow between the properties and minimize the creation of shadows recognizing it would occur to the north of the closest adjoining property (sun creates the greatest shadows east to west).



Figures 1 & 2 – Existing vs. New Second Floor Plan

Increased Floor Area Ratio: The applicant’s request would allow for a floor area ratio exceeding 45% (48.6% proposed) where a maximum floor area ratio of 50% may be allowed by the Planning Commission. In consideration of the requested increase in floor area, the following findings must be made:

- a. **The perceived scale and mass of the home is compatible with the adjacent homes and the homes in the surrounding area.**
- b. **The home minimizes the use of design features that make it appear significantly larger than the adjacent homes and the homes in the surrounding area.**

The applicant’s Written Statement (reference **Attachment 3**) indicates several personal (improving quality of master bedroom) and financial reasons (more economical construction approach) to support the request that do not relate to the required findings. Instead, the SARC may wish to consider how the overall building form, which is characterized by a long and low hipped roof, diminishes the prominence of the home and proposed addition when viewed from the street. Further, while located between two single-story homes, the impact of the second story is lessened by the overall height of the building which is 12-feet lower than what is allowed by code (23-foot vs 35-foot) (reference **Attachment 4 – Streetscape Exhibit**).

Design: In addition to the required findings, review of this application is governed by the [City’s Design Guidelines for Additions to Single-Family Homes](#). The design guidelines include a list of topic areas ranging from ‘A. Integration...’ to ‘I. Privacy’ which are intended to ensure that additions to homes are compatible with both the existing structure and surrounding neighborhood. In consideration of the applicant’s proposal, the following topics from the Design Guidelines (provided in **bold**) may warrant focused discussion:

A. Integration of Additions with the Existing Home

- 1. Integrate second story additions into the overall design of the house. The addition should look like an original part of the house design.**

When viewed from the street, the proposed addition would appear to be an almost seamless expansion of the existing second floor – matching color, material, and various design elements (i.e. windows, trim).



Figures 3 to 5– Proposed Front/South Elevation and Existing North Elevation

When viewed from the side, the proposed addition would ‘fill in’ the offset – bringing the second floor in line with the first. In order to improve the appearance of the solid wall that occurs as a result, the applicant has proposed to add a horizontal control joint and two trim boards running the height of the building. Beyond the trim presenting a potential conflict at the joint, the design features would be unique to this elevation and home. While such features do add visual interest, the SARC may consider requesting their removal in order to promote an appearance that is more consistent with the original home.

D. Surface Articulation (Changes Within Wall and Roof Planes)

- Homes should be designed with relief in building facades. Long unarticulated wall and roof planes should be avoided, especially on two story elevations.**

The [City’s Design Guidelines for Additions to Single-Family Homes](#) would appear to discourage completely filling in the second floor in two ways. First the addition would increase the length of an already long and unarticulated roofline when viewed from the street. Second, when viewed from the side, the design would result in a relatively flat two-story wall where such relief is especially relevant.

In consideration of the City’s design guidelines, the SARC could request the applicant to explore offsetting the front or side elevation. One potential approach has been provided below for illustrative purposes:



Figures 6 & 7 – Proposed vs. Offset Front Elevation



Figures 8 & 9 – Proposed vs. Offset Rear Elevation

DISCUSSION POINTS

The SARC should discuss the project for compliance with the *City's Design Guidelines for Additions to Single-Family Homes* and required findings. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions. The following questions have been provided to facilitate discussion:

- Should a reduction in interior side setback and/or increase in floor area ratio be supported?
- Should the horizontal control joint and vertical trim be removed?
- Should the applicant exploring offsetting the front or side elevation?

Attachments:

1. Location Map
2. Project Plans
3. Written Statement
4. Streetscape Exhibit

Neighboring House Size/Articulation Study

#9/10 – 1791/81 Mount Vernon



#8 - 1801 Grace



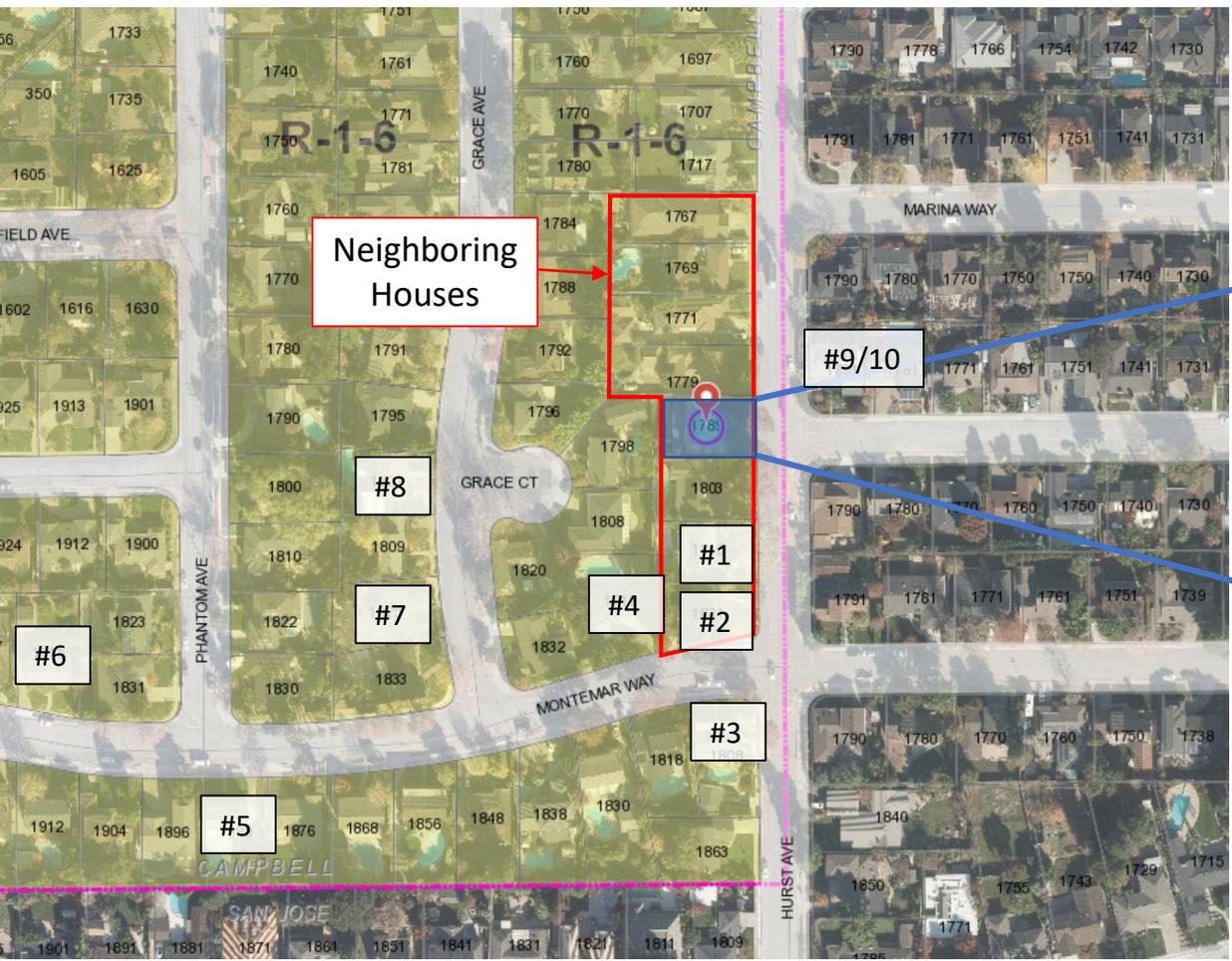
#7 - 1825 Grace



#6 - 1915 Montemar



#5 - 1888 Montemar



Neighboring Houses

#9/10

#8

#1

#7

#4

#2

#6

#3

#5

#4 - 1817 Montemar



#3 - 1808 Montemar



#2 - 1831 Hurst



Neighboring House Sizes							
Address	First Floor	Second Floor	Garage	Total	Lot Size	Existing/Proposed FAR	Max Sq. Ft @ 45%
#2 - 1831 Hurst Ave.	1,128	1,175	770	3,073	7,590	40%	3,416
#1 - 1815 Hurst Ave.	1,288	1,127	735	3,150	7,590	42%	3,416
1803 Hurst Ave.	2,082	-	504	2,586	6,900	37%	3,105
1789 Hurst Ave. (Subject Site)	1,683	1,463	478	3,624	7,590	47.7%	3,416
1779 Hurst Ave.	2,128	-	528	2,656	9,016	29%	4,057
1771 Hurst Ave.	2,213		550	2,763	9,246	30%	4,161
1769 Hurst Ave.	1,693		390	2,083	9,246	23%	4,161
1767 Hurst Ave.	2,223		528	2,751	9,188	30%	4,135
Average House Size	2,806						
Proposed House Size (@ 47.7%)	3,688						
Largest Potential House (@ 45%)	4,161						

Articulation House Size Study							
	First Floor	Second Floor	Garage	Total	Lot Size	Existing FAR	Max Sq. Ft @ 45%
#3- 1808 Montemar Way	1,248	1,248	456	2,952	9,240	32%	4,158
#4 - 1817 Montemar Way	1,248	1,248	456	2,952	7,920	37%	3,564
#5 - 1888 Montemar Way	1,248	1,248	456	2,952	8,610	34%	3,875
#6 - 1915 Montemar Way	1,248	1,248	456	2,952	9,380	31%	4,221
#7 - 1825 Grace	1,248	1,248	456	2,952	8,875	33%	3,994
#8 - 1801 Grace	1,248	1,248	456	2,952	7,560	39%	3,402
#9 - 1791 Mount Vernon	1,429	460	460	2,349	7,000	34%	3,150
#10 - 1781 Mount Vernon	1,473	511	485	2,469	6,500	38%	2,925
Average House Size	2,816						
Proposed House Size (@ 47.7%)	3,688						
Largest Potential House (@ 45%)	4,221						

Note 1: Neighborhood Data based on County Assessor Records.

Note 2: Calculations do not include accessory structures.

Note 3: The average house size calculation uses the existing home size of 3,383 for the subject site.



CITY OF CAMPBELL • PLANNING COMMISSION
Staff Report • August 11, 2020

PLN-2020-41
JumpStart
MD

Public Hearing to consider the application of Chong Tseng for a Conditional Use Permit and Parking Modification Permit (PLN-2020-41) to allow establishment of a medical office use (weight loss clinic) within an existing office space on property located at **1626 W. Campbell Avenue** in the C-1 (Neighborhood Commercial) Zoning District.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution** (reference **Attachment 1**), approving a Conditional Use Permit and Parking Modification Permit for establishment of a medical office use (weight loss clinic), subject to the attached Conditions of Approval.

ENVIRONMENTAL DETERMINATION

Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15301, Class 1 of the California Environmental Quality Act (CEQA), pertaining to the operation and leasing of an existing private structure.

DISCUSSION

Project Location: The project site is located within Kirkwood Plaza, an approximately 12-acre shopping center comprised of eight buildings located on the south side of W. Campbell Avenue between Fulton Street and S. San Tomas Aquino Road in the C-1 (Neighborhood Commercial) Zoning District (reference **Attachment 2** – Location Map). The medical office is proposed within an existing office space on the second floor of an existing office/retail building near the middle of the center.

PROJECT DATA

Zoning District:	C-1 (Neighborhood Commercial)
General Plan Designation:	<i>Neighborhood Commercial</i>
Proposed Hours:	
Operational/Staff:	6:00 AM – 7:30 PM, Daily
Business/Public:	7:00 AM – 6:00 PM, Daily
Building Area:	6,747 square feet
Tenant Space Area:	1,890 square feet
Parking Required (proposed medical use):	9 spaces (1 per 200 sf)
Parking Provided (existing office use):	8 spaces (1 per 225 sf)
Total Parking:	620 spaces

Applicant's Proposal: The applicant is requesting approval of a Conditional Use Permit and Parking Modification Permit to allow the establishment of a medical office use (weight loss clinic) within an existing office space. There would be no expansion of the building and only minor exterior changes for site accessibility (parking space restriping and signage). The second-floor tenant space is accessed by an existing elevator (reference **Attachment 3 - Project Plans**).

Operational Description: The proposed weight loss clinic would provide medically-supervised counseling sessions as well as blood tests and hormone therapy. The business would be open to patients between the hours of 7:00 a.m. and 6:00 p.m. with staff on-site between the hours of 6:00 a.m. and 7:30 p.m. At peak operations, a maximum of four staff members and four patients would be on-site (reference **Attachment 4 – Written Statements**).

ANALYSIS

Zoning District: The property is located within the Neighborhood Commercial (C-1) Zoning District. Within the C-1 Zoning District, the subject use is technically defined as a "medical office", which is allowed within the C-1 Zoning District with the approval of a Conditional Use Permit.

General Plan: The General Plan land use designation for the project site is *Neighborhood Commercial*. This land use designation is intended for retail sales, offices, and services serving the daily needs of nearby residents and compatible with neighboring residential uses. Medical office uses should be considered on a case by case basis when evaluating the purpose of this land use designation. The General Plan Land Use Element provides several policies and strategies pertaining to land use compatibility and site design, which may be taken into consideration by the Planning Commission in review of this request:

- Policy LUT-5.1: Neighborhood Integrity: Recognize that the City is composed of residential, industrial and commercial neighborhoods, each with its own individual character; and allow change consistent with reinforcing positive neighborhood values, while protecting the integrity of the city's neighborhoods.
- Policy LUT-11.2a: Services Within Walking Distance: Encourage neighborhood serving commercial and quasi-public uses, such as churches, schools, and meeting halls to locate within walking distance of residential uses.
- Policy LUT-13.1: Variety of Uses: Attract and maintain a variety of uses that create an economic balance within the City while maintaining a balance with other community land use needs, such as housing and open space, and while providing high quality services to the community.

Use: Campbell Municipal Code (CMC) includes medical office as a use distinct from professional office. CMC defines "Medical services, clinic" as facilities primarily engaged in outpatient medical, mental health, surgical, and other personal health services.

Parking: The 1989 approval of application "S" 89-13 approved a new two-story building with ground floor retail and second floor office uses. The subject second floor tenant space was most recently occupied by an insurance office, which is defined as a professional office. Pursuant to CMC Section 21.28.040(A) a professional office use requires 1 parking space per

225 square feet of floor area (8 spaces) while a medical office use requires 1 parking space per 200 square feet of floor area (9 spaces).

In shopping centers, the parking requirement is determined by individual uses when totaling the sum of each business's parking requirement. In some cases, the existing parking supply could absorb a parking deficiency of a new use's parking obligation. In this case, staff found that the center's businesses require more parking than the supply.

Based on the varied uses with different peak hours and amount of parking spaces in the shopping center, a deficit of one parking space is not anticipated to create a parking issue. Moreover, the maximum number of staff/patients on-site at one time (eight) corresponds with the number of spaces allocated to the previous office use. The applicant has also submitted a statement in support of the findings for a Parking Modification Permit (reference **Attachment 4** – Written Statements).

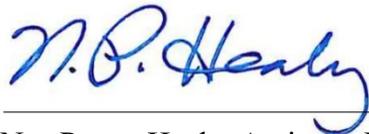
Signage: Signage is not part of this application review. Any future signage proposal shall comply with the Master Sign Plan for Kirkwood Plaza.

Neighborhood Impacts: The proposed medical office use is not anticipated to result in adverse neighborhood impacts. The business shall be conducted entirely inside an enclosed tenant space, served by streets of sufficient size and capacity to handle the use.

Attachments:

1. Draft Resolution
2. Location Map
3. Project Plans
4. Written Statements

Prepared by:



Naz Pouya Healy, Assistant Planner

Approved by:



Paul Kermoyan, Community Development Director

RESOLUTION NO. 45XX

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A CONDITIONAL USE PERMIT AND PARKING MODIFICATION PERMIT (PLN-2020-41) TO ALLOW ESTABLISHMENT OF A MEDICAL OFFICE USE (WEIGHT LOSS CLINIC) WITHIN AN EXISTING OFFICE SPACE LOCATED AT **1626 W. CAMPBELL AVENUE**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN-2020-41:

1. The project site is zoned C-1 (Neighborhood Commercial) and designated *Neighborhood Commercial* by the General Plan.
2. The project site is located within Kirkwood Plaza, a 12-acre commercial shopping center comprised of eight buildings located on the south side of W. Campbell Avenue, between Fulton Street and S. San Tomas Aquino Road.
3. The subject tenant space is located within an existing office space on the second floor of an existing office/retail building near the middle of the shopping center.
4. The proposed project is an application to allow the establishment of a medical office use which is allowed in the C-1 Zoning District with the approval of a Conditional use Permit.
5. The proposal does not involve expansion of the building and includes only minor exterior changes to the existing property for site accessibility.
6. The hours of operation would be limited to 6:00 AM to 7:30 PM daily.
7. The business/public hours would be limited to 7:00 AM – 6:00 PM daily.
8. The maximum number of occupants at any one time is eight staff members and/or patients.
9. Pursuant to CMC Section 21.28.040(A) the previous office use requires eight parking spaces and the proposed medical use requires nine parking spaces.
10. Based on the varied uses with different peak hours and the existing 620 parking spaces in the shopping center, a deficit of one parking space is not anticipated to create a parking issue.
11. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed use is allowed within the applicable zoning district with Conditional Use Permit approval, and complies with all other applicable provisions of this Zoning Code and the Campbell Municipal Code;
2. The proposed use is consistent with the General Plan;
3. The proposed site is adequate in terms of size and shape to accommodate the fences and walls, landscaping, parking and loading facilities, yards, and other development features required in order to integrate the use with uses in the surrounding area;
4. The proposed site is adequately served by streets (W. Campbell Avenue & S. San Tomas Aquino Road) of sufficient capacity to carry the kind and quantity of traffic the use would be expected to generate;
5. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses on-site and in the vicinity of the subject property;
6. The establishment, maintenance, or operation of the proposed use at the location proposed will not be detrimental to the comfort, health, morals, peace, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.
7. Due to the unique nature and circumstances of the project, or special development features, the anticipated number of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standard, and would be satisfied by the existing or proposed number of parking spaces, as supported by review of the applicant's documentation and/or a parking demand study prepared by a qualified transportation engineer accepted by the decision-making body;
8. Conditions of approval have been incorporated into the project to ensure the long-term adequacy of the provided off-street parking; and
9. Approval of the parking modification permit will further the purpose of this chapter.
10. The project is Categorically Exempt under Section 15301, Class 1 of the California Environmental Quality Act (CEQA), pertaining to the operation and leasing of an existing private structure.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Conditional Use Permit and Parking Modification Permit (PLN-2020-41) to allow establishment of a medical office use (weight loss clinic) within an existing office space located at **1626 W. Campbell Avenue**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 11th day of August, 2020, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners
ABSTAIN: Commissioners:

APPROVED: _____
Michael Krey, Chair

ATTEST: _____
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL
Conditional Use Permit (PLN-2020-41)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

1. Approved Project: Approval is granted for a Conditional Use Permit and Parking Modification Permit (PLN-2020-41) to allow a medical office use within an existing office space located at **1626 W. Campbell Avenue**. The project shall substantially conform to the Project Plans and Written Statements stamped as received by the Planning Division on May 15, 2020 and March 13, 2020, except as may be modified by the Conditions of Approval contained herein.
2. Permit Approval Expiration: The Conditional Use Permit approval shall be valid for one year from the date of final approval. Within this one year period all conditions of approval shall be fulfilled and the use established. Failure to meet this deadline will result in the Conditional Use Permit being void. Abandonment, discontinuation, or ceasing of operations for a continuous period of twelve months shall void the Conditional Use Permit approved herein.
3. Operational Standards: Consistent with the submitted Written Descriptions and City standards, any medical office use operating pursuant to the Conditional Use Permit approved herein shall conform to the following operational standards. Significant deviations from these standards (as determined by the Community Development Director) shall require approval of a Modification to the Conditional Use Permit.
 - a. **Maximum Occupancy**: A maximum of eight staff members and/or patients shall be permitted on the premises at any time, which is further subject to the maximum occupancy capacities of certain rooms as determined by the California Building Code (CBC). It is the responsibility of the business owner to provide adequate entrance controls to ensure that occupancy is not exceeded.
 - b. **Hours of Operation**: Hours of operation shall be as follows. By the end of 'Business Hours', all patients shall have exited the premises. By the end of the 'Operational Hours' all employees shall be off the premises.

Operational/Staff:	6:00 AM – 7:30 PM, Daily
Business/Public:	7:00 AM – 6:00 PM, Daily
 - c. **Parking Management**: In the event that a verifiable complaint is received by the City regarding parking, the Community Development Director may reduce the permitted occupancy, limit the hours of operation, require greater staggering of

- appointments, require additional parking management strategies and/or forward the project to the Planning Commission for review.
- d. **Smoking:** "No Smoking" signs shall be posted on the premises in compliance with CMC 6.11.060.
 - e. **Loitering:** There shall be no loitering allowed outside the business. The business owner is responsible for monitoring the premises to prevent loitering.
 - f. **Trash Disposal and Clean-Up:** All trash disposal, normal clean-up, carpet cleaning, window cleaning, sidewalk sweeping, etc. shall occur during the "operational hours."
 - g. **Business License:** The business shall be required to obtain and maintain a City business license at all times.
4. **Storefront Windows & Doors:** At no time shall an obscure wall or barrier (i.e. drapery, window tinting, blinds, furniture, inventory, shelving units, storage of any kind or similar) be installed along, behind or attached to windows or doorways that blocks visual access to the tenant space or blocks natural light without first obtaining written approval by the Community Development Director.
 5. **Landscape Maintenance:** All landscaped areas shall be continuously maintained in accordance with City Landscaping Requirements (CMC 21.26). Landscaped areas shall be watered on a regular basis so as to maintain healthy plants. Landscaped areas shall be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.
 6. **Signage:** No signage is approved as part of the development application approved herein. New signage shall not be installed prior to approval of a sign permit.
 7. **Location of Mechanical Equipment:** No roof-mounted mechanical equipment (i.e. air conditioning units, ventilation ducts or vents), shall be added to the existing building without providing screening of the mechanical equipment from public view and surrounding properties. The screening material and method shall be architecturally compatible with the building and requires review and approval by the Community Development Director and Building Division prior to installation of such screening.
 8. **Outdoor Storage:** No outdoor storage is permitted on the subject property. No equipment, materials or business vehicles shall be parked and/or stored outside the building or within the parking lot.
 9. **Parking and Driveways:** All parking and driveway areas shall be maintained in compliance with the standards in Chapter 21.28 (Parking & Loading) of the Campbell Municipal Code. Parking spaces shall be free of debris or other obstructions.

BUILDING DIVISION

10. Expect this application to require approval from the following:
 - Campbell Planning Department
 - Campbell Public Works Department

- Campbell Civil Engineering Department
- Campbell Building Department
- West Valley Sanitation District
- San Jose Water District (279-7900)
- Outside structural and energy plan check
- Outside structural and energy and complete code plan check
- Santa Clara County Fire Department
- HAZMAT
- Santa Clara County Department of Environmental Health
-

11. This Development Review Committee (DRC) preliminary review is from Campbell's Building Department. The intent is to identify major elements of concerns or omissions and to identify an expected process for project approval and permit issue. It is not a substitute for plan check and may not identify elements that may be observed during plan check. Time needed for a plan review cannot be accurately estimated at this time. The type of project, the quantity of plan review departments and the quality of the project documents will all contribute to time needed for review and eventual approval.

12. All our permit applications are now done online. From our website www.ci.campbell.ca.us get to → Community Development → Building Inspection Division and begin the online application. You may choose from about 80 different type permits that are grouped into 10 Application Categories. Read the Application Guide as it will list the required documents as well as the required naming of files and provide links to design elements. Upload your drawings and any calculations or documents that are listed on the guide and be sure to including a completed Acknowledgement Statement. When we receive the application, we will review it. If some of the documents are missing or not named correctly, we will return it for adjustment. After acceptance, we will assess plan check fees that may be paid online and then proceed with the routing process (Fire, Planning, PW, etc.).

13. This application will require these documents (available at www.ci.campbell.ca.us)

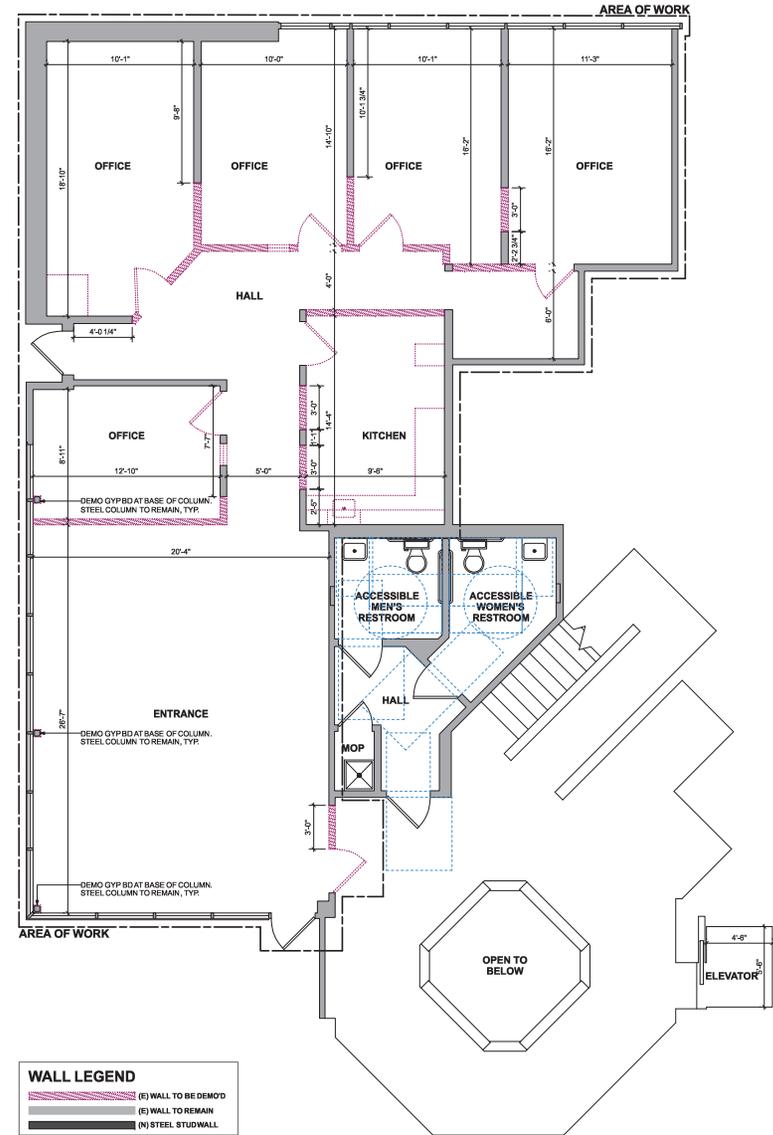
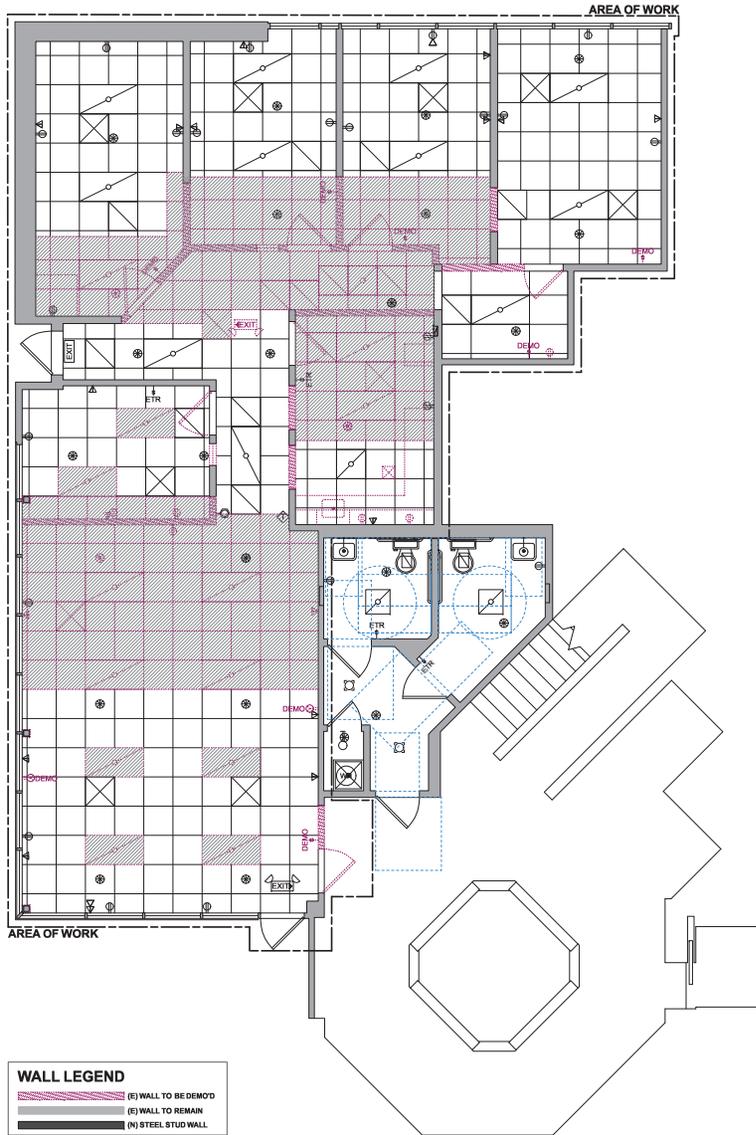
- Demolition permit
- Acknowledgement Statement (all online submittals)
- Intent to Occupy
- Owner Builder Acceptance of Liability for concurrent Planning and Building review
- West Valley Sanitation District approval letter
- Special Inspection checklist (signed by owner, eng'r, and plans examiner)
- Structural Calculations and Design
- Truss Design and Calculations
- Soil Evaluation Report
- Construction Tax Exemption
- Request for classification of new vs. remodel vs. new using portions of existing
- Title-24 Energy Report

- Clean Bay – Santa Clara Valley Non-point Pollution Control specification sheet
- California Accessibility Hardship Exemption
- Receipt of Park Fees paid to Campbell Public Works Department
- Receipt of school district payment for developer fees
 - Campbell Union School District (378-3405)
 - Campbell Union High School District (371-0960)
 - Campbell Union High School District (371-0960)
 - Moreland School District (874-2900)
 - Cambrian School District (377-2103)

14. Any commercial project will require the plans to be developed by an architect.
15. Commercial projects are subject to \$0.198 per sq ft developer fees. Contact the Building Division (408) 866-2130 to obtain fee payment forms and pay fees directly to the applicable school district(s).
16. Include the standard, Santa Clara Valley Non-point Source Pollution Control Program specification sheet in your plan submittal package. The specification sheet (size 24" X 36") is available at: <http://ca-campbell.civicplus.com/DocumentCenter/View/112>

FIRE DEPARTMENT

17. Formal Plan Review: Review of this development proposal is limited to accessibility of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Division all applicable construction permits.
18. No Violation: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

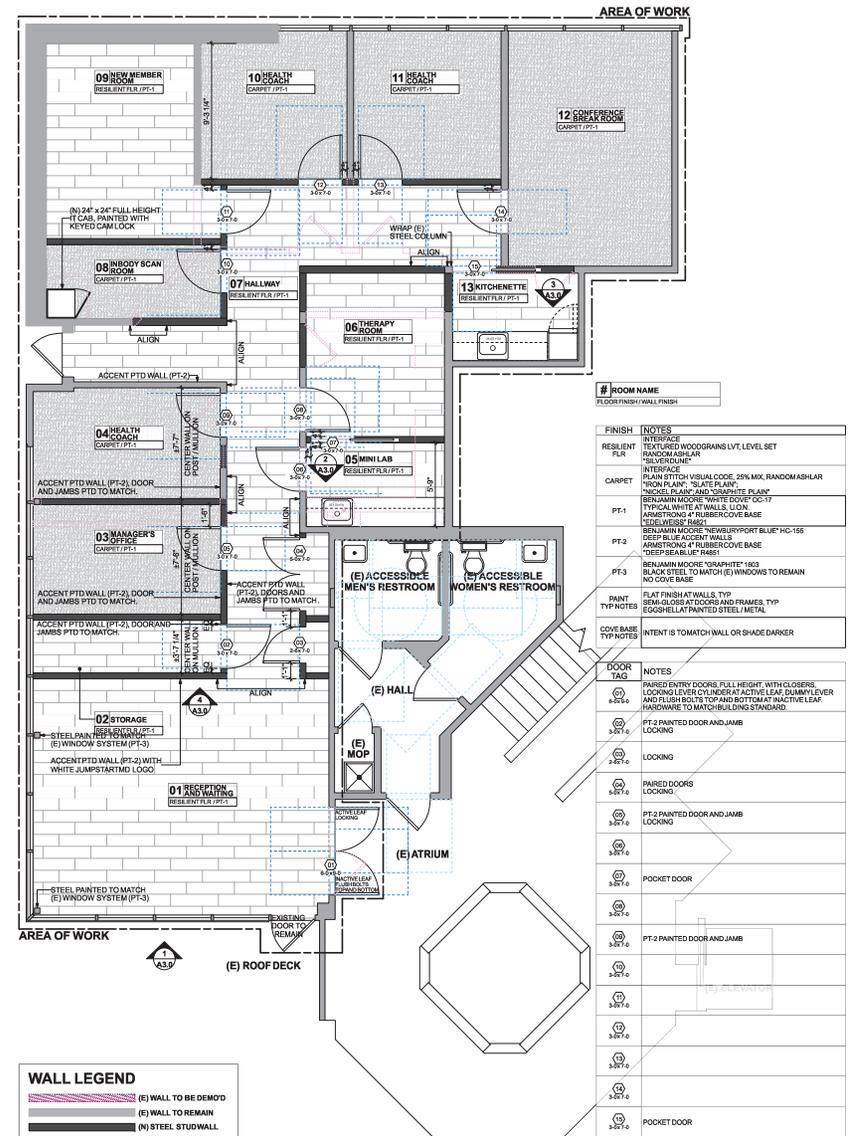
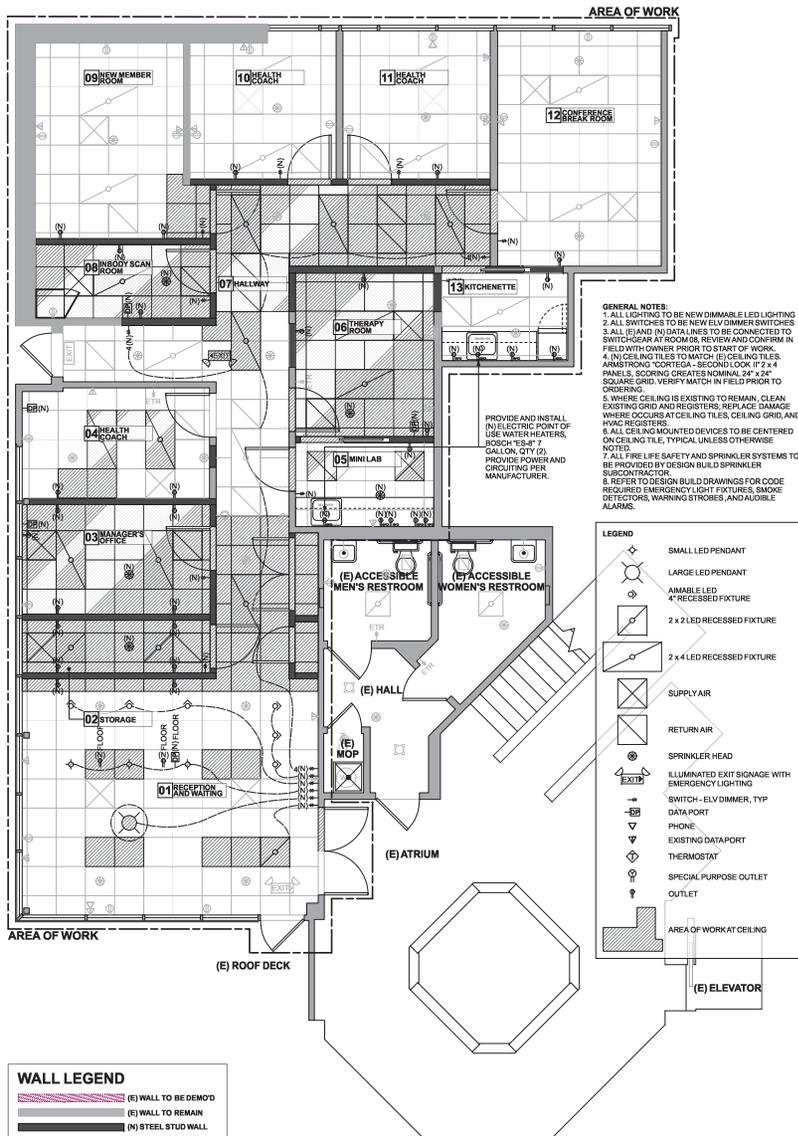


EXISTING PLAN AND REFLECTED CEILING PLAN

DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.21.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	▲
05.09.20	PLANNING RESPONSE	▲

PROJECT: 423
DRAWN: -
CHECK: -
SCALE: 1/4" = 1'-0"

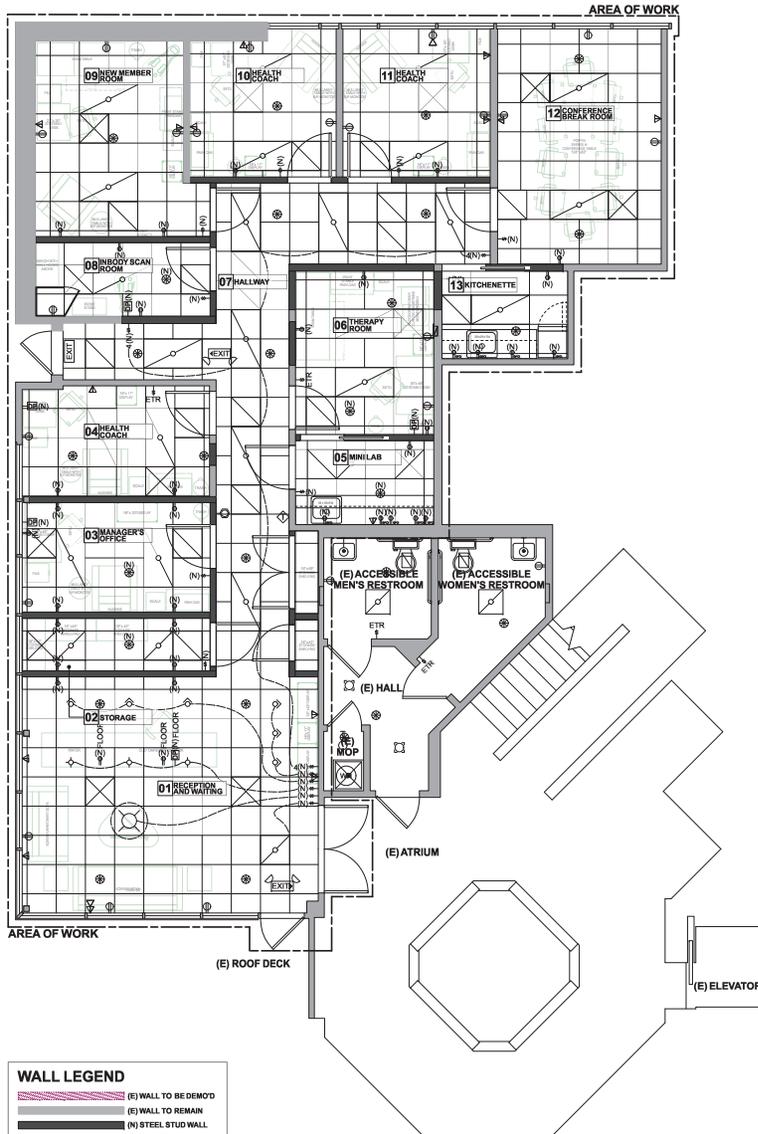
SHEET:
A1.0



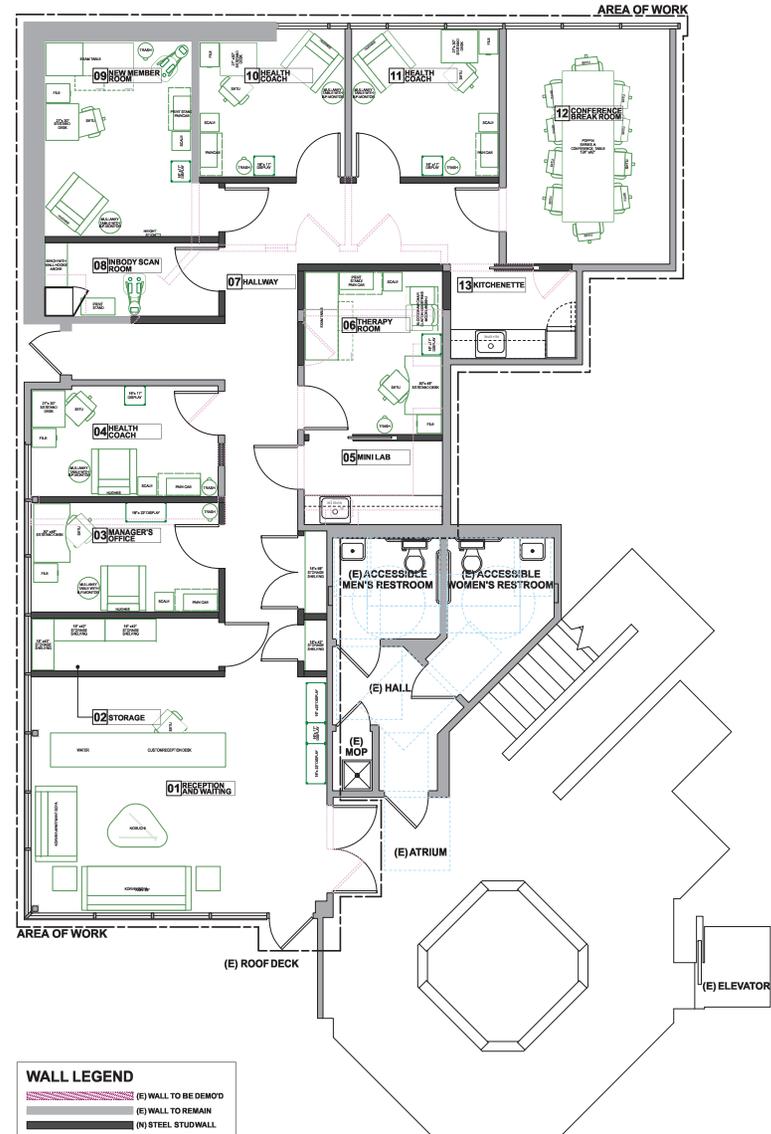
PROPOSED PLAN AND REFLECTED CEILING PLAN

DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.21.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	
05.09.20	PLANNING RESPONSE	

PROJECT:	423
DRAWN:	-
CHECK:	-
SCALE:	1/4" = 1'-0"



NEW REFLECTED CEILING PLAN - FURNITURE LAYOUT
SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN - FURNITURE LAYOUT
SCALE: 1/4" = 1'-0"



FURNITURE LAYOUT PLAN

DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.14.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	△
05.08.20	PLANNING RESPONSE	△

PROJECT: 423
DRAWN: -
CHECK: -
SCALE: 1/4" = 1'-0"

SHEET:

A4.0



CARPET
INTERFACE
PLAIN STITCH
COLLECTION: VISUAL CODE
STYLE #: 13925A600
COLOR: 165961 SLATE PLAIN
SIZE: 25cm x 1m (9 13/16" x 39 3/8")
25% MIX OF EACH COLOR
RANDOM ASHLAR PATTERN

PT-3
BENJAMIN MOORE
160 "SOA WHITE"
BLACK STEEL TO
MATCH EXISTING
WINDOWS
NO COVE BASE

PT-2
BENJAMIN MOORE
HC-56 "NEWBURYPORT BLUE"
ARMSTRONG 4" RUBBER COVE BASE
R451 "DEEP SEA BLUE"

PT-1
BENJAMIN MOORE
OC-17 "WHITE DOVE"
ARMSTRONG 4" RUBBER COVE BASE
R451 "EDELWEISS"

CARPET
INTERFACE
PLAIN STITCH
COLLECTION: VISUAL CODE
STYLE #: 13925A600
COLOR: 165916 IRON PLAIN
SIZE: 25cm x 1m (9 13/16" x 39 3/8")
25% MIX OF EACH COLOR
RANDOM ASHLAR PATTERN

RESILIENT FLOOR
INTERFACE
TEXTURED WOODGRAINS LVT
COLLECTION: LEVEL SET
STYLE #: A004
COLOR: A0447 88.VER DUNE
SIZE: 25cm x 1m (9 13/16" x 39 3/8")
RANDOM ASHLAR PATTERN

COUCH
"LAGUNA BEACH"

CHAIRS
JOYBIRD "KEY LARGO CORAL"
JOYBIRD "KEY LARGO RUBY"
JOYBIRD "KEY LARGO DENIM"
JOYBIRD "KEY LARGO GOLDEN"

CARPET
INTERFACE
PLAIN STITCH
COLLECTION: VISUAL CODE
STYLE #: 13925A600
COLOR: 165919 NICKEL PLAIN
SIZE: 25cm x 1m (9 13/16" x 39 3/8")
25% MIX OF EACH COLOR
RANDOM ASHLAR PATTERN

- GENERAL NOTES:**
1. PROVIDE ADDITIONAL MATERIALS FOR FUTURE REPAIRS:
1/2 GALLON OF EACH PAINT COLOR
4 CARPET TILES OF EACH COLOR/STYLE
4 RESILIENT FLOOR TILES OF EACH COLOR
5 ACOUSTIC CEILING PANELS
 2. EXISTING SUB FLOOR SHALL BE CLEAN, SMOOTH, AND LEVEL. CONTRACTOR SHALL REPAIR DEFECTS THAT WILL TELEGRAPH OR OTHERWISE IMPAIR THE FINAL FINISH.
 3. MODULAR CARPET AND TILE SHALL RUN IN AN EAST-WEST DIRECTION. SEE PLANS. DIMENSIONS OF CARPET TILE AND VINYL COMPOSITE TILE ARE THE SAME. EAST-WEST JOINTS ARE INTENDED TO ALIGN THROUGH-OUT THE SUITE FOR A CONSISTENT, LINEAR LAYOUT. NORTH-SOUTH JOINTS ARE INTENDED TO LIE IN A RANDOM ASHLAR PATTERN. JOINTS SHALL BE PARALLEL TO WALLS.
 4. CLEAN AND SEAL RESILIENT FLOORING PER MANUFACTURER'S RECOMMENDATIONS AT JOB COMPLETION.

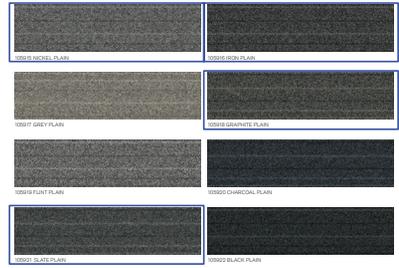


CABINETS
HOME DEPOT HOME DECORATORS COLLECTION
MIDTOWN "MATTE WHITE"
FLUSH PANEL (BLAB)
FULL OVERLAY (EURO STYLE)
ALL PLYWOOD CONSTRUCTION
OR ARCHITECT AND OWNER APPROVED EQUAL



COUNTERTOP
DURCON
SOLAR LAB TOP
"GRAPHITE"
OR ARCHITECT AND OWNER APPROVED EQUAL

Plain Stitch™ Colorline



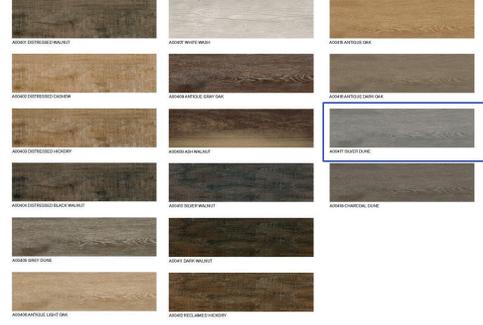
Specifications

Material: 65% 1/8" backing
Backing System: 100% Recycled Cotton Spun & Nylon
Face: 100% Recycled Cotton Spun & Nylon
Color System: 100% Recycled Cotton Spun & Nylon
Construction: 100% Recycled Cotton Spun & Nylon
Dimensional Precision: 100% Recycled Cotton Spun & Nylon
Slit-Strip Protection: 100% Recycled Cotton Spun & Nylon
Pile Direction: 100% Recycled Cotton Spun & Nylon
Total Recycled Content: 100% Recycled Cotton Spun & Nylon
DURCON Solar Lab Plus W/2000D

Specifications

Product Name: 10550
Manufacturer: Interface
Material: 65% 1/8" backing
Backing System: 100% Recycled Cotton Spun & Nylon
Face: 100% Recycled Cotton Spun & Nylon
Color System: 100% Recycled Cotton Spun & Nylon
Construction: 100% Recycled Cotton Spun & Nylon
Dimensional Precision: 100% Recycled Cotton Spun & Nylon
Slit-Strip Protection: 100% Recycled Cotton Spun & Nylon
Pile Direction: 100% Recycled Cotton Spun & Nylon
Total Recycled Content: 100% Recycled Cotton Spun & Nylon
DURCON Solar Lab Plus W/2000D

Textured Woodgrains Colorline



FINISHES

DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.21.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	▲
05.09.20	PLANNING RESPONSE	▲

PROJECT: 423
DRAWN: -
CHECK: -
SCALE: 1/4" = 1'-0"

SHEET:
A5.0

All New E-Z Series

ADA-compliant undersink protection
TRUEBRO
L.P. CORPORATION

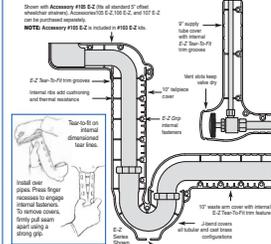
General Description:

Lav Guard² E-Z Series waste and supply piping covers safely ADA-compliance requirements. Quality E-Z Grip Internal fasteners and internal, E-Z Tee-to-Fit trimming feature allow for fast installation without tools. Series #100 E-Z kits are designed to fit in all tubular and cast brass P-trap assemblies. Series #400 kits are the "original" Lav Guard design and fit schedule 40 ABS and PVC P-trap assemblies — regardless of their geometry or relational offset. Valve cover completely encloses angle valve and supply tube for both handed and lefey type water stops.

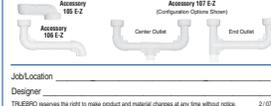
Material	Molded vinyl
Nominal Wall	1/8" constant
Durometer	70-80 - Shore A
UV Protection	Will not fade or discolor
Durability	Virtually indestructible
Trimming (E-Z Series)	Internal, E-Z Tee-to-Fit Trim feature
Fasteners (E-Z Series)	Internal E-Z Grip fasteners (reusable)
Color	China white
Flammability	Apply Latex paint
Surfing Characteristics	Self extinguished ASTM D-568
Bacteria/Fungus Resistance	ASTM G21 and G22/ Resist 0 growth
Maintenance	Use common detergents

Manufactured under one or more of the following U.S. or Canadian patents:
5,335,170; 5,363,031; 5,248,469; 5,241,443; 5,278,538; 5,099,838; 5,915,412;
5,914,913; 5,873,729; 5,969,892; 5,075,204; 5,174,457; 5,102,007; 5,708,608

TRUEBRO
L.P. CORPORATION
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e-mail: info@truebro.com Internet: http://www.truebro.com



- #100 E-Z Series (shown above right) for tubular and cast brass P-trap assemblies.**
#400E-Z Series (original design) for schedule 40 P-trap assemblies.
- | | | |
|--|---|---|
| <input type="checkbox"/> Model #99 E-Z
One angle valve and supply cover | <input type="checkbox"/> Model #100 E-Z
One P-trap cover, two angle valves and cover | <input type="checkbox"/> Model #105-K
Right 0° cover |
| <input type="checkbox"/> Model #100W E-Z
One P-trap cover, two angle valves and cover | <input type="checkbox"/> Model #102W E-Z
One P-trap cover, two angle valves and cover | <input type="checkbox"/> Accessory #106 E-Z
One ballast strainer cover and offset waste cover (schedule 40) |
| <input type="checkbox"/> Model #100W* E-Z
One P-trap cover, one angle valve cover | <input type="checkbox"/> Model #103 E-Z
One P-trap cover, two angle valves and supply covers, one 2" offset strainer (schedule 40) cover | <input type="checkbox"/> Accessory #107 E-Z
Two ballast strainer covers and center or end offset waste cover (schedule 40) |
| <input type="checkbox"/> Model #101 E-Z
One P-trap cover, one angle valve cover | <input type="checkbox"/> Accessory #104 E-Z
One 2" offset strainer (schedule 40) cover | <input type="checkbox"/> Accessory Hex 99 E-Z
One 1/4" adapter for drain waste and overflow |
| <input type="checkbox"/> Model #101W E-Z
One P-trap cover, one angle valve cover | <input type="checkbox"/> Accessory #105 E-Z
One 1/4" adapter for drain waste and overflow | <input type="checkbox"/> Accessory Hex 100 E-Z
One 1/4" adapter for drain waste and overflow |



Job/Location
Designer
TRUEBRO reserves the right to make product and material changes at any time without notice. 2/10

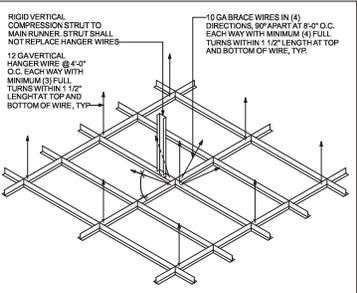
TYPICAL PLUMBING SUPPLY AND WASTE PIPING COVERS, WHERE OCCURS (6)



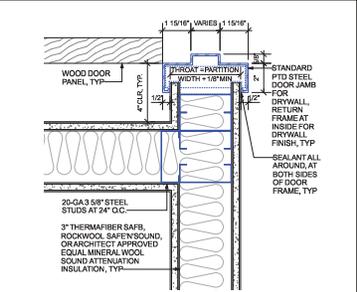
EXISTING ACCESSIBLE MEN'S RESTROOM (5)



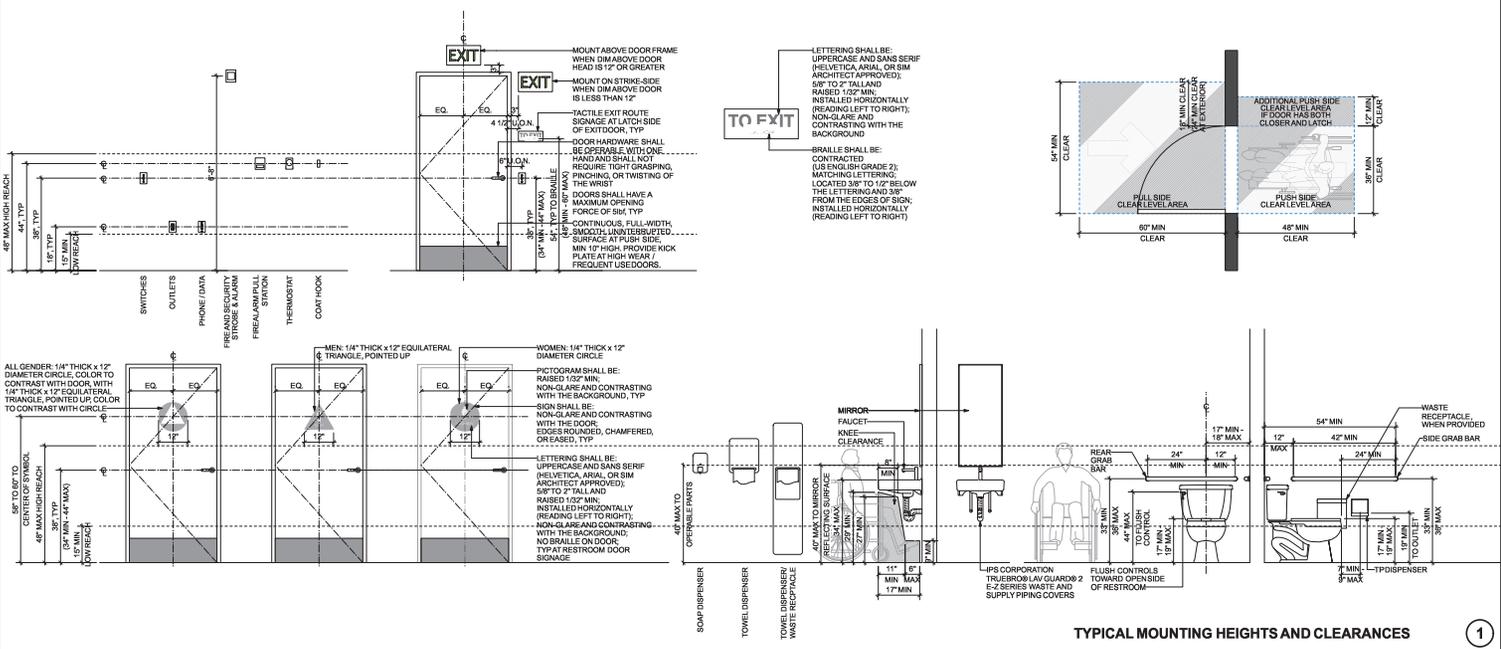
EXISTING ACCESSIBLE WOMEN'S RESTROOM (4)



TYPICAL CEILING GRID BRACING (3)



TYPICAL DOOR JAMB (HEAD SIM) (2)



TYPICAL MOUNTING HEIGHTS AND CLEARANCES (1)

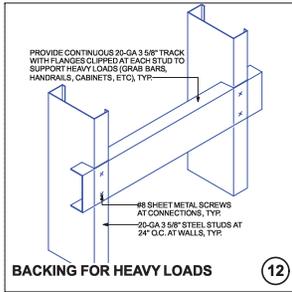


TYPICAL ACCESSIBILITY, DOOR, AND CEILING GRID DETAILS

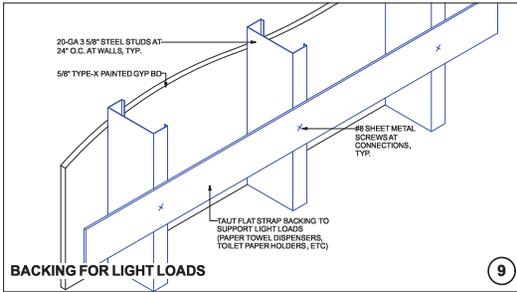
DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.21.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	Δ
05.09.20	PLANNING RESPONSE	Δ

PROJECT: 423
DRAWN: ATW
CHECK: -
SCALE: 3"=1'-0"

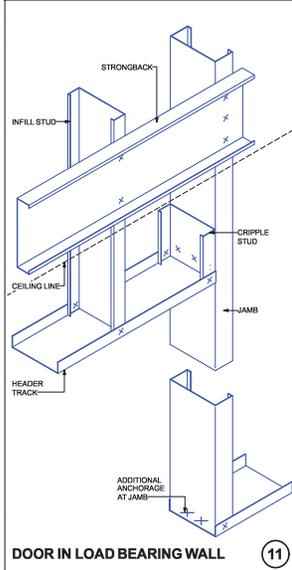
SHEET:
A7.1



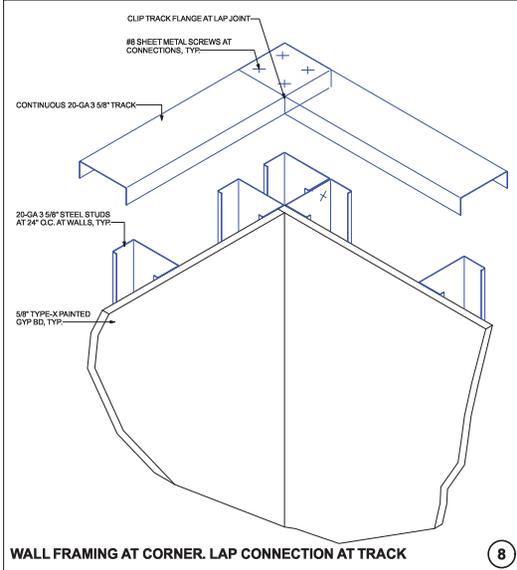
BACKING FOR HEAVY LOADS (12)



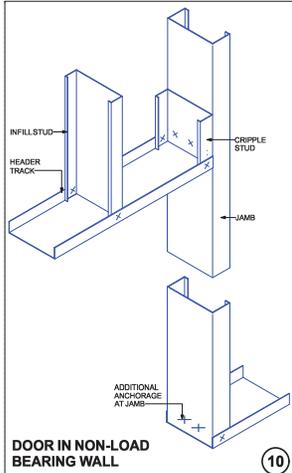
BACKING FOR LIGHT LOADS (9)



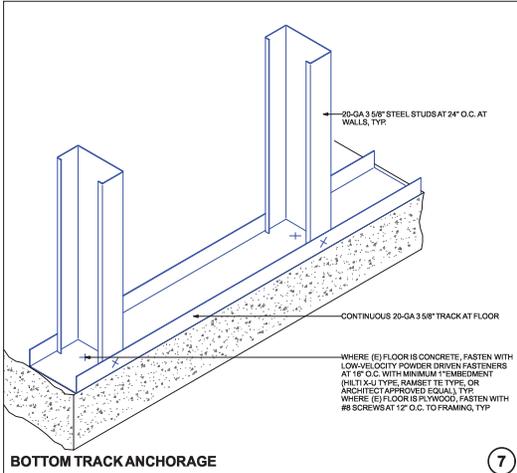
DOOR IN LOAD BEARING WALL (11)



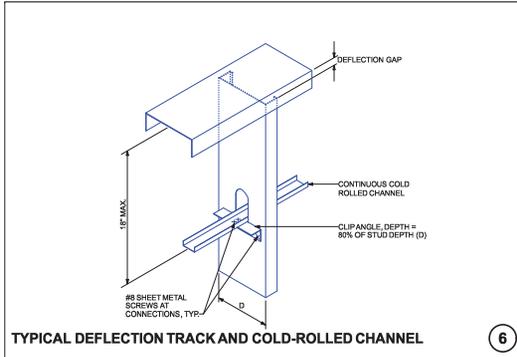
WALL FRAMING AT CORNER. LAP CONNECTION AT TRACK (8)



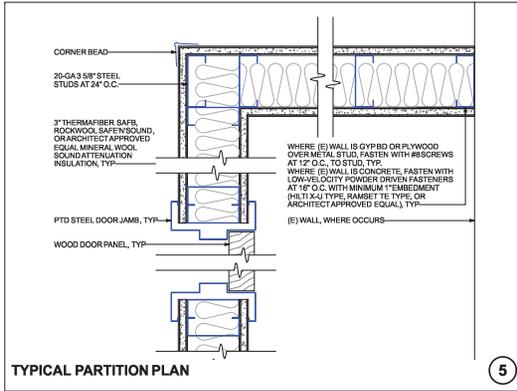
DOOR IN NON-LOAD BEARING WALL (10)



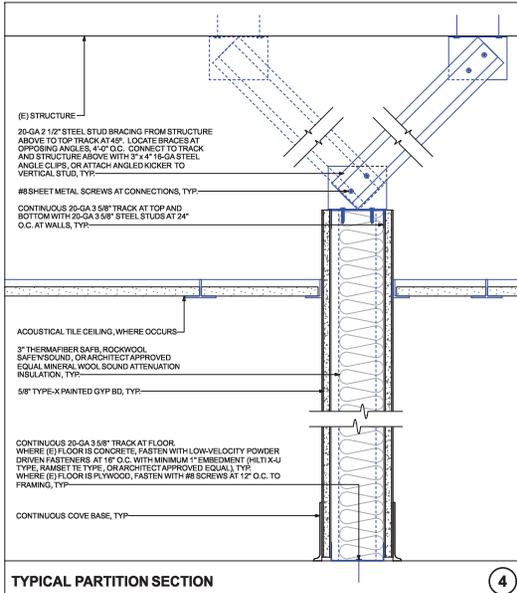
BOTTOM TRACK ANCHORAGE (7)



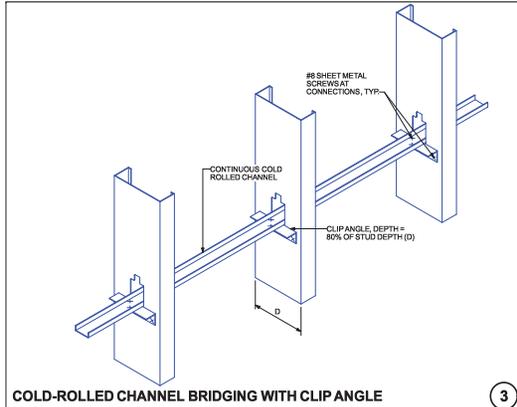
TYPICAL DEFLECTION TRACK AND COLD-ROLLED CHANNEL (6)



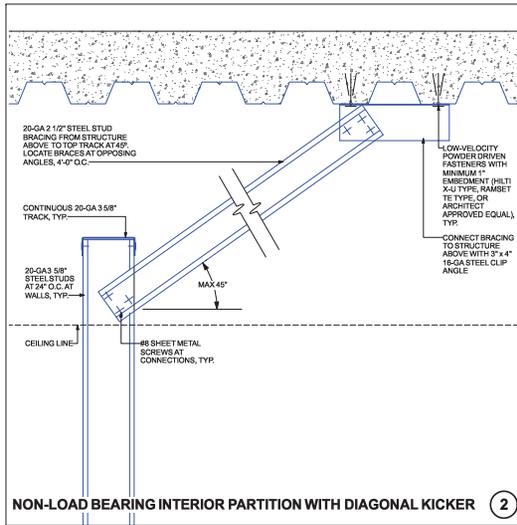
TYPICAL PARTITION PLAN (5)



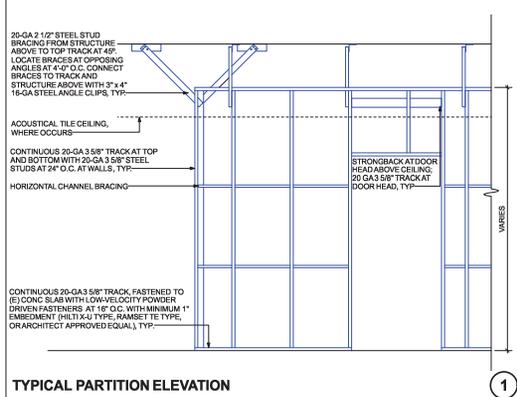
TYPICAL PARTITION SECTION (4)



COLD-ROLLED CHANNEL BRIDGING WITH CLIP ANGLE (3)



NON-LOAD BEARING INTERIOR PARTITION WITH DIAGONAL KICKER (2)



TYPICAL PARTITION ELEVATION (1)



TYPICAL FRAMING DETAILS

DATE	SUBMISSION	REV
11.21.19	BUILDING PERMIT	
12.21.19	FIRE & LIFE SAFETY PLAN	
02.14.20	BUILDING RESPONSE	▲
05.09.20	PLANNING RESPONSE	▲

PROJECT: 423
DRAWN: ATW
CHECK: -
SCALE: 3/8"=1'-0"

SHEET:
A7.2

FRESH CONCRETE AND MORTAR APPLICATION

BEST MANAGEMENT PRACTICES FOR:

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.

Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

GENERAL BUSINESS PRACTICES

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.

- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.

- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

When breaking up paving, be sure to pick up all the pieces and dispose properly.

Recycle large chunks of broken concrete at a landfill.

Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.

Never bury waste material.

STORM DRAIN POLLUTION FROM MASONRY AND PAVING

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

DURING CONSTRUCTION

- Don't mix up too fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.

Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.

Use temporary check dams or ditches to divert runoff away from storm drains.

Protect storm drains with hay bales or other erosion controls.

Revegetation is an excellent form of erosion control for any site.

POOL/FOUNTAIN/SPA MAINTENANCE

Never discharge pool or spa water to a street or storm drain.

OR

When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.

Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.

Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.

Dispose of unused pesticide as hazardous waste.

Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.

In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.

Do not place yard waste in gutters.

Do not blow or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities deplete soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.

Maintain all vehicles and heavy equipment. Inspect frequently for leaks.

Perform major maintenance, repair jobs, vehicle and equipment washing off site.

If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drip cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.

Do not use diesel oil to lubricate equipment or parts.

Clean up spills immediately when they happen.

Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cut litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.

Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.

Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

Report significant spills to the appropriate spill response agencies immediately.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

BEST MANAGEMENT PRACTICES FOR THE: PAINTING/CLEANUP

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.

For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

Recycle excess water-based paint, or use up. Dispose of excess liquid, including glazes, as hazardous waste.

Recycle leftover paint whenever possible.

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Reuse leftover oil-based paint. Dispose of excess liquid, including glazes, as hazardous waste.

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EARTH MOVING ACTIVITIES

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Thump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DETECTING CONTAMINATED SOIL OR GROUNDWATER

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

WATCH FOR ANY OF THESE CONDITIONS:

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.

- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.

- Use check dams or ditches to divert runoff around excavations.

- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.

- Perform major equipment repairs away from the job site.

- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.

- Do not use diesel oil to lubricate equipment or parts.

ROADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment paving machines dump trucks concrete mixers
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

Develop and implement erosion/sediment control plans for embankments.

Schedule excavation and grading work for dry weather.

Check for and repair leaking equipment.

Perform major equipment repairs in designated areas at your yard, away from the construction site.

When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.

Do not use diesel oil to lubricate equipment or parts.

Recycle used oil, concrete, broken asphalt, etc. whenever possible.

DURING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.

- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.

- Use check dams, ditches, or berms to divert runoff around excavations.

BEST MANAGEMENT PRACTICES FOR THE:

Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.

Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.

Catch drips from paver with drip pans or absorbent material (cloths, rags, etc.) placed under machine when not in use.

Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.

Collect and recycle or appropriately dispose of excess abrasive gravel or sand.

Avoid over application by water trucks for dust control.

ASPHALT/CONCRETE REMOVAL

Avoid creating excess dust when breaking asphalt or concrete.

After breaking old pavement, be sure to remove all chunks and pieces.

Make sure broken pavement does not come in contact with rainfall or runoff.

Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drains during saw-cutting if necessary.

Never hose down streets to clean up tracked dirt.

STORM DRAIN POLLUTION FROM ROADWORK

Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

Construction industry

WHAT CAN YOU DO?

Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.

Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.

Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.

Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.

Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.

Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.

Make sure portable toilets are in good working order. Check frequently for leaks.

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MATERIALS/WASTE/HANDLING

Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.

Use recyclable materials and containers whenever possible.

Dispose of all wastes properly. Wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation that is recycled: at the back of Blueprint for a Clean Bay. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.

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BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bays. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

Construction sites are common sources of storm water pollution. Materials

February 14, 2020,

To Whom It May Concern:

Founded in 2007 by Stanford-trained physicians, Drs. Sean Bourke and Conrad Lai, JumpstartMD was born out of concern for the serious effects that the obesity epidemic has had on the health of our communities. From years of medical experience in emergency medicine, they became convinced that key positive changes to traditional weight loss practices could improve the lives of millions, so they developed a personalized, physician-supervised program focused on fresh, whole foods and sustainable lifestyle changes.

Over the past decade, JumpstartMD has quickly grown into the most referred medically supervised weight loss program in Northern California. Directed by expert physicians, nutritionists, psychologists, and physical fitness professionals, our one-on-one, clinical approach to wellness is delivered from community-based centers that enable us to empower patients with the personal knowledge to thrive and the inspirational support to flourish.

A recent study of 22,407 of our members published in The Journal of Obesity found that the JumpstartMD program produced the most significant weight loss outcomes when compared to other national programs. From our first center in San Ramon, CA, JumpstartMD has grown to include a total of 12 regional Bay Area treatment centers that have successfully improved the lives of over 70,000 local community members. Because our high-touch approach is most effective, our goal is to continue growing and delivering this beneficial service to additional communities nation-wide.

Just as our unique program was born from a true commitment to the health and wellness of our members, our presence is beneficial to the communities we serve. From location selection, build-out time, parking, traffic, and hours of operation, to the positive effect we have to other nearby businesses. Our goal is to truly become a valued member of the community from our very first day. To this end, we intentionally choose to open new treatment centers in high-trafficked commercial locations that are conveniently located for the members we serve and to other local businesses, such as quality grocery stores and personal/lifestyle services. We've found through feedback from members and neighboring businesses that our members typically avail themselves of these partners while visiting us, which helps to minimize our potential impact on overall parking and traffic. Because our centers are essentially much like professional suites, with the addition of a small space for the optional drawing of patient blood and performing hormone replacement therapy insertions, our build-out times are typically less than 2 months. New centers are typically staffed by 3 people, inclusive of the supervisory physician, physician assistant, or nurse practitioner, and are open between 3 and 4 days a week, with hours varying from 7am to 3pm. This initial schedule allows us to see an anticipated 25 new and existing members per day with ability to grow to 40 without additional changes. After opening and commensurate with member growth, our goal is to be open 7am to 6pm daily with staffing of up to 8 people.

Respectfully,

A rectangular box containing a handwritten signature in cursive script that reads "Sean Bourke".

Dr. Sean Bourke

1) Due to the unique nature and circumstances of the project, or special development features, the anticipated number of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standard, and would be satisfied by the existing or proposed number of parking spaces, as supported by review of the applicant's documentation and/or a parking demand study prepared by a qualified transportation engineer accepted by the decision-making body;

RESPONSE: Since only one additional parking space will not have a significant impact on the current parking demand and because there are currently 620 shared parking spaces available in total, we believe extensive parking studies are not necessary. Also our client would like to avoid any unnecessary cost related to parking studies on a site where the parking is already maximized. Given these conditions, we are asking the Campbell Community Development Department to approve our Parking Modification Permit which grants the subject tenant space one additional parking space.

2) Conditions of approval have been incorporated into the project to ensure the long-term adequacy of the provided off-street parking; and

RESPONSE: Conditions of approval to be included in the building application.

3) Approval of the parking modification permit will further the purpose of this chapter.

RESPONSE: The purpose of chapter 21.18 as described in the Campbell Muni Code is to, "...improve the urban form of the community, and protect the public safety." We believe that the existing parking layout for Kirkwood Plaza is already optimized and balanced with clear, accessible paths and landscaping which nicely intervene with the parking. Most spaces have abutting sidewalks (and landscape strips) which allows safe passage for pedestrians. Since the current parking layout meets the purpose of chapter 21.18 in the CMC, we are proposing to leave the existing parking as is.



Naz Healy

From: Andy Wojnoonski <andy@wadesign.com>
Sent: Thursday, July 23, 2020 5:25 PM
To: Naz Healy
Cc: Kyle Usselton
Subject: Re: Planning Review Status: Tenant Improvement at 1626 W. Campbell Ave (PLN-2020-41 & PLN-APP376)

WARNING: This email originated from an external sender!

Hi Naz—

I just heard back from Chong Tseng at JumpStartMD:

The goal is to have 4 staff members (8 total staff members working in two shifts) seeing clients individually in roughly 1 hour blocks over the course of a 10 hour working day (7am - 6pm, with appropriate lunch and break periods). A full schedule would have 4 staff members meeting with 4 clients, resulting in 8 people on site at any given time. A more likely schedule is to have 3 staff members meeting with 3 clients with 1 receptionist/office manager and 1 client in the waiting room, again resulting in 8 people on site.

Hope that provides the info you need. Please let me know if you have any additional questions.

Thanks,
Andy

Andy Wojnoonski
Architect
license C32051

WA design
www.wadesign.com

805 Folger Avenue, 2nd Floor
Berkeley, CA 94710
office 510 883 0868 x3
cell / text 510 735 6412

On Jul 23, 2020, at 4:25 PM, Naz Healy <nazh@campbellca.gov> wrote:

Hi Kyle, please see below – could you confirm the number of staff/patients at any one time? Thank you

Naz Pouya Healy, RLA

Assistant Planner

City of Campbell | Community Development Department
70 N. First Street | Campbell, CA 95008
www.cityofcampbell.com | 408.866.2144

From: Naz Healy
Sent: Tuesday, July 14, 2020 9:36 AM
To: Kyle Usselton <kyle@wadesign.com>



CITY OF CAMPBELL • PLANNING COMMISSION
 Staff Report • August 11, 2020

PLN-2020-45
Grocery Outlet

Public Hearing to consider the application of Tannaz Haghayegh for a Conditional Use Permit and Parking Modification Permit (PLN-2020-45) to allow establishment of an 18,103 square foot grocery store (Grocery Outlet) with late-night hours and off-site general alcohol sales within an existing commercial building on property located at **100 N San Tomas Aquino Road** in the C-1 (Neighborhood Commercial) Zoning District.

STAFF RECOMMENDATION

That the Planning Commission take the following action:

1. **Adopt a Resolution (Attachment 1)**, approving a Conditional Use Permit and Parking Modification Permit (PLN-2020-45) to allow establishment of an 18,103 square foot grocery store (Grocery Outlet) with late-night hours and off-site general alcohol sales.

ENVIRONMENTAL (CEQA) DETERMINATION

Staff recommends that the Planning Commission find this project is Categorical Exempt under Section 15060(c)(2) of the California Environment Quality Act (CEQA), pertaining to activities that will not result in a direct or reasonably foreseeable indirect physical change to the environment.

PROJECT DATA

Zoning District:	C-1 (Neighborhood Commercial)
General Plan Designation:	<i>Neighborhood Commercial</i>
Total Building Area:	122,000 sq. ft. (approximate)
Tenant Space Area:	18,103 sq. ft.
Proposed Hours:	
Operational/Staff:	24 hours a day
Deliveries:	5:00 AM – 12:00 PM, Daily
Business/Public:	6:00 AM – 11:00 PM, Daily
Parking Required:	93 spaces (1 space per 200 sq. ft. of gross floor area plus 1 space per 1,000 sq.ft. of outdoor display area and 2 spaces replaced by cart storage)
Parking Provided:	91 spaces
Total Parking:	519 spaces

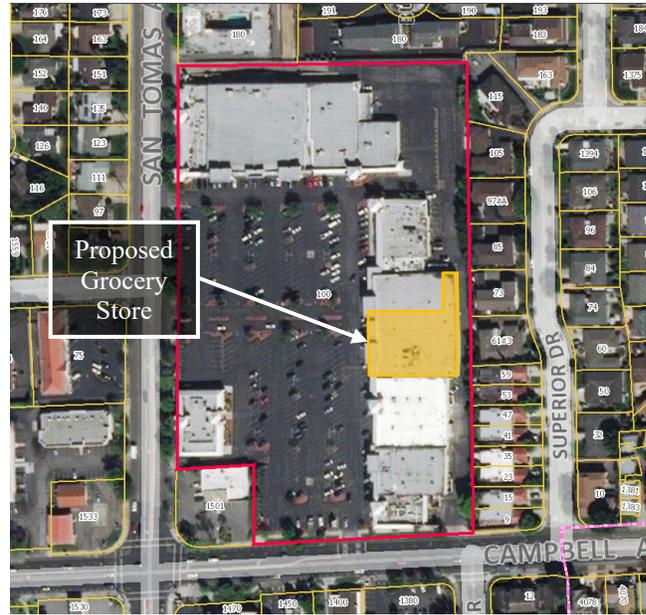
DISCUSSION

Location: The project site is the San Tomas shopping center, consisting of three buildings located at the northeast corner of North San Tomas Aquino Road and West Campbell Avenue within the C-1 (Neighborhood Commercial) Zoning District (reference **Attachment 2** – Location Map). The proposed grocery store would be located within a portion of the former CVS Pharmacy which recently relocated to a different tenant space within San Tomas Plaza.

Proposal: The proposed Conditional Use Permit application is necessary to operate an 18,103 square-foot grocery store with off-site general alcohol sales (beer/wine and spirits) as well as late night activities including daily 24-hour operational hours and deliveries as early as 5:00 AM (reference **Attachments 3 and 4** – Project Plans and Written Description).

ANALYSIS

Zoning Designation: The project site is located within the Neighborhood Commercial (C-1) Zoning District. The primary land use – a grocery store – requires a Conditional Use Permit when the grocery store is greater than 10,000 square feet. In addition, the requested off-site alcohol sales and late-night hours are also conditional uses. The proposed project would therefore be consistent with the property's zoning designation upon the Planning Commission's acceptance of the required findings contained in CMC Section 21.46.040 (Findings and Decision).



General Plan: The property is designated by the General Plan as *Neighborhood Commercial*. The purpose of the C-1 Zoning District is to accommodate businesses that serve the surrounding neighborhoods (as compared to regional-serving business that serve the wider City), as described by the General Plan:

The Neighborhood Commercial category is designed to encourage the location of commercial uses at major intersections in residential areas. Neighborhood Commercial uses accommodate small-scale, lower intensity commercial and office uses that provide goods and services to the adjacent residential neighborhood and are accessible by automobile, bicycle, transit, and by foot. Neighborhood Commercial areas should be designed to encourage convenient pedestrian and bicycle travel to and from surrounding neighborhoods. The architecture of the buildings should be compatible to the neighborhood. Grocery stores, pharmacies, restaurants, laundries and personal services are examples of neighborhood commercial uses.

Establishment of a large grocery store with late-night hours and off-site alcohol sales is consistent with the General Plan in that it would provide services and goods valuable to the community. The proposal could be found to be consistent with General Plan Land Use policies that encourage a variety of uses, particularly those within walking distance of residences.

Policy LUT-5.3: Variety of Commercial and Office Uses: Maintain a variety of attractive and convenient commercial and office uses that provide needed goods, services and entertainment.

Policy LUT-11.2: Services Within Walking Distance: Encourage neighborhood services within walking distance of residential uses.

Large Grocery Store: Within the C-1 Zoning District, the previous drugstore use and certain retail uses are permitted with no size restrictions, while other retail uses (grocery, furniture, and hardware stores) become conditional uses at 10,000 square feet in size or larger. As described in Campbell Municipal Code (CMC) Section 21.46.010, conditional uses are those that have the potential for special impact or uniqueness, requiring case-by-case consideration of the site, surroundings, and operations to determine suitability and/or conditions for a particular location.

The proposed grocery store would occupy 18,103 square feet of the original 25,289 square-foot drugstore, with a new 7,186 square-foot tenant space created from the remaining area. After reviewing the proposal and trip generation for the shopping center, the City Traffic Engineer determined that the establishment of a new grocery store creates less than significant VMT impacts under CEQA and generates a negligible number of added trips (reference **Attachment 5** – Traffic Determination).

The proposed grocery store would offer many of the same types of products as the previous drugstore such as packaged (including frozen and refrigerated) food items, personal care products, and household items which would result in similar business operations (i.e. deliveries from large trucks). Since the proportions of product types differ and would include more perishable food items, the frequency of deliveries may increase compared to the former drugstore. Deliveries would occur at an existing grade-level loading dock at the rear of the building which is separated from adjacent residential properties by a 20-foot driveway and five- to six-foot-tall concrete masonry wall (see image below).



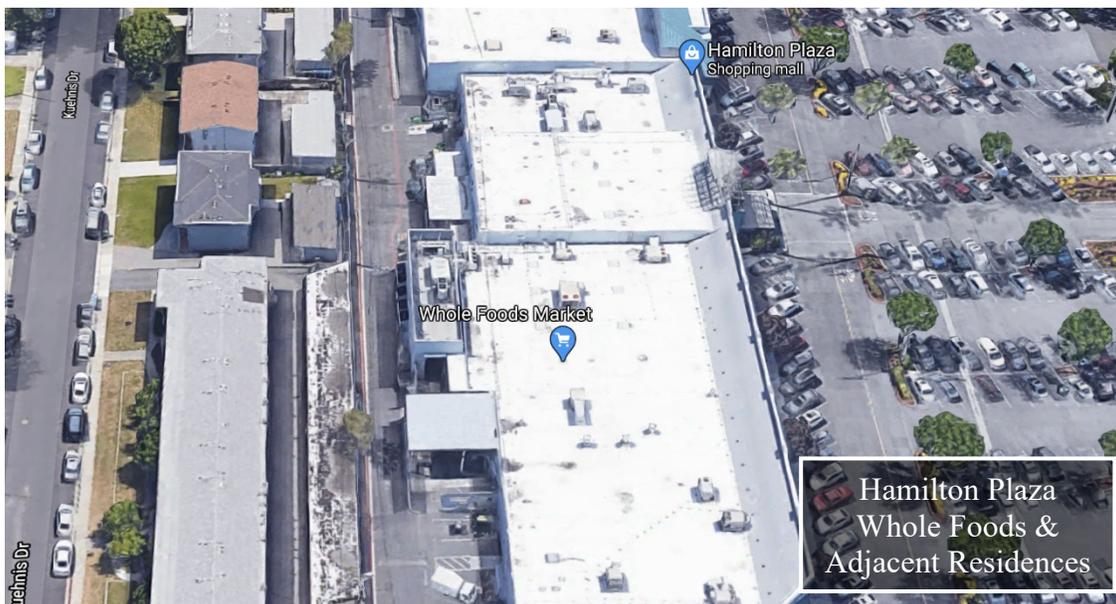
Late Night Activities: As noted, the proposed grocery store would be open to customers during standard hours (6:00 AM to 11:00 PM). In addition, the applicant is requesting 24-hour operational hours to allow for cleaning and stocking within the store, as well as delivery hours as early as 5:00 AM, which constitutes late-night activities. As such, late night activities require consideration by the Planning Commission to determine the appropriateness of the proposed hours of operation and to establish operational conditions as necessary to minimize impacts to nearby businesses or residents.

After-hours cleaning and stocking activities would largely be limited to the confines of the store, minimizing disruption to the adjacent residences. Therefore staff does not have concerns with employee activity during the hours of 11:00 PM to 6:00 AM that would occur within the store. In addition, after-hour activities at the front of the store would be buffered by the building itself and should not be perceivable to neighboring residents. However, 5:00 AM deliveries may likely result in impacts to residents who live in proximity to the delivery area.

The applicant’s written description indicates deliveries involving forklifts to unload/move pallets, refrigerator trucks which need to remain running during deliveries, and coordination between delivery drivers and store employees will be audible from the adjacent residences. To minimize the impacts of noise, staff is recommending operational conditions to address anticipated impacts. In particular, these conditions would restrict deliveries and outside rear activities to 7:00 AM to 7:00 PM.



The recommended conditions are consistent with the 2014 approval for Whole Foods in Hamilton Plaza, similarly situated as a grocery store with late-night activities located adjacent to residential uses with a rear delivery area (see image below). As conditioned, reasonable use of the existing delivery and trash enclosures can continue while minimizing adverse noise impacts for the neighbors.



Alcohol Sales: In accordance with CMC Section 21.36.110, “off-site alcoholic sales establishments shall be allowed by conditional use permit.” Although this section also provides locational parameters for alcohol sales, grocery stores are specifically exempted as the intent of these provisions is to restrict the establishment of liquor stores, defined as uses “*primarily* devoted to the selling of alcoholic beverages for consumption off the premises.” In this case the primary use would be a grocery store with incidental alcohol sales based on the floor area occupied by alcohol beverage products at 831 square feet or 4.6% of the sales floor (reference **Attachment 3** – Project Plans).

Since the alcohol license required by the California Department of Alcoholic Beverage Control (ABC) for off-site general alcohol sales (Type 21) is the same for primary and incidental sales, conditions of approval would limit alcoholic products for sale to no more than 10% of the store’s gross floor area (consistent with other similar approvals). Additionally, the sale of single-serving

containers—such as 50ml mini liquor bottles—would be prohibited. Lastly, should it be determined necessary by the Community Development Director, alcoholic products may be required to be secured in locked cabinets and coolers.

Parking: Since the previous use of the subject tenant space was retail, the establishment of a grocery store does not result in an additional parking demand. However the plans propose replacement of two parking spaces with cart storage areas. In shopping centers, the parking requirement is determined by individual uses when totaling the sum of each business’s parking requirement. In some cases, the existing parking supply could absorb a parking deficiency of a new use’s parking obligation. In this case, staff found that the center’s businesses require more parking than the supply.

Based on the varied uses with different peak hours and the total of 519 parking spaces in the shopping center, eliminating two parking spaces is not anticipated to create a parking issue. Moreover, it stands to reason that visitors may patronize multiple businesses within the shopping center during the same visit. In addition, providing designated areas for customers to leave carts rather than throughout the parking lot may also help preserve the availability of parking spaces.

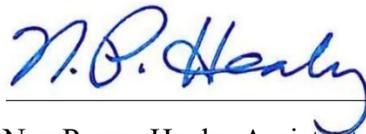
Police Department Review: The Police Department has reviewed this application and has no objections to the request with incorporation of standard conditions of approval for alcohol sales.

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) did not review this application as no exterior improvements to the building area are proposed except for paint colors (reference **Attachment 3** – Project Plans).

Attachments:

1. Draft Resolution
2. Location Map
3. Project Plans
4. Written Description
5. Traffic Determination

Prepared by:



Naz Pouya Healy, Assistant Planner

Approved by:



Paul Kermoyan, Community Development Director

RESOLUTION NO. 45XX

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A CONDITIONAL USE PERMIT AND PARKING MODIFICATION PERMIT (PLN-2020-45) TO ALLOW ESTABLISHMENT OF AN 18,103 SQUARE FOOT GROCERY STORE (GROCERY OUTLET) WITH LATE-NIGHT HOURS AND OFF-SITE GENERAL ALCOHOL SALES WITHIN AN EXISTING COMMERCIAL BUILDING ON PROPERTY LOCATED AT **100 N. SAN TOMAS AQUINO ROAD.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN-2020-45:

1. The project site is zoned C-1 (Neighborhood Commercial) and designated *Neighborhood Commercial* by the General Plan.
2. The project site is located within San Tomas Plaza, a 122,000 square foot shopping center comprised of three buildings located at the northeast corner of N. San Tomas Aquino Road and W. Campbell Avenue.
3. The subject tenant space would be created within an 18,103 square foot portion of an existing 25,289 square foot tenant space formerly occupied by a drugstore that recently relocated to a different tenant space within San Tomas Plaza.
4. The proposed project is an application to allow the establishment of a grocery store over 10,000 square feet with late-night activities and off-site general alcohol sales which is allowed in the C-1 Zoning District with the approval of a Conditional Use Permit.
5. Based on the trip generation for the shopping center, establishment of a new grocery store creates less than significant VMT impacts under CEQA and generates a negligible number of added trips.
6. The subject tenant space includes an existing delivery area at the rear of the building adjacent to residential properties.
7. The operational/staff hours for activities within the building and at the front of the building would be 24 hours a day.
8. As conditioned, deliveries to and use of the rear alley and rear building entries would be limited to 7:00 AM – 7:00 PM daily.
9. The business/public hours would be limited to 6:00 AM – 11:00 PM daily.
10. As conditioned, alcohol sales would be ancillary to the primary use as a grocery store.

11. The proposed project is exempt from the limitations and requirements for "liquor stores" pursuant to CMC Section 21.36.110 due to the ancillary nature of the alcohol sales in association with the grocery store.
12. Pursuant to CMC Section 21.28.040(A) the previous drugstore use and proposed grocery store both require one parking space per 200 square feet of floor area. However two parking spaces would be replaced with shopping cart storage areas and the shopping center is underparked.
13. Based on the varied uses with different peak hours and the existing 519 parking spaces in the shopping center, eliminating two parking spaces to create designated areas for shopping carts is not anticipated to result in a parking issue.
14. In review of the proposed project, the Planning Commission considered the proposed project's traffic safety, traffic congestion, site circulation, landscaping, structure design, and site layout.
15. In review of the proposed project, the Planning Commission also weighed the public need for, and the benefit to be derived from, the project, against any impacts it may cause.
16. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed use is allowed within the applicable zoning district with Conditional Use Permit approval, and complies with all other applicable provisions of this Zoning Code and the Campbell Municipal Code;
2. The proposed use is consistent with the General Plan;
3. The proposed site is adequate in terms of size and shape to accommodate the fences and walls, landscaping, parking and loading facilities, yards, and other development features required in order to integrate the use with uses in the surrounding area;
4. The proposed site is adequately served by streets of sufficient capacity to carry the kind and quantity of traffic the use would be expected to generate;
5. As conditioned, the design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses on-site and in the vicinity of the subject property;
6. As conditioned, the establishment, maintenance, or operation of the proposed use at the location proposed will not be detrimental to the comfort, health, morals, peace, safety, or general welfare of persons residing or working in the neighborhood of the

proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.

- 7. Due to the unique nature and circumstances of the project, or special development features, the anticipated number of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standard, and would be satisfied by the existing or proposed number of parking spaces, as supported by review of the applicant's documentation and/or a parking demand study prepared by a qualified transportation engineer accepted by the decision-making body;
- 8. Conditions of approval have been incorporated into the project to ensure the long-term adequacy of the provided off-street parking; and
- 9. Approval of the parking modification permit will further the purpose of this chapter.
- 10. The project is Categorically Exempt under Section 15060(c)(2) of the California Environmental Quality Act (CEQA) pertaining to activities that will not result in a direct or foreseeable indirect physical change to the environment.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Conditional Use Permit and Parking Modification Permit (PLN-2020-45) to allow establishment of an 18,103 square foot grocery store (Grocery Outlet) with late-night hours and off-site general alcohol sales within an existing commercial building located at **100 N. San Tomas Aquino Road**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 11th day of August, 2020, by the following roll call vote:

AYES: Commissioners:
 NOES: Commissioners:
 ABSENT: Commissioners
 ABSTAIN: Commissioners:

APPROVED: _____
 Michael Krey, Chair

ATTEST: _____
 Paul Kermoyan, Secretary

CONDITIONS OF APPROVAL
Conditional Use Permit (PLN-2020-45)

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING DIVISION

1. Approved Project: Approval is granted for a Conditional Use Permit and Parking Modification Permit (PLN-2020-45) to allow establishment of an 18,103 square foot grocery store with late-night hours and off-site general alcohol sales within an existing commercial building on property located at **100 N. San Tomas Aquino Road**. The project shall substantially conform to the Project Plans and Written Statements stamped as received by the Planning Division on July 1, 2020, except as may be modified by the Conditions of Approval contained herein.
2. Permit Expiration: The Conditional Use Permit ("Approval") shall be valid for one (1) year from the effective date of Planning Commission action (expiring August 21, 2021). Within this one-year period a Type 21 (Off-Sale General) alcohol license from the Department of Alcoholic Beverage Control (ABC) must be secured. Failure to meet this deadline, failure to obtain a building permit, or expiration of an issued building permit will result in the Approval being rendered void.

Once established, this Approval shall be valid in perpetuity on the property subject to continued operation of the grocery store and maintenance of a valid ABC liquor license. Abandonment, discontinuation, or ceasing of operations for a continuous period of twelve months shall void the approval.

3. Operational Standards: The operation of the grocery store shall be subject to the following operational standards. Significant deviations from these standards (as determined by the Community Development Director) shall require approval of a Modification to the Conditional Use Permit.
 - a. **Approved Use**: The approved use is a grocery store with late night activities and ancillary off-site general alcohol sales, as defined by the Campbell Municipal Code (CMC). Activity inconsistent with the CMC, including, but not limited to, primary use as a "liquor store," is prohibited.
 - b. **Business Hours**: The 'Business Hours,' during which the grocery store is open to the general public, shall be limited to 6:00 AM to 11:00 PM, daily.
 - c. **Operational Hours**. The 'Operational Hours,' during which the grocery store is occupied by store employees, shall be permitted 24-hours a day. Activity

occurring outside of the 'Business Hours' shall be non-disruptive in nature, such as stocking or janitorial activity.

- d. **Delivery Hours:** Deliveries to the rear (alley) delivery area shall be limited to the hours of 7:00 AM to 7:00 PM, daily. Deliveries to the front entrance of the store are permitted 24-hours a day.
- e. **Alley Usage:** Employee usage of the rear alleyway (including dumping of trash/recycling) shall be limited to 7:00 AM to 7:00 PM, consistent with the 'Delivery Hours'. Doors opening to the alley shall remain closed except between 7:00 AM to 7:00 PM. A notice on the inside doors to the alley shall be posted to inform and remind employees of this requirement.
- f. **Alcohol Sales:** The sale of beer and wine products within the grocery store shall be subject to the following restrictions:
 - (1) The applicant shall obtain a Type 21 (Off-Sale General) license from the State Department of Alcoholic Beverage Control prior to the sale of alcoholic beverages.
 - (2) The applicant shall, at all times, maintain in good standing the Type 21 License from the State Department of Alcoholic Beverage Control for the sale of alcoholic products.
 - (3) The sale of alcohol products shall remain ancillary to the primary purpose of the grocery store which is the sale of food items and household supplies.
 - (4) The sale of alcoholic products shall be limited to 10% of the gross floor area of the grocery store gross floor area.
 - (5) The Community Development Director may require specific signage or locked cabinet shelving, or similar measures, to prevent the unauthorized selling of alcohol.
- g. **Noise:** During the Business Hours and Delivery Hours, audible noise shall not be of a level that would unreasonably interfere with the comfortable enjoyment of neighboring residents. Outside of the Business Hours and Delivery Hours, noise shall not be audible to neighboring residents. In the event the city receives three verifiable complaints in violation of this standard, the Planning Commission may review the Conditional Use Permit in a public hearing. Upon review, if the Planning Commission finds that there is substantial evidence that the grocery store is creating unreasonable disturbance to the adjacent residents in violation of this standard, the Planning Commission may take reasonable measures to mitigate such noise, including reducing the Business Hours, Operational Hours, and/or Delivery Hours.
- h. **Outdoor Display:** Product displays at the front entry of the grocery store shall be maintained in good order and shall not impede the accessible path-of-travel into or out of the grocery store, or through the arcade. Seasonal displays (e.g., Christmas trees), may not encroach into the parking lot unless approved by the Community Development Director in compliance with Campbell City Council Policy 9.8.

- i. **Refuse Management:**
 - (1) Refuse and recycling containers shall be kept in the enclosures at all times except when being emptied by collection personnel.
 - (2) If necessary to maintain the refuse areas, as based on verified complaints, the Community Development Director may require expansion of the refuse areas and/or more frequent collection.
 - (3) If necessary to secure the refuse areas, as based on verified complaints, the Community Development Director may require use of locking refuse and recycling bins.
 - j. **Shopping Cart Retention:** If necessary to secure shopping carts from theft and abandonment, as based on verified complaints, the Community Development Director reserves the right to require installation of wheel-locking devices that preclude removal of the shopping carts from the property.
 - k. **Security Cameras:** The property shall be required to maintain a minimum of 16 security cameras in working condition as indicated in the submitted Written Statement. The security cameras shall be high-definition and wide angle. The recordings of these cameras shall be stored for no less than thirty (30) days and made available to assist the Police Department upon request.
 - l. **Smoking:** "No Smoking" signs shall be posted on the premises in compliance with CMC 6.11.060.
 - m. **Loitering:** There shall be no loitering allowed outside the business. The business owner is responsible for monitoring the premises to prevent loitering.
 - n. **Business License:** The business shall be required to obtain and maintain a City business license at all times.
 - o. **Property Maintenance:** The store operator shall maintain all exterior areas of the business free from graffiti, trash, rubbish, posters and stickers placed on the property.
4. **On-Site Lighting:** On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director for compliance with the Campbell Lighting Design Standards (CMC Sec. 21.18.090) as demonstrated by a photometric plan to be included within the construction plans submitted for a building permit.
 5. **Storefront Windows & Doors:** At no time shall an obscure wall or barrier (i.e. drapery, window tinting, blinds, furniture, inventory, shelving units, storage of any kind or similar) be installed along, behind or attached to windows or doorways that blocks visual access to the tenant space or blocks natural light without first obtaining written approval by the Community Development Director.
 6. **Powered Equipment:** The use of powered equipment shall be limited to the hours of 8:00 AM and 7:00 PM, Monday through Friday, and between the hours of 9:00 AM and 6:00 PM Saturday, Sunday and nationally recognized holidays.

7. Landscape Maintenance: All landscaped areas shall be continuously maintained in accordance with City Landscaping Requirements (CMC 21.26). Landscaped areas shall be watered on a regular basis so as to maintain healthy plants. Landscaped areas shall be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.
8. Signage: No signage is approved as part of the development application approved herein. New signage shall not be installed prior to approval of a sign permit.
9. Location of Mechanical Equipment: No roof-mounted mechanical equipment (i.e. air conditioning units, ventilation ducts or vents), shall be added to the existing building without providing screening of the mechanical equipment from public view and surrounding properties. The screening material and method shall be architecturally compatible with the building and requires review and approval by the Community Development Director and Building Division prior to installation of such screening.
10. Outdoor Storage: No outdoor storage is permitted on the subject property. No equipment, materials or business vehicles shall be parked and/or stored outside the building or within the parking lot.
11. Parking and Driveways: All parking and driveway areas shall be maintained in compliance with the standards in Chapter 21.28 (Parking & Loading) of the Campbell Municipal Code. Parking spaces shall be free of debris or other obstructions.
12. Revocation of Permit: Operation of the grocery store pursuant to this Approval is subject to Sections 21.68.020, 21.68.030 and 21.68.040 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke a land use permit if it is determined that the sale of alcohol and/or hours of operation, has become a nuisance to the City's public health, safety or welfare or for violations of the land use permit or any standards, codes, or ordinances of the City of Campbell. The business owner shall be obligated to cover the actual cost of all staff time associated with revocation proceedings. This obligation may be enforced by the City as permitted by law.

At the discretion of the Community Development Director, if the establishment generates three (3) verifiable complaints related to violations of conditions of approval, noise, and/or the sale of alcohol within a one (1) year period, a public hearing before the Planning Commission may be scheduled to consider modifying conditions of approval or revoking the Approval. The Community Development Director may commence proceedings for the revocation of the Approval upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. The Director may also at such time, restrict the establishment's hours of operation. In exercising this authority, the decision making body may consider the following factors, among others:

- a. The number and types of Police Department calls for service at or near the establishment that are reasonably determined to be a direct result of patrons actions;

- b. The number of complaints received from residents, business owners and other citizens concerning the operation of an establishment,
- c. The number of arrests for alcohol, drug, disturbing the peace, fighting and public nuisance violations associated with an establishment;
- d. The number and kinds of complaints received from the State Alcoholic Beverage Control office and the County Health Department; and
- e. Violation of conditions of approval.

BUILDING DIVISION

13. Expect this application to require approval from the following:

- Campbell Planning Department
- Campbell Public Works Department
- Campbell Civil Engineering Department
- Campbell Building Department
- West Valley Sanitation District
- San Jose Water District (279-7900)
- Outside structural and energy plan check
- Outside structural and energy and complete code plan check
- Santa Clara County Fire Department
- HAZMAT
- Santa Clara County Department of Environmental Health
-

14. This Development Review Committee (DRC) preliminary review is from Campbell's Building Department. The intent is to identify major elements of concern or omissions and to identify an expected process for project approval and permit issue. It is not a substitute for plan check and may not identify elements that may be observed during plan check. Time needed for a plan review cannot be accurately estimated at this time. The type of project, the quantity of plan review departments and the quality of the project documents will all contribute to time needed for review and eventual approval.

15. All permit applications are now submitted online. From website www.ci.campbell.ca.us get to → Community Development → Building Inspection Division and begin the online application. You may choose from about 80 different type permits that are grouped into 10 Application Categories. Read the Application Guide as it will list the required documents as well as the required naming of files and provide links to design elements. Upload your drawings and any calculations or documents that are listed on the guide and be sure to including a completed Acknowledgement Statement. When the application is received, staff will review it. If some of the documents are missing or not named correctly, staff will return it for adjustment. After acceptance, staff will assess plan check fees that may be paid online and then proceed with the routing process (Fire, Planning, PW, etc.).

16. This application will require these documents (available at www.ci.campbell.ca.us)

- Demolition permit
- Acknowledgement Statement (all online submittals)
- Online re-submittal and upload of pdf drawings and documents
- Owner Builder Acceptance of Liability for concurrent Planning and Building review
- West Valley Sanitation District approval letter
- Special Inspection checklist (signed by owner, eng'r, and plans examiner) (Submitted but not signed, may not even be required by the AofR or EofR)
- Structural Calculations and Design
- Truss Design and Calculations
- Soil Evaluation Report
- Construction Tax Exemption
- Request for classification of new vs. remodel vs. new using portions of existing
- Title-24 Energy Report
- Clean Bay – Santa Clara Valley Non-point Pollution Control specification sheet
- California Accessibility Hardship Exemption
- Receipt of Park Fees paid to Campbell Public Works Department
- Receipt of school district payment for developer fees
 - Campbell Union School District (378-3405)
 - Campbell Union High School District (371-0960)
 - Campbell Union High School District (371-0960)
 - Moreland School District (874-2900)
 - Cambrian School District (377-2103)

17. Any commercial project will require the plans to be developed by an architect.

18. Commercial projects are subject to \$0.198 per sq. ft. developer fees. Contact the Building Division (408) 866-2130 to obtain fee payment forms and pay fees directly to the applicable school district(s).

19. Include the standard, Santa Clara Valley Non-point Source Pollution Control Program specification sheet in your plan submittal package. The specification sheet (size 24" X 36") is available at: <http://ca-campbell.civicplus.com/DocumentCenter/View/112>

20. The master sets of drawings for this project were received by the building department in early May. They have been reviewed against the original comments by Bill Bruckart sent out in March. Items remaining: West Valley Sanitation District clearance letter, a completed special inspection direction letter from either the architect or engineer of record.

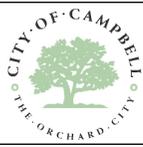
PUBLIC WORKS DEPARTMENT

21. Trash Capture: This property is identified on the City of Campbell – Full Trash Capture and Trash Management Area Map as being in the High category. Applicant to install trash capture inserts (KriStar FloGard or approved equal) in all on-site storm drain catchbasins.

FIRE DEPARTMENT

22. Formal Plan Review: Review of this development proposal is limited to accessibility of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Division all applicable construction permits.
23. Fire Sprinklers Required: Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. In other than residential buildings which require the installation of fire sprinklers for all new buildings according to the California Residential Code, an automatic sprinkler system shall be provided throughout all new buildings and structures. Exceptions: a) Buildings and structures that do not exceed 1,000 SF of building area. b) Group S-2 or U occupancies used exclusively for vehicle parking and meeting all of the following conditions: i) Noncombustible construction ii) Maximum building area not to exceed 5,000 SF. Iii) Structure is open on three or more sides. Iv) Minimum of 10 feet separation from existing buildings unless area is separated by fire walls complying with CBC 706. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. **A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CBLMC. (See sheet G1.0 BLD-2020-124)**
24. Fire Alarm Requirements: Refer to CFC Sec. 907 and the currently adopted edition of NFPA 72. Submit shop drawings (3 sets) and a permit application to the SCCFD for approval before installing or altering any system. Call (408) 378-4010 for more information.(See sheet G1.0 BLD -2020-124)
25. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

26. Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
27. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
28. Buildings and Facilities Access: Fire department access to the site, the building, and to all fire protection systems shall be maintained at all times, in accordance with CFC Chapter 5.
29. No Violation: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]



100 N. San Tomas Aquino Rd



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



Project Description

100 N San Tomas Aquino Rd

Campbell, CA

Updated 6/29/20

Grocery Outlet Background

Grocery Outlet offers fantastic bargains and deals on a variety of products including grocery, frozen foods, deli items, vitamins, health and beauty items, housewares, gift items and much, much more. Brand names for less is the name of the game and smart shoppers get incredible savings over regular store prices every day when they shop Grocery Outlet. Grocery Outlet gets products by searching the nation's major manufacturers for amazing one-time buys resulting from excess production, packaging/design changes, and special promotions. Grocery Outlet's assortment of product changes frequently because of the nature of the one-time buys.

Grocery Outlet owns over 260 stores in California with off sale (type 20 and 21) alcohol licenses. Operators and their employees of all locations are careful to make sure the store is always clean, neat and free from debris. Grocery Outlet has had no significant issues raised by local law enforcement agencies with respect to alcoholic products or public disturbances. Grocery Outlet has a history of service to the California community and will continue to operate in a conscientious and thoughtful way with sensitivity to any possible detriment to adjacent residents and businesses. Grocery Outlet is fully aware of the unique responsibilities of operating a store associated with alcoholic beverage sales. Grocery Outlet has applied for a type 21 general license (off-sale beer, wine and spirits) from the Department of Alcoholic Beverage Control. The application was submitted to ABC on February 5, 2020 and the 30-day posting commenced on February 19, 2020. No protests were submitted to the Department of ABC during the 30-day posting period.

The alcohol display area of 831 square feet is highlighted on the floor plan submitted with the Project Plans. The display areas for beer, wine and spirits are all labeled on the plan. The percentage of alcohol display area as a percentage of the total store is 4.59%. As a percentage of the sales floor, the alcohol display area is 7.34%.

The store will be open no earlier than 6:00AM and no later than 11:00PM 7 days a week. Grocery Outlet expects the store will be staffed with approximately 35-40 employees and will be managed/operated by a member of the local community.

Deliveries are made to the store from the Grocery Outlet warehouse three-to-four times per week, typically between the hours of 5:00am to noon. Direct distributors (egg, bread, milk, produce) each make three-to-four deliveries per week. All deliveries will be made to the grade-level loading dock located at the rear of the building. Refrigerated trucks will need to leave the engine running in order to maintain compressor function. There will be some engine noise from the refrigerated trucks. The grocery trucks will be able to stop the engine during the deliveries. The products from the refrigerated and grocery trucks will be moved from the truck to the store using forklifts which will involve some forklift noise (minimal) and talking amongst the driver and employees. There is an existing 6' masonry sound wall at the property line.

The operational hours will be similar to the "open-to-the-public" hours except for occasional cleaning and stocking that will occur inside the store after 11pm and for the deliveries that occur prior to 6:00am a few times a week.

The store is expected to open to the public in December 2020.

Security

Grocery Outlet will install a minimum 16 camera system which has a view of all parts of the store, including the alcoholic beverage display area and sales check stands. The video system will have a 30-day retrieval function which can track previous days' activity. Monitors are kept in a locked room at the store and available to managers, key personnel and law enforcement if necessary.

Operational Procedures

The store operator will monitor the parking areas and sidewalks to keep these areas free from litter and debris. Trash receptacles will be provided near the store entrance and will be emptied daily. Graffiti to the exterior building shall be removed expeditiously.

Additional information regarding the trash management area, cart corrals and exterior display of merchandise is found in the Project Plans and in the BRR Response Letter.

Public Benefit

Grocery Outlet stores are "destination stores" offering a full complement of name-brand items at bargain prices. The beer, wine and spirits sales are an incidental part of the total grocery store

business. Customers desire the convenience of being able to purchase alcoholic beverages together with the full assortment of Grocery Outlet's unique, value priced items. This convenience is imperative to Grocery Outlet's ability to serve and attract customers.

1. The grocery store use is essential and desirable to the public convenience and public welfare. The proposed availability of everyday products such as fruits, vegetables, milk, juice, eggs, bread, cereal, coffee, soup and pasta as well as consumer products such as pet food, toothpaste, detergent and paper towels allows customers to have readily available products in one location where they would otherwise be obliged to travel to several locations to purchase these items.
2. The use conforms to good zoning practices and development standards. The store is located in a major shopping center on a major thoroughfare and is easily accessible to the residents and visitors of the City of Campbell. The Grocery Outlet offers a convenient alternative for grocery items, including beer, wine and spirits, that is consistent with good community development practices and standards.
3. Grocery stores are a vital part of every community. Grocery Outlet will fill a need at a vacant retail space previously occupied by CVS. Vacant retail space can become a blight to the community if left untended. Grocery Outlet will be a welcome neighbor to the nearby community and provide a vibrant grocery shopping experience.



CUP Planning Comment Response

June 29, 2020

Naz Pouya Healy
Assistant Planner
Community Development Department
City of Campbell, CA
70 North First Street
Campbell, CA 95008-1423

**Grocery Outlet Tenant Improvement
100 San Tomas Aquino Road
Campbell, CA**

Conditional Use Permit No: PLN-2020-45

Dear Naz Pouya Healy,

I am in receipt of your Review Comments, for the Conditional Use Permit for the Grocery Outlet Tenant Improvement project. I am providing the following package consisting of revised drawings and written responses to all comments gathered from your plan review comments. Your comments are below in regular type followed by our responses in **bold**.

1. Alcohol Sales:

- a. Written Description: Please confirm whether the proposal for alcohol sales is limited to beer and wine only requiring a Type 20 ABC License or also includes spirits requiring a Type 21 ABC License. Please update the Written Description accordingly.

RESPONSE: Please see updated written description, where it indicates the application for the Type 21 ABC License.

- b. Building Plan: The proposed Building Plan Depicts a section of the store intended for alcohol sales however all shelves are labeled wine with what appears to be one refrigerator case for beer, and no spirits. The extent of the area for alcohol sales needs to be clearly identifiable so please clarify on the Building Plan if the display shelves are intended for beer and spirits in addition to wine or if there are additional areas for beer and spirits.

RESPONSE: Please see sheet FX1.0, where labels have been added to the alcohol section, indicating spirits will be sold at this store as well. The percentage of the Sales Floor dedicated to the sales of alcohol is 7.34%, less than the 10% that would dictate a liquor store.

2. Late Night Activities: The written description proposes deliveries before 6am and cleaning/stocking after 11pm

www.brrarch.com

250 Sutter Street, Suite 350, San Francisco, CA 94108 MAIN 415.782.4100

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which constitutes late night activities – defined in CMC Section 21.72.020 as land use activities operating between the hours of 11pm and 6am. Pursuant to CMC Section 21.10.040(C)(21), late night activities is a conditional use in the C-1 Zone. A fee applies for each conditional use proposed in a single application but the fee was collected only for 1) a grocery store over 10,000 SF in size and 2) liquor establishment (see enclosed payment receipt).

To proceed with consideration of late-night activities, please make a payment for the additional conditional use determination. Please be advised this is for consideration of late-night activities and not a guarantee of approval. Enclosed is the invoice for \$1,038.36 (additional use determination + technology fee) – please note in-person cash or credit card payments are not currently accepted. Payment can be made online with a credit card using the instructions on the invoice. Alternatively, you may mail a check made out to City of Campbell to 70 N. 1st St. Campbell, CA 95008 or drop off a check after arranging a time as the city offices are currently closed to the public.

RESPONSE: Payment was sent on 6/10/2020 to pursue the allowance for Late Night Activities. Please see attached written description that goes into more depth about the interior and exterior late-night activities.

3. Delivery Area: Please provide additional information in the plans and written description demonstrating how the delivery/loading area will be used including:
 - a. Delivery truck parking/loading area and how access through the rear driveway will be maintained during deliveries and unloading.

RESPONSE: Please see detail A4 on sheet SP1. The truck parking location is shown outside of the delivery door. Most vehicles will be able to navigate around the parked truck. This truck represents the largest possible truck that will deliver to the store.
 - b. Equipment used for unloading and where this equipment will be stored when not in use.

RESPONSE: Forklifts and pallet jacks will be used for unloading and will be stored on the interior of the building. Please see sheet FX1.0 where the location for the forklift and pallet jack charging and storage is located along gridline B, between gridlines 5 and 6.
 - c. Location of storage of empty pallets.

RESPONSE: Location of storage of empty pallets will be on the interior along the new demising wall, along gridline B, between gridlines 1 and 2. Please see sheet FX1.0, where these are shown.
 - d. Information on the in-ground equipment under a metal cover near the roll up door (is this a lift or scale?)

RESPONSE: This appears to be a truck leveler or recessed scissor lift. It is not Grocery Outlet's intent to utilize this equipment. The delivery trucks are equipped with the necessary tools for delivery.
 - e. How the adjacent residential properties will be protected from noise impacts.

RESPONSE: There is a CMU wall that extends up to about 6'-0" between the delivery area and the residential area.
4. Trash Area/Management: Please provide a trash management plan including where food/perishable waste will be stored and the frequency of trash pickup. Please depict any new equipment on the plans such as a trash compactor or cardboard baler.

RESPONSE: Please see detail A5 on sheet FX1.0. The cardboard baler is located adjacent to the equipment room along gridline B, between gridlines 5 and 6. Also in detail A5 on sheet FX1.0, please see the exterior Trash area. Per a call to the West Valley Collection & Recycling, the previous tenant was able to store (4) dumpsters, plus a cart in this location. There are three of West Valley's largest dumpsters represented on sheet FX1.0, with (1) each intended for trash, recycling, and food waste.
5. Outdoor Merchandise Display: At nearby Grocery Outlet locations, outdoor merchandise displays are placed near the store entrance with items such as gardening soil, firewood, and produce, as well as propane storage and water

machines. Please depict any areas intended for outdoor merchandise display on the plans without occupying parking spaces and demonstrate how the accessible path of travel will be maintained to the store entrance and to the display areas.

RESPONSE: Please see sheet FX1.0, where the Merchandise Creeps (the fixture used to sell items outdoors) have been added. Due to the restrictive nature of the planters and pilasters outside, this store intends to use smaller 3'-0"x3'-0" fixtures, allowing over 4'-0" of room between the fixture and the existing building elements. Please note that the outside merchandising is temporary, and the fixtures will be moved inside of the store every night.

6. Cart Corral:

- a. Please indicate the proposed cart corral capacity and indicate any other areas intended for cart storage.

RESPONSE: Please see sheet SP2, where two cart corrals intended for the parking lot are shown. Each of these cart corrals hold at least 35 carts. The cart corral directly outside of the building will hold about 20 carts. Between the three cart corrals, there is capacity for at least 90 carts.

- b. Please indicate the material proposed for the perimeter of the cart corral.

RESPONSE: Please see attached cut sheet for the typical cart corrals. The cart corrals are made of galvanized steel tubing.

7. Site Plan: Please revise the dimensions and shading depicting the project area on the Schematic Plan, Site Plan, and Site Photography sheets for consistency with the dimensions on the Building Plan.

RESPONSE: The dimensions and the accuracy of the shaded areas representing the proposed Grocery Outlet between the Schematic Plan, Site Plan, and Site Photography sheets and the Building Plan have been updated.

Again, thank you for your timely review. I hope you find this response package to satisfactorily answer all of your comments. If there is anything further you need from us, please call me directly at the number below.

Sincerely,
Susan Wing
BRR Architecture, Inc.
250 Sutter Street, Suite 350
San Francisco, CA 94108
direct: 415-782-4101
main: 415-782-4100

602 Series Cart Corral

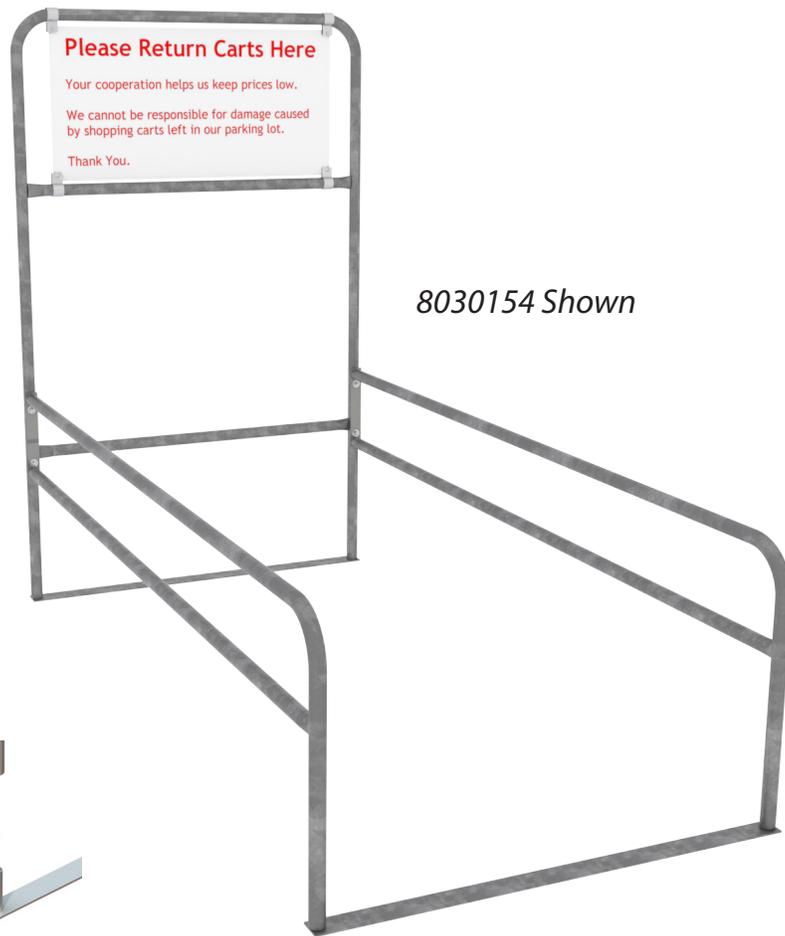
Cart Corrals ensure the safety and simplicity of gathering your carts while decreasing damage to customers' vehicles from stray carts. Strategically place our corrals throughout your parking lot to reduce the labor costs of cart retrieval and enhance the shopping experience of your customers.

FEATURES:

- Heavy gauge flow coat galvanized mechanical steel tubing provides superior durability
- Interior corrosion resistant coating
- Hot dipped, galvanized bar base plates
- 18-gauge galvanized steel signs with durable powder coated finish and silk screen printing
- Easily assembled and can be anchored for maximum stability

OPTIONS:

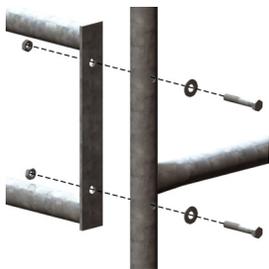
- Side rail Length: 10 ft., 14 ft.
- Single Entry or Double Entry
- Anchors
- Powder coat finish available (Inquire with your customer service representative)
- Standard Sign: #3030059
Size 24" x 48" Text Style: 0597B
- Upgraded sign with disclaimer #3030067
Size 24" x 48" Text Style: 1424
- Custom Signage Available



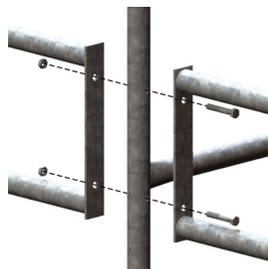
8030154 Shown



Optional Anchor



Single Entry Assembly

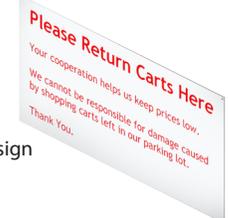


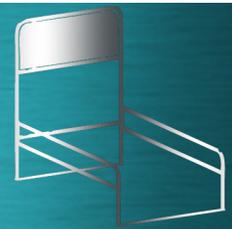
Double Entry Assembly

3030059
standard sign



3030067
upgraded sign

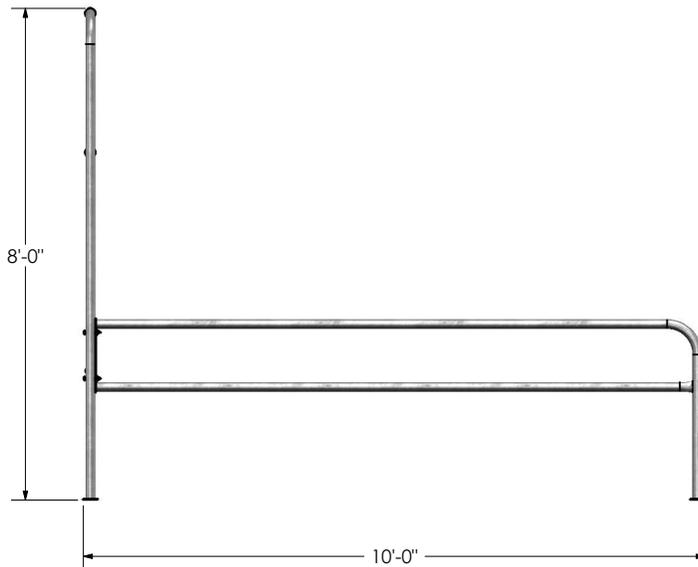
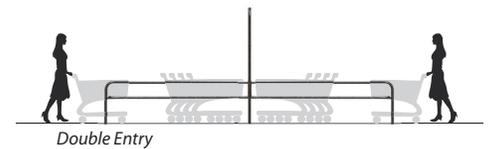
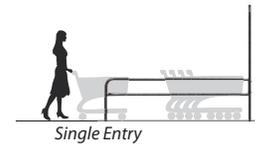




Cart Corrals

Freight Class: 250
 NMFC Code: 164390-S3

8030154 Shown



Cart Corral Order #	Model	W	L	H	Entry	Weight
8030154	CC-602-10 5Wx10Lx8H SEGP	5'	10'	8'	Single	188 lbs.
8030155	CC-602-14 5Wx14Lx8H SEGP	5'	14'	8'	Single	234 lbs.
8030157	CC-602-20 5Wx20Lx8H DEGP	5'	20'	8'	Double	298 lbs.
8030158	CC-602-28 5Wx28Lx8H DEGP	5'	28'	8'	Double	368 lbs.
B000108	5" Lag Bolt	-	-	-	-	-

One sign per cart corral is included. Please indicate the sign order number when placing your order. To customize your sign, please contact your customer service representative. Other sign features are available on our sign page!

Sign Order #	Model	H	W
3030067	CCS-2448-1424 SIGN RED/WHT	24"	48"
3030059	CCS-2448-0597B, WHT BKG/RED PRNT	24"	48"

Can't find exactly what you need? Give us a call and we'll help you with the perfect solution!



NATIONAL CART CO

PH: 800-455-3802

www.nationalcart.com

Revision Date: Mar. 2013

Traffic Determination

PLN-2020-45 ~ 100 N. San Tomas Aquino Rd

1. From a Vehicle Miles Traveled (VMT) viewpoint, Grocery Outlet could be considered local-serving retail. Its square footage of 18,103 square feet is below the Office of Planning and Research's (OPR's) threshold of 50,000 square feet. Per OPR technical guidance, ". . . local-serving retail development tends to shorten trips and reduce VMT. Thus, lead agencies generally may presume such development creates a less-than-significant transportation impact." Therefore, Grocery Outlet can be presumed to have less than significant transportation impacts under CEQA. Therefore, per OPR technical guidance, Grocery Outlet can be assumed to have less than significant transportation VMT impacts under CEQA.
2. **7/1/20 Update:** Per Jacob Glaze/Kimley-Horn Associates' PM trip generation table that gives trip credits for CVS and Ace Hardware trips, net PM peak hour trips would be 25 trips (which is negligible). **Therefore, a TIA would not be required.**

	Existing				Proposed			
	Use	SF	ITE Code	Trips	Use	SF	ITE Code	Trips
	CVS	25291	880	215	CVS	15136	880	129
	Ace Hardware	15136	816	41	Grocery Outlet	18103	854	152
					Not Occupied	7188	-	-
SF Check		40,427		256		40,427		281
Total Trips Added				25				

Matthew Jue, P.E., T.E., P.T.O.E.

Traffic Engineer

City of Campbell | Public Works Department
 70 N. First Street | Campbell, CA 95008
www.cityofcampbell.com | 408.866.2150

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>). Interested persons may register to participate at https://us02web.zoom.us/webinar/register/WN_uavFQC2sT1m_-cJvrGV1oA

After registering, you will receive a confirmation email containing information about joining the webinar itself on August 11th at 7:30 p.m. Additionally, the complete agenda packet will be posted by Friday, August 7, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140.