

SITE AND ARCHITECTURAL REVIEW COMMITTEE
City of Campbell, California

6:45 PM – 7:15 PM
Doetsch Conference Room
70 North First Street, Campbell, CA

January 28, 2020
Tuesday

AGENDA

CALL TO ORDER / INTRODUCTIONS

STAFF COMMUNICATIONS

AGENDA MODIFICATIONS OR POSTPONEMENTS

MEETING MANAGEMENT

The Site and Architectural Review Committee (SARC) is a subcommittee of the Planning Commission authorized by the Campbell Municipal Code to review the architectural design and site layout of proposed development projects. The SARC makes reports and recommendations to the Planning Commission, however, the SARC has no decision-making authority and its recommendations are not binding on the Planning Commission.

SARC meetings are scheduled immediately preceding the 7:30 PM Planning Commission public hearings. As such, the time allotted for each application is limited and must be reserved for review and discussion by the SARC, staff, and applicants. Any time remaining during the scheduled review time may be utilized for public comment at the discretion of the Chair.

SCHEDULED ITEMS

1.	6:45 PM – 7:15 PM	Major Modification (PLN2019-328) to a previously-approved Planned Development Permit (PLN2018-178) to allow three accessory dwelling units (ADUs) within an approved six-lot single-family residential planned development, for properties located at 100-300 Haymarket Court . Project Planner: <i>Daniel Fama, Senior Planner</i>
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ADJOURNMENT

Adjourn at **7:15 PM** to the next regularly scheduled Site and Architectural Review Committee meeting of **January 28, 2020**, in the Doetsch Conference Room, 70 North First Street, Campbell, California.

Americans with Disabilities Act (ADA)

In compliance with the Americans with Disabilities Act, listening assistance devices are available for meetings held in the Council Chambers. If you require accommodation to participate in the meeting, please contact Corinne Shinn at the Community Development Department, at corinnes@cityofcampbell.com or (408) 866-2140.

MEMORANDUM

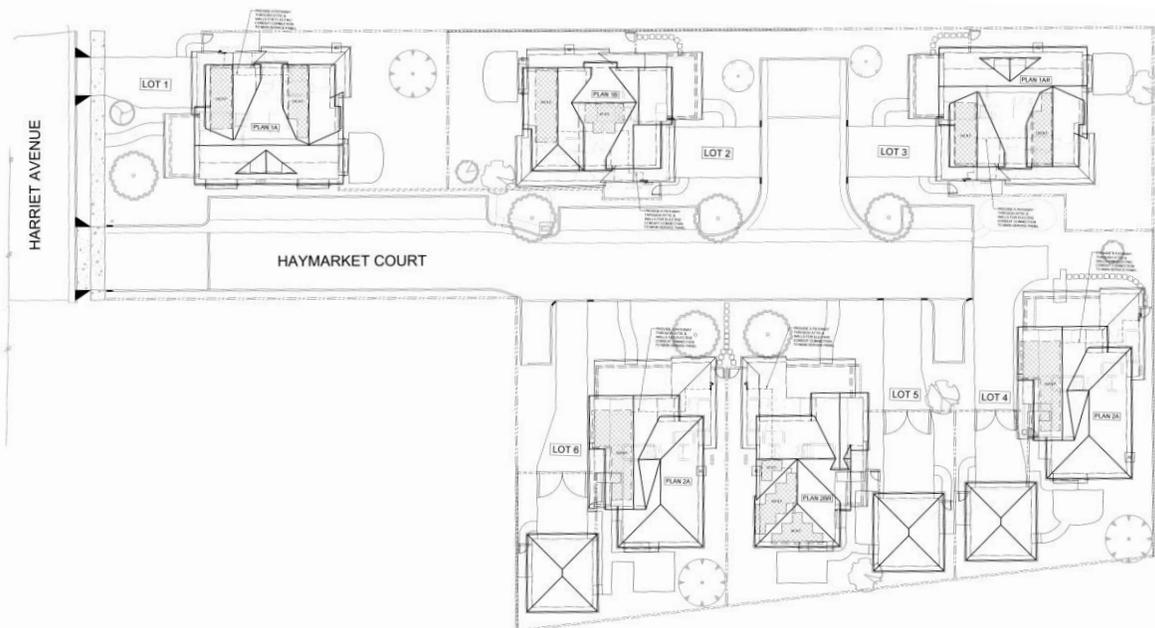


Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** January 22, 2020
From: Daniel Fama, Senior Planner *DF*
Via: Paul Kermoyan, Community Development Director *PK*
File No.: PLN2019-328 ~ Major Planned Development Permit Modification
Address: 100, 200, and 300 Haymarket Ct. (formally 880 and 910 Harriet Avenue)

BACKGROUND

On December 4, 2018, the City Council approved a Planned Development Permit and Subdivision Map to allow a six-lot single-family residential development located along Harriet Avenue (reference **Attachment 1** – Location Map). Three of the homes incorporated attached garages and the other three detached garages, as shown on the site plan, below.



PROPOSAL

With the adoption of the City's new Accessory Dwelling Unit (ADU) Ordinance, which eliminated minimum lot sizes, reduced setbacks, and allowed 2-story ADUs, the applicant is seeking to add 435 square-foot ADUs atop of the three detached garages (reference **Attachment 2** – Project Plans) on Lots 4, 5, and 6. Since the project is subject to an approved Planned Development Permit, the applicant has applied for a "Major Modification," which is required for any increase to the approved square-footage.

PROJECT DATA

General Plan Designation: *Low Density Residential* (less than 4.5 Units/Gr. Acre)

Zoning: P-D (Planned Development)

Area Plan: San Tomas Area Neighborhood Plan (STANP)

Project Data						
	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5	Lot 6
Lot Size	6,709	6,801	6,708	6,774	6,774	7,187
First Floor SF	1,398	1,398	1,398	1,507	1,489	1,507
Second Floor SF	1,232	1,230	1,232	1,121	1,142	1,121
Garage SF	386	386	386	416	416	416
ADU SF	-	-	-	435	435	435
Total Area SF	3,016	3,014	3,016	3,479	3,482	3,479
FAR	.45	.443	.45	.514	.514	.484

DISCUSSION

Site Layout: The layout of the affected lots remains unchanged since the addition of the ADUs does not change the approved placement of the garages.

Design: The revised garage/ADU structures are shown below. The structures generally maintain design consistency with the primary homes (reference **Attachment 3** – Final Elevations), as required by the ADU Ordinance. However, staff has advised that the Lot 5 garage/ADU should incorporate shingled wall cladding to more closely match the architecture of the primary house.



Setbacks: The garage/ADU structures would all maintain a minimum 5-foot setback from side and rear property lines. This exceeds the minimum 4-foot setback required under State law.

Parking: New detached ADUs require one parking stall per unit. As allowed by State law, the driveways serving the garages satisfy this parking requirement since they exceed the minimum depth and width dimensions for a parking stall.

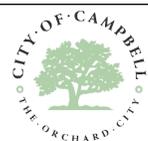
Privacy: The City’s ADU Ordinance requires that all second-story windows less than eight feet from rear and interior-side property lines be clerestory with the bottom of the glass at least six feet above the finished floor. The proposed ADUs comply with this requirement by placing the primary/egress windows interior into the lots and by use of clearstory windows on walls that abut property lines.

Floor Area Ratio: The proposed ADUs would increase the FAR of the affected lots beyond the 0.45 maximum, up to 0.514. State law now stipulates that the City’s FAR and Lot Coverage standards may be exceeded in order to allow up to an 800 square-foot ADU. The intent of this provision is to provide relief to homeowners who had already maximized the development capacity of their lot to create an ADU. In this regard, the Community Development Director has determined that this provision may only be exercised in association with existing homes. If a property owner proposes an ADU in association with a new home, then the expectation is for the property to satisfy the City’s FAR and Lot Coverage requirements.

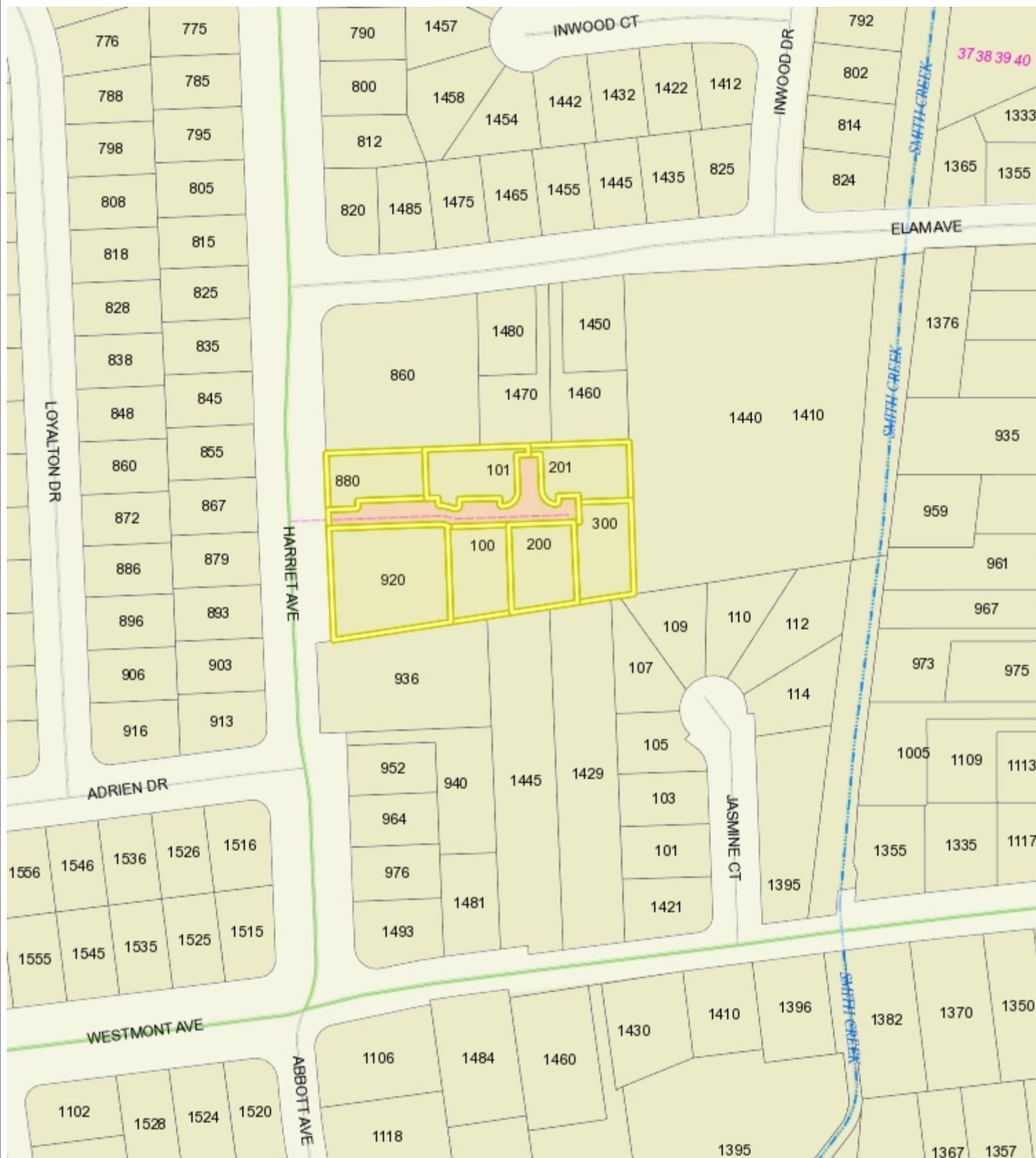
However, the City’s ADU Ordinance also provides flexibility for Planned Development zoned properties by allowing a developer to ask for “less restrictive standards” as means to promote ADU production. Under this provision, the increase to FAR may be permitted by the City Council, subject to the action being approved by ordinance. Since the proposed floor area increase is intended to add modestly-sized ADUs and would not otherwise affect the scale or layout of the project, the proposed FAR increase may be seen as keeping with the intent of the State’s ADU legislation.

Attachments:

1. Location Map
2. Project Plans
3. Final Elevations



Location Map



Scale 1:2,257

WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

R H A
ROBERT HIDEY ARCHITECTS

HARRIET - PD MODIFICATION

CAMPBELL, CA

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- A-11 PLAN 2 GARAGE/ADU - LOT 6 EXTERIOR ELEVATIONS 2A - LEFT & RIGHT

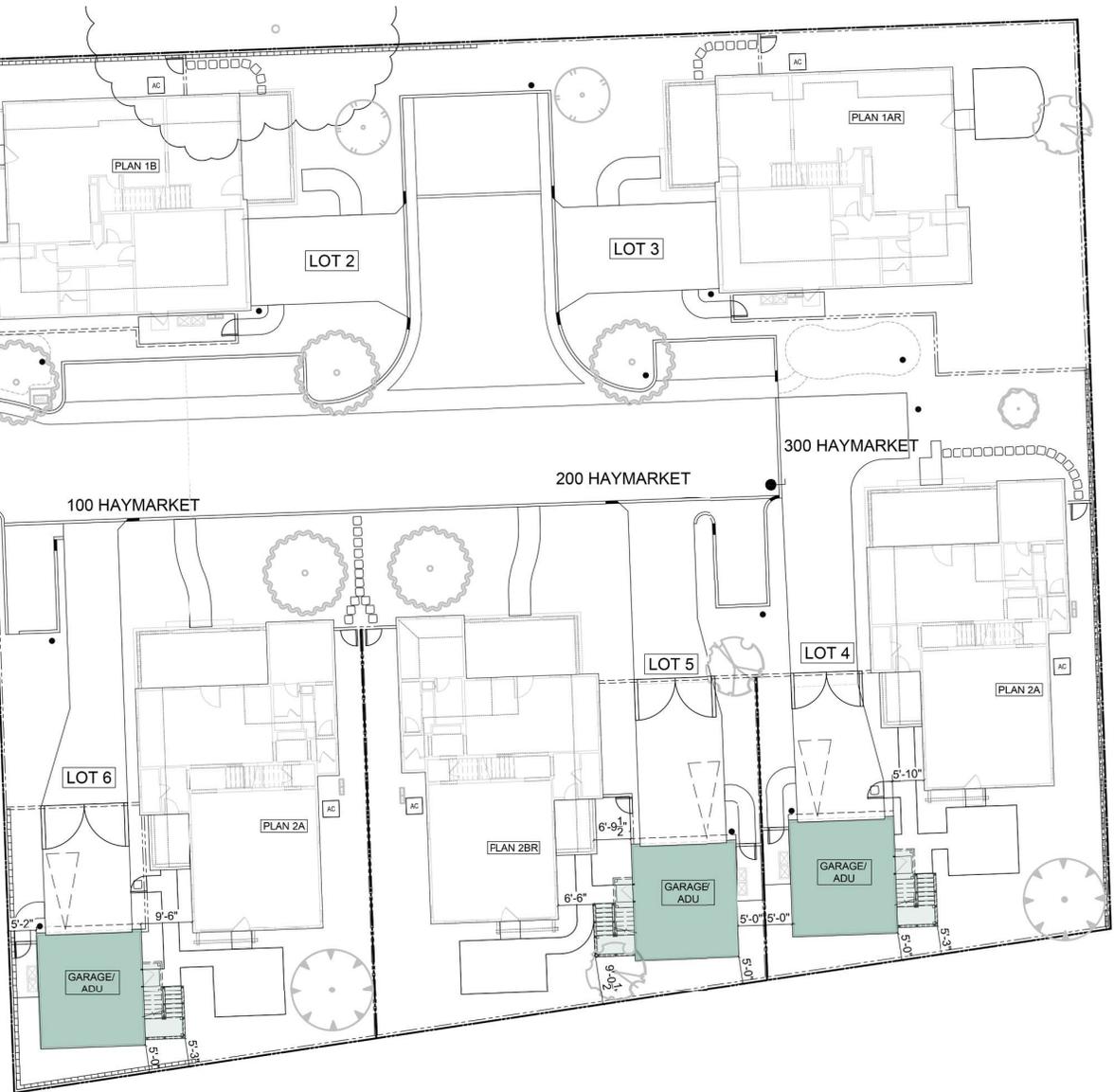
ROBSON HOMES

PROJECT NUMBER: 18005 12/09/19

HARRIET AVENUE

HAYMARKET COURT

- SANTA CLARA COUNTY FIRE DEPARTMENT COMPLIANCE:**
THE PROJECT WILL COMPLY WITH ALL SANTA CLARA COUNTY FIRE DEPARTMENT DEVELOPMENT REQUIREMENTS:
- PROJECT COMPLIANCE WITH THE CALIFORNIA FIRE (CFC) AND BUILDING (CBC) CODE, 2016 EDITION, AS ADOPTED BY THE CITY OF CAMPBELL MUNICIPAL CODE (CMC) AND CALIFORNIA CODE OF REGULATIONS (CCR).
 - THE PROJECT REQUIRES ALL APPLICABLE CONSTRUCTION PERMITS FROM THE CITY OF CAMPBELL BUILDING DEPARTMENT.
 - AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS ARE REQUIRED.
 - FIRE APPARATUS ACCESS ROAD/WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED.
 - FIRE APPARATUS (ENGINE) ACCESS ROADWAY IS REQUIRED.
 - THE CONSTRUCTION SITE IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SCCFD STANDARD DETAIL & SPECIFICATION S17.
 - POTABLE WATER SUPPLIES WILL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES.
 - ADDRESS IDENTIFICATION: THE NEW BUILDINGS WILL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY.
 - MANUAL DRIVEWAY GATE, MANUAL LOCKING MECHANISMS, SUCH AS PADLOCKS, SHALL BE APPROVED BY THE FIRE DEPARTMENT



FLOOR AREA TABULATION TABLE						
Lot Identification	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5	Lot 6
Lot Area SF	6,709	6,801	6,708	6,774	6,774	7,187
First Floor SF	1,398	1,398	1,398	1,507	1,489	1,507
Second Floor SF	1,232	1,230	1,232	1,121	1,142	1,121
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Total Area SF	3,016	3,014	3,016	3,479	3,482	3,479
FAR (Total Area/Lot Area)	0.450	0.443	0.450	0.514	0.514	0.484
Number of Bedrooms	4	4	4	5	5	5



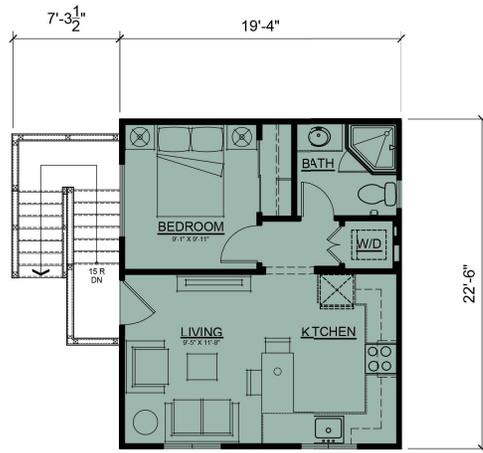
SITE PLAN
HARRIET
 CAMPBELL, CA

ROBSON HOMES

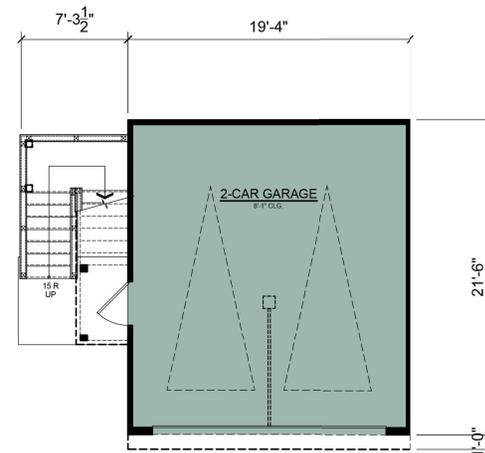
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 ROBERT HIDEY ARCHITECTS

ROBSON HOMES / RHA ARCHITECTS
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 408 HARRIET AVENUE, SUITE 200, CAMPBELL, CALIFORNIA 95008
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PROJECT : 18005
 12/09/19
 A-2



SECOND FLOOR



FIRST FLOOR

PLAN 2 GARAGE/ADU - LOT 4
 GARAGE - 416 SF
 ADU - 435 SF

HARRIET

CAMPBELL, CA



R H A

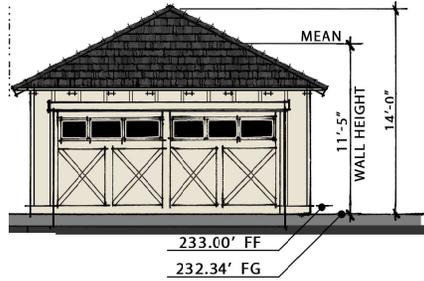
ROBERT HIDEY ARCHITECTS

PROJECT : 18005

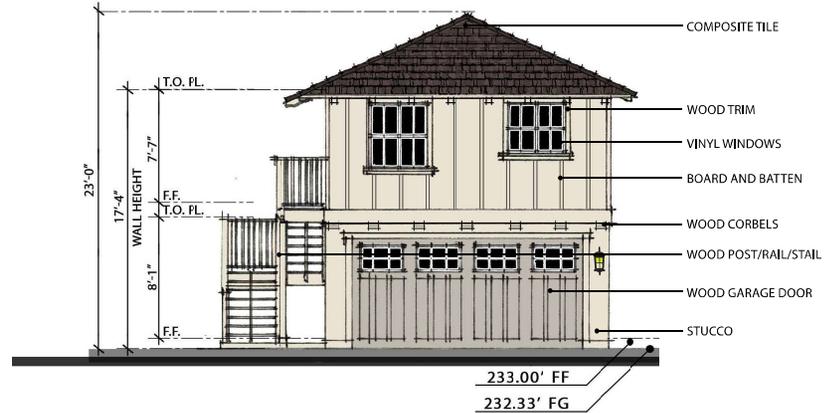
12/09/19

A-3

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT

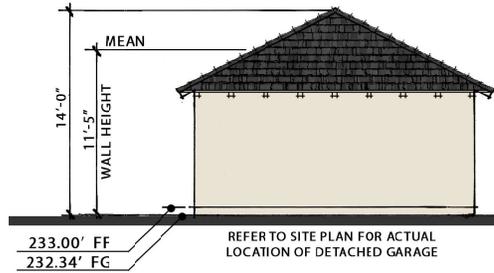


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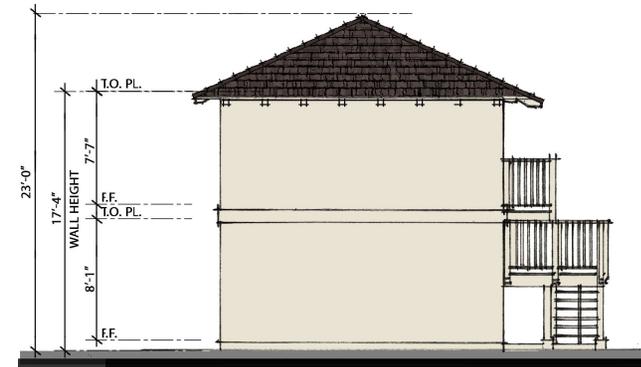


PROPOSED

FRONT ELEVATION

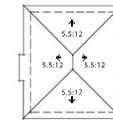


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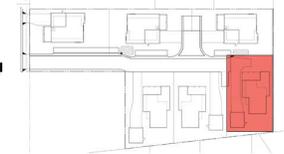


PROPOSED

REAR ELEVATION



ROOF PLAN



KEY MAP



ELEVATIONS
PLAN 2A GARAGE/ADU - LOT 4

HARRIET

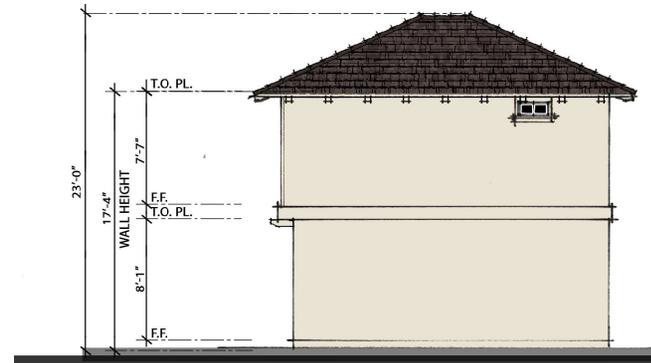
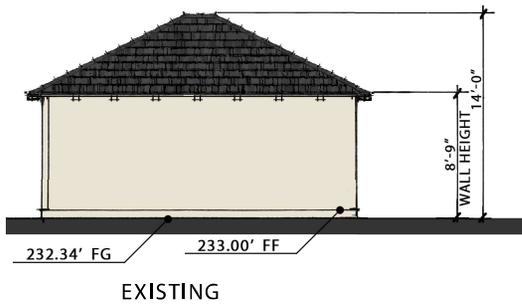
CAMPBELL, CA

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT



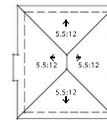
LEFT ELEVATION

PROPOSED

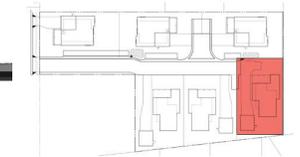


RIGHT ELEVATION

PROPOSED



ROOF PLAN



KEY MAP



ELEVATIONS
PLAN 2A GARAGE/ADU - LOT 4

HARRIET

CAMPBELL, CA

ROBSON HOMES

ROBERT HIDEY ARCHITECTS
1000 WILSON AVENUE, SUITE 200, RAYNE, CANADA TEL: (506) 834-1100
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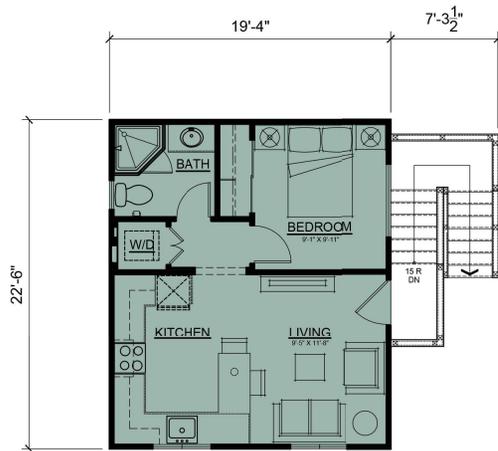
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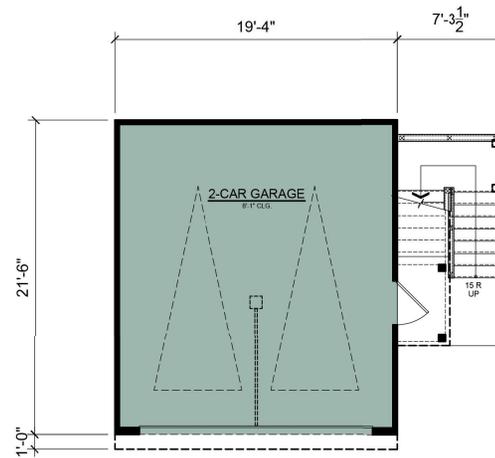
PROJECT : 18005

12/09/19

A-5



SECOND FLOOR



FIRST FLOOR

PLAN 2 GARAGE/ADU - LOT 5
 GARAGE - 416 SF
 ADU - 435 SF

HARRIET

CAMPBELL, CA



R H A

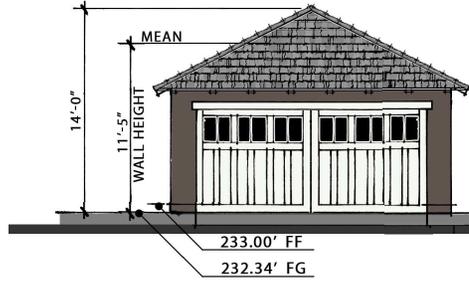
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PROJECT : 18005

12/09/19

A-6

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT

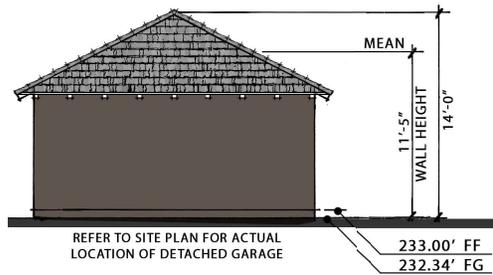


EXISTING



PROPOSED

FRONT ELEVATION

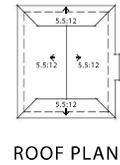


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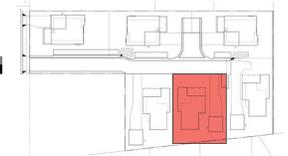


PROPOSED

REAR ELEVATION



ROOF PLAN



KEY MAP



ELEVATIONS
PLAN 2BR GARAGE/ADU - LOT 5

HARRIET

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3030 WILLOWDALE DRIVE, SUITE 200, RAINIER, CALIFORNIA 94950
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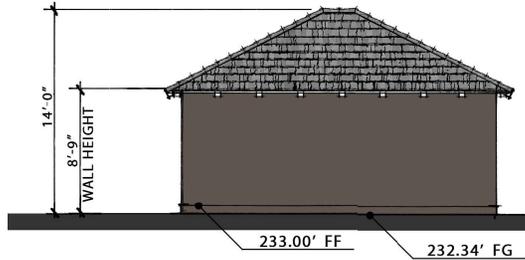
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PROJECT : 18005

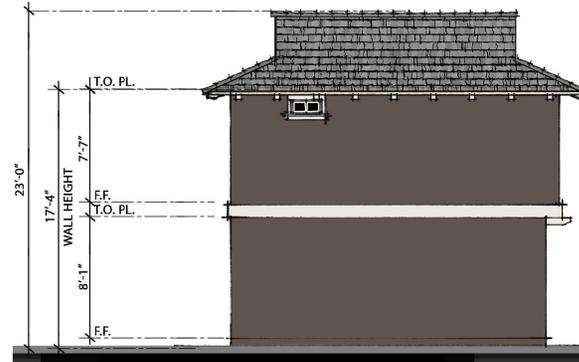
12/09/19

A-7

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT



EXISTING



PROPOSED

LEFT ELEVATION



EXISTING

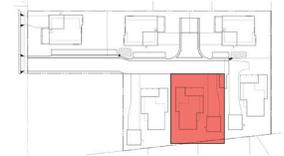


PROPOSED

RIGHT ELEVATION



ROOF PLAN



KEY MAP



ELEVATIONS
PLAN 2BR GARAGE/ADU - LOT 5

HARRIET

CAMPBELL, CA

ROBSON HOMES

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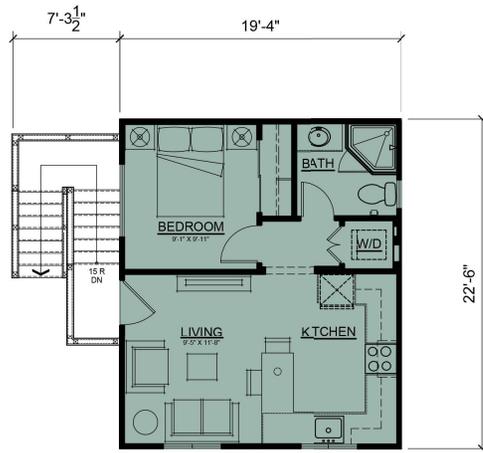
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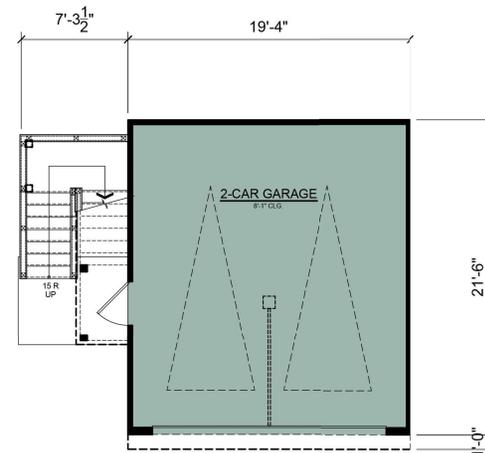
PROJECT : 18005

12/09/19

A-8



SECOND FLOOR



FIRST FLOOR

PLAN 2 GARAGE/ADU - LOT 6
 GARAGE - 416 SF
 ADU - 435 SF

HARRIET
 CAMPBELL, CA



R H A

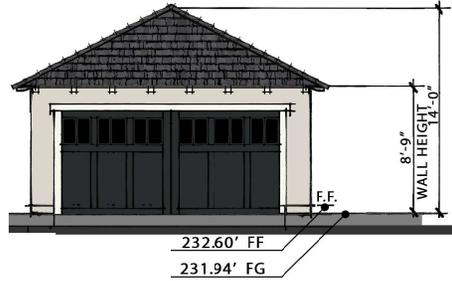
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PROJECT : 18005

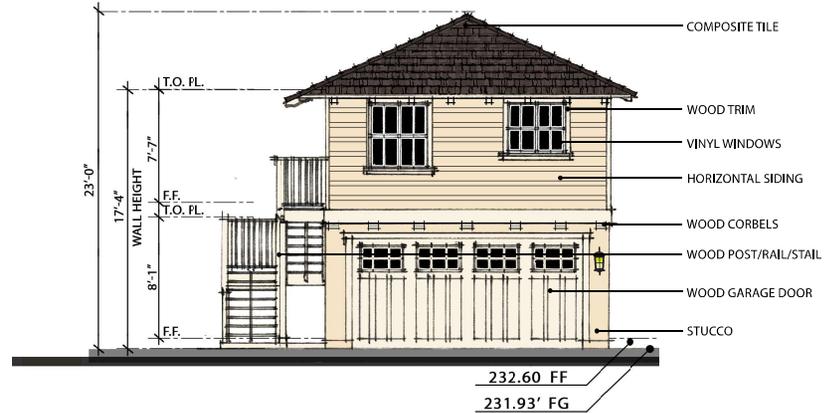
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A-9

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT

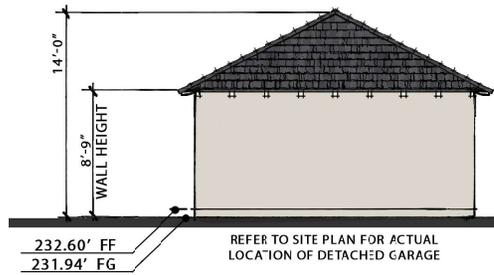


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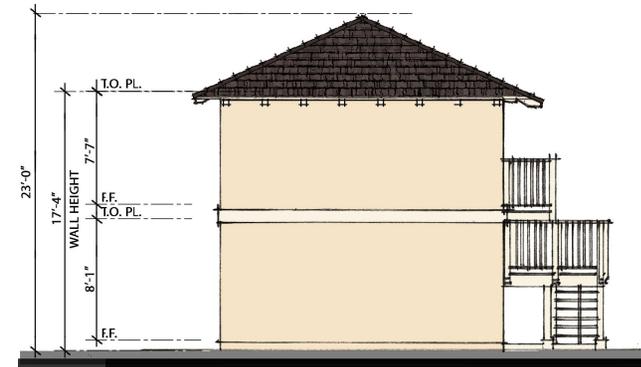


PROPOSED

FRONT ELEVATION

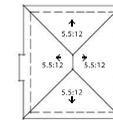


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PROPOSED

REAR ELEVATION



ROOF PLAN



KEY MAP

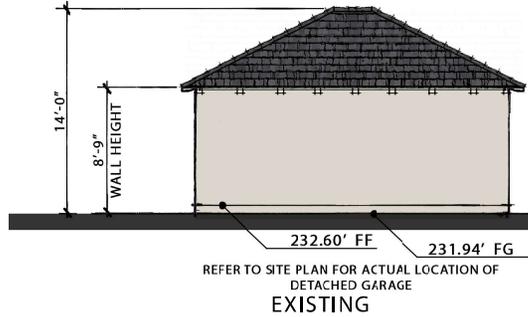


ELEVATIONS
PLAN 2A GARAGE/ADU - LOT 6

HARRIET

CAMPBELL, CA

COLORS TO MATCH PREVIOUSLY APPROVED PER LOT



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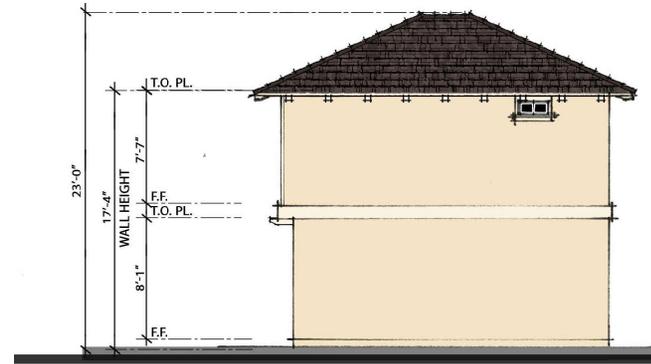


PROPOSED

LEFT ELEVATION

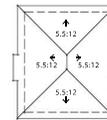


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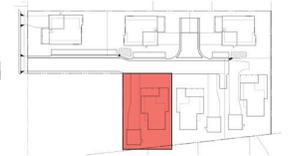


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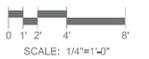
RIGHT ELEVATION



ROOF PLAN



KEY MAP



ELEVATIONS
PLAN 2A GARAGE/ADU - LOT 6

HARRIET

CAMPBELL, CA

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ROBERT HIDEY ARCHITECTS
3030 WILSON AVENUE, SUITE 200, RAYNE, CALIFORNIA 94583-1020
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PROJECT : 18005

12/09/19

A-11

NOTE: ALL ROOF MATERIALS TO BE COMBUSTION ROOF SHINGLES PER THE OWNER'S COLOR AND MATERIAL SPECIFICATIONS LOT 4 - PARCO PREMIER DRIFTWOOD OR APPROVED EQUAL.

- GENERAL NOTES**
1. VERTICAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUDY FACE OF CONCRETE OR FACE OF CMU UNLESS NOTED OTHERWISE.
 2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
 4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
 5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 6. ALL MECHANICAL EQUIPMENT GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 9. CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
 10. FINISH CARPENTER SHALL FIELD VERIFY ALL SHUTTER SIZES PRIOR TO ORDER.
 11. ALL EXTERIOR STUCCO PER COLOR OR CONSULTANT. ALL WOOD SHUTTERS TO BE A CONTRASTING COLOR. ALL ROOF TILES TO BE A BLEND OF COLORS AS SELECTED BY COLOR CONSULTANT AND CLIENT.

STAMP



R H A
ROBERT HIDEY ARCHITECTS
 1017 WASHINGTON DRIVE | SUITE 170 | SAN JOSE, CA 95128
 408.423.1787 | WWW.RHIDEYARCHITECTS.COM
 1017 WASHINGTON DRIVE | SUITE 100 | PALMDALE, CA 91368
 818.848.4444 | WWW.RHIDEYARCHITECTS.COM



FRONT ELEVATION **2A - LOT 4**
 SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
- SYMBOL LEGEND
- KEY NOTE
1. BRATON
 - 1.1 LINE OF WALL BEYOND
 - 1.2 OPENING IN WALL
 2. SITE CONSTRUCTION
 - 2.1 FINISH GRADE (PER LANDSCAPE DWGS)
 - 2.2 FINISH GRADE (PER CIVIL DWGS)
 3. CONCRETE
 - 3.1 CONCRETE SLAB ON GRADE (PER STRUCT DWGS)
 - 3.2 CONCRETE STOOD - REFER TO CIVIL/LANDSCAPE DRAWINGS
 - 3.3 CONCRETE STEPS - REFER TO CIVIL/LANDSCAPE DRAWINGS
 4. MASONRY
 - 4.1 MASONRY BRICK PER REFERENCED SPEC
 - 4.2 1/2" BRICK PER REFERENCED SPEC
 - 4.3 MASONRY MORTAR PER REFERENCED SPEC
 - 4.4 BRICK WANSKOT
 - 4.5 STONE WANSKOT
 - 4.6 PRECAST CONCRETE CAP
 - 4.7 PRECAST CONCRETE COLUMN
 - 4.8 PRECAST TRIM
 - 4.9 PRECAST CONCRETE FINISH
 - 4.10 PRECAST WATERPROOF SCUPPER
 - 4.11 4" DIAMETER FALSE CLAY PIPE VENTS
 - 4.12 DECORATIVE STACKED HALF-ROUND CLAY PIPES
 - 4.13 FALSE CLAY PIPES VENT
 - 4.14 CLAY PAVERS
 - 4.15 STONE PAVERS
 - 4.16 BRICK PAVERS
 - 4.17 CERAMIC TILE RISERS
 - 4.18 CERAMIC TILE SET IN STUCCO
 - 4.19 PRECAST CONCRETE CANALE OVERFLOW
 5. METALS
 - 5.1 C.R. METAL CHIMNEY CAP - NOTE: CHIMNEY CAPS SHALL BE APPROVED BY THE FIREPLACE MANUFACTURER. SUBMIT ALL TYPES OF APPROVAL TO BUILDING DEPT. PRIOR TO FABRICATION
 - 5.2 C.R. STUCCO WEEP SCREEN, TOP
 - 5.3 ALUMINUM GUTTER, TOP
 - 5.4 1" ALUMINUM DOWNSPOUT
 - 5.5 C.R. METAL LOUVERED ATTIC VENT WITH 3/4" CR SCREEN AT INTERIOR. SEE ELEVATION FOR SIZE
 - 5.6 C.R. DECORATIVE METAL GUARD, 42" HIGH MIN
 - 5.7 C.R. METAL POTSHIELD
 - 5.8 C.R. METAL 18" x 14" ACCESS PANEL AT OPTIONAL SETTED TUB
 - 5.9 C.R. FLASHING AT INTERSECTION
 - 5.10 C.R. ORNAMENTAL METAL GATE
 - 5.11 C.R. METAL GRILLE
 - 5.12 C.R. SCREENED VENT, 14" x 8" MIN
 - 5.13 C.R. METAL DORMER VENT, 14" x 22"
 - 5.14 C.R. METAL CRANK SPACE ACCESS, 24" x 18"
 - 5.15 C.R. METAL SADDLE AND FLASHING
 - 5.16 C.R. METAL WEATHER VANE WITH GROUNDING
 - 5.17 C.R. DECORATIVE CLIPS
 - 5.18 C.R. METAL SCROLL
 - 5.19 C.R. METAL OVERFLOW
 - 5.20 STANDING SEAM METAL ROOF
 - 5.21 CANVAS AWNINGS WITH ORNAMENTAL WROUGHT IRON FRAME



RIGHT ELEVATION **2A - LOT 4**
 SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES**
1. ROOFING MATERIAL - COMBUSTION ROOF SHINGLES AS NOTED
 2. SPONGE BRICK PER REFERENCED SPEC
 3. STUCCO SUFFIT / CEILING
 4. STUCCO SILL SLOPE UP PER FT. MIN.
 5. STUCCO EXPANSION / CONTROL JOINT
 6. STUCCO OVER FOAM SHAPE
 7. STUCCO OVER HIGH DENSITY FOAM COLUMN WITH SMOOTH FINISH COAT
 8. STUCCO OVER HIGH DENSITY FOAM COLUMN SURROUND WITH SMOOTH FINISH COAT
 9. STUCCO OVER FOAM SILL, SLOPE INWARD FROM BLDG. 12" PER FT. MIN.
 10. STUCCO OVER FOAM CAP
 11. STUCCO WRAPPED FOAM CORBEL
 12. STUCCO OVER CONCRETE MASONRY UNIT WALL
 13. STUCCO OVER WOOD FRAMED CHIMNEY
 14. CEMENT BOARD SHINGLE SIDING
 15. CEMENT BOARD HORIZONTAL SIDING
 16. CEMENT BOARD PANEL SIDING
 17. CEMENT BOARD TRIM
 18. POLYURETHANE SHUTTER
 19. JODOES AND WINDOWS
 20. ENTRY DOOR
 21. SECTIONAL ROLL-UP GARAGE DOOR
 22. ACCESS DOOR
 23. MISC. LANDINGS
 24. INTERIOR WALL REFER TO PRESSURE GRADING PLANS FOR DESIGN
 25. FALSE RECESSED VENT
 26. MECHANICAL
 27. PIPED ADDRESS NUMBERS AT 45" AFF (U.N.O.)
 28. ELECTRICAL
 29. AIR CONDITIONER UNIT
 30. LIGHT FACTURE, 48" AFF (U.N.O.)
 31. LIGHT FACTURE, 48" AFF (U.N.O.) - VERIFY
 32. LIGHTED ADDRESS SIGN, 45" AFF (U.N.O.) SWITCHED BY PHOTOCELL

HAYMARKET COURT
HARRIET AVE.
CAMPBELL, CA

ROBSON HOMES
 1885 THE ALAMEDA, SUITE 150
 SAN JOSE, CA 95128
 (408) 423-1787

ROBSON HOMES

BUILDING DEPARTMENT SUBMITTAL:
 1st SUBMITTAL: 03-15-2019

REVISIONS:
 04/02/19 CLIENT REV/CORR & PC

SHEET TITLE:
PLAN 2A - LOT 4
EXTERIOR ELEVATIONS

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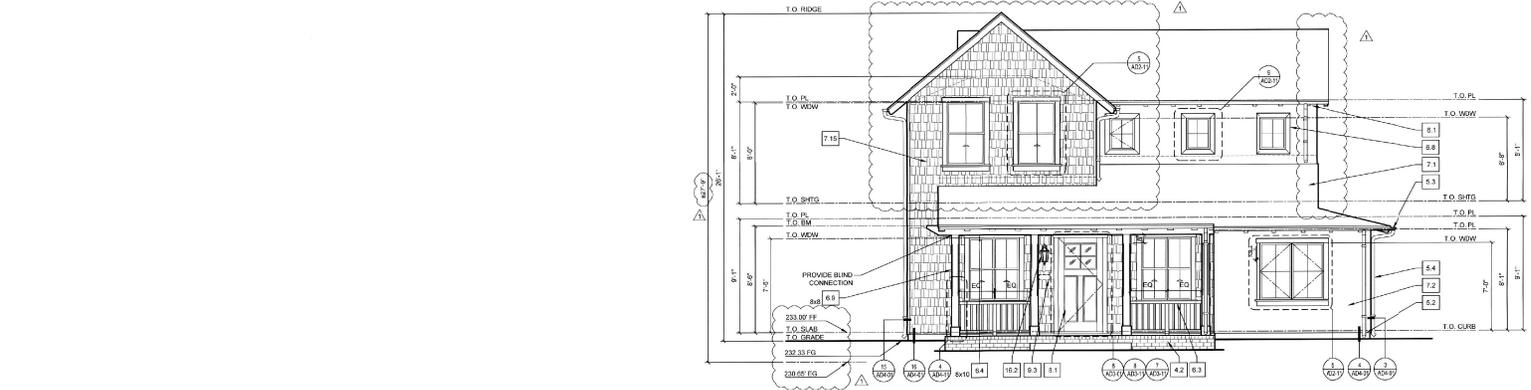
SHEET NUMBER:
A2A5-1

PLT REFERENCE DATE: 05/29/2019

City of Campbell
 Building Department
 111 N. UNIVERSITY AVENUE
 CAMPBELL, CA 95008
 (408) 225-3100
 2019-00-310-09-23-19

CONSTRUCTION DOCUMENTS SET - DELTA 1 - 04-29-2019

NOTE: ALL ROOF MATERIALS TO BE COMPOSITION ROOF SHINGLES PER THE OWNER'S COLOR AND MATERIAL SPECIFICATIONS. LOTS 5 - GAF TIMBERLINE SLATE OR APPROVED EQUAL.



FRONT ELEVATION

2B

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

2E

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD FACE OF CONCRETE, OR FACE OF CMU, UNLESS NOTED OTHERWISE.
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
9. CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
10. FINISH CARPENTER SHALL VERIFY ALL SHUTTER SIZES WHERE THEY OCCUR.
11. ALL EXTERIOR STUCCO PER COLOR CHART. ALL WOOD SHUTTERS TO BE A CONTRASTING COLOR. ALL ROOF TILE TO BE A BLEND OF COLORS AS SELECTED BY COLOR CONSULTANT AND CLIENT.

ELEVATION NOTES

- SYMBOL LEGEND
- KEY NOTE
1. SPIRAL
 - 1.1 LINE OF WALL BEYOND OPENINGS IN WALL
 2. SITE CONSTRUCTION
 - 2.1 SITE WALL (PER LANDSCAPE DWG)
 - 2.2 FINISH GRADE (PER CIVIL DWG)
 3. CONCRETE
 - 3.1 CONCRETE SLAB ON GRADE (PER STRUCT DWG)
 - 3.2 CONCRETE STUCCO - REFER TO CIVIL/LANDSCAPE DRAWINGS
 - 3.3 CONCRETE STEPS - REFER TO CIVIL/LANDSCAPE DRAWINGS
 4. MASSFINY
 - 4.1 IMPREG. FIBER REINFORCED ADHERED
 - 4.2 THIN BRICK VENEER (ADHERED) - H.C. MUDDOX METHOD
 - 4.3 1/2" BRICK WITH WASHED
 - 4.4 BRICK WASHCOAT
 - 4.5 STONE WASHCOAT
 - 4.6 PRECAST CONCRETE CAP
 - 4.7 PRECAST CONCRETE COLUMN
 - 4.8 PRECAST TIE
 - 4.9 PRECAST CONCRETE FINIAL
 - 4.10 PRECAST WATEROUT SCUPPER
 - 4.11 4" DIAMETER HALF CLAY PIPE VENTS
 - 4.12 SECTIVE SHOWN HALF ROUND CLAY PIPES
 - 4.13 FALSE CLAY PAVEMENT
 - 4.14 CLAY PAVES
 - 4.15 STONE PAVES
 - 4.16 BRICK PAVES
 - 4.17 CERAMIC TILE RISERS
 - 4.18 CERAMIC TILE SET IN STUCCO
 - 4.19 PRECAST CONCRETE CANALE OVERFLOW

- 5.1 C.R. METAL CHIMNEY CAP. NOTE: CHIMNEY CAPS SHALL BE APPROVED BY THE FIREPLACE MANUFACTURER. SUBMIT A LETTER OF APPROVAL TO BUILDING DEPT. PRIOR TO FABRICATION.
- 5.2 C.R. STUCCO WEEP SCREEN, TYP.
- 5.3 ALUMINUM GUTTER, TYP.
- 5.4 2" ALUMINUM DOWNSPOUT
- 5.5 C.R. METAL LOWEDED AT THE VENT WITH 1/4" C.R. SCREEN AT INTERIOR. SEE ELEVATION FOR SIZE.
- 5.6 C.R. DECORATIVE METAL GUARD, 24" HIGH MIN.
- 5.7 C.R. METAL POTSHIELD
- 5.8 C.R. METAL 1/4" ACCESS PANEL, LT. OPTIONAL. ATTACHED TUB.
- 5.9 C.R. LAMINATE INTERSECTION
- 5.10 C.R. ORNAMENTAL METAL GATE
- 5.11 METAL GRILLE
- 5.12 C.R. SCREENED VENT, 14" x 8" MIN.
- 5.13 METAL DOWN VENT, 14" x 24"
- 5.14 C.R. METAL DRAIN SPACE ACCESS, 14" x 18"
- 5.15 METAL SMOKE AND FLASHING
- 5.16 C.R. METAL WEATHER VANE WITH GROUNDING
- 5.17 DECORATIVE COPULA
- 5.18 C.R. METAL SCROLL
- 5.19 METAL OVERFLOW
- 5.20 STANDING SEAM METAL ROOF
- 5.21 CANALS AWINGS WITH ORNAMENTAL WROUGHT IRON FRAME
6. WOOD
- 6.1 WOOD RAFTER TAILS (REFER TO STRUCTURAL)
- 6.2 WOOD SHUTTERS (REFER TO ELEVATIONS)
- 6.3 WOOD RAILING
- 6.4 WOOD CORNER (REFER TO STRUCTURAL)
- 6.5 WOOD CORNER (REFER TO STRUCTURAL)
- 6.6 WOOD HINGE (REFER TO LANDSCAPE PLANS)
- 6.7 WOOD SILL TRIM
- 6.8 2x WOOD TRIM
- 6.9 WOOD PORT COLUMN (REFER TO STRUCTURAL)
- 6.10 WOOD KNEE BRACE
- 6.11 WOOD POTSHIELD
- 6.12 WOOD HOLDING
- 6.13 WOOD BRINE
- 6.14 WOOD RAPE
- 6.15 1/2 WOOD BAT EN
- 6.16 WOOD SILL LOCKER (REFER TO STRUCTURAL)
- 6.17 WOOD 1x VERTICAL SPACED BOARDS
7. EXTERIOR FINISHES
- 7.1 ROOFING MATERIAL, COMPOSITION ROOF SHINGLES AS NOTED
- 7.2 STUCCO OVER CONCRETE MASONRY UNIT WALL
- 7.3 STUCCO OVER WOOD FRAMED CHIMNEY
- 7.4 CEMENT BOARD BRITTLE BOARDING
- 7.5 CEMENT BOARD HORIZONTAL BOARDING
- 7.6 CEMENT BOARD VERTICAL BOARDING
- 7.7 POLYURETHANE SHUTTER
8. DOORS AND WINDOWS
- 8.1 ENTRY DOOR
- 8.2 ACCESS DOOR
- 8.3 SECTIONAL RO-LIP GARAGE DOOR
9. MISCELLANEOUS
- 9.1 FALLER RECESSED VENT
- 9.2 COURTYARD WALL, REFER TO PRECISE GRADING PLANS FOR DESIGN
- 9.3 FINNEY ACCESS NUMBERS AT 45" AFF. (N.O.)
10. MECHANICAL
- 10.1 AIR CONDITIONER UNIT
- 10.2 ELECTRICAL
- 10.3 1" HOLES FOR ELECTRICAL WALL FIXTURE PER ELECTRICAL DRAWINGS BY OTHERS
- 10.4 LIGHT FIXTURE, 16" AFF. (N.O.) - VERIFY
- 10.5 LIGHTED ADDRESS SIGN, 16" AFF. (N.O.) SWITCHED BY PHOTOCELL

STAMP:



R H A
ROBERT HIDEY ARCHITECTS
 810 WASHINGTON DRIVE SUITE 120 DUBLIN, CA 94568
 925.934.1100 | WWW.ROBERTHIDEY.COM
 4301 SACRAMENTO DRIVE SUITE 500 | RANASANTO, CA 94088
 925.924.6440 | WWW.ROBERTHIDEY.COM

HAYMARKET COURT
HARRIET AVE.
CAMPBELL, CA

CONSTRUCTION DOCUMENTS SET - DELTA 1 - 04-29-2019

ROBSON HOMES
 1815 THE ALAMEDA, SUITE 150
 SAN JOSE, CA 95128
 (408) 423-1787

ROBSON HOMES

BUILDING DEPARTMENT SUBMITTAL

1st SUBMITTAL: 03-15-2019

REVISIONS:
 04/29/19-CLIENT REVCOORD & PC

PRINCIPAL: DW
 SR PRJ DIRECTOR: MA
 PRJ DIRECTOR:
 JOB CAPTAIN: JA
 SR ASSOCIATE: DF
 ASSOCIATES:

PROJECT NUMBER: 1000

PROJECT CAD FILE: 1000_A2B5-1

SHEET TITLE:
PLAN 2B - LOT 5
EXTERIOR ELEVATIONS

(BUILD IN REVERSE)

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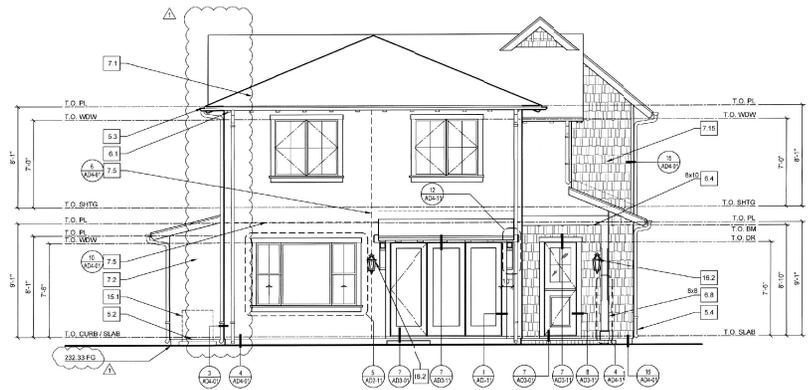
SHEET NUMBER:

A2B5-1

PLOT REFERENCE DATE: 05/29/2019

City of Campbell
 Building Department
PLAN APPROVED
 This plan was prepared in accordance with the City of Campbell and State of California Codes. It is being used as a guide for the construction of the project. The approval of this plan does not constitute an endorsement or approval of the project. The approval of this plan does not constitute an endorsement or approval of the project. The approval of this plan does not constitute an endorsement or approval of the project.
 Approved: *[Signature]*
 28 19-00 320 09-23-19

NOTE: ALL ROOF MATERIALS TO BE COMPOSITION ROOF SHINGLES PER THE OWNER'S COLOR AND MATERIAL SPECIFICATIONS (LOT 5 - GAF TIMBERLINE SLATE OR APPROVED EQUAL)



REAR ELEVATION 2B SCALE: 1/4" = 1'-0"



LEFT ELEVATION 2B SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD FACE OF CONCRETE OR FACE OF GYPSUM UNLESS NOTED OTHERWISE
2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL
4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL
5. ALL EXTERIOR PAINTS AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS
6. ALL MECHANICAL EQUIPMENT GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS
7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS
8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS
9. CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
10. FINISH CHARACTER SHALL FIELD VERIFY ALL SHUTTER SIZES WHERE THEY OCCUR
11. ALL EXTERIOR STUCCO PER COLOR CONSULTANT. ALL WOOD SHUTTERS TO BE A CONTRASTING COLOR. ALL ROOF TILE TO BE A BLEND OF COLORS AS SELECTED BY COLOR CONSULTANT AND CLIENT

ELEVATION NOTES

- SYMBOL LEGEND:
- XX KEY NOTE
1. EXISTING LINE OF WALL BEYOND
 2. OPENING IN WALL
 3. SITE CONSTRUCTION
 4. SITE WALL (PER LANDSCAPE DIVISION)
 5. FINISH GRADE (PER CIVIL DIVISION)
 6. CONCRETE
 7. CONCRETE SLAB ON GRADE (PER STRUCT DIVISION)
 8. CONCRETE FLOOR - REFER TO CIVIL/LANDSCAPE DRAWINGS
 9. CONCRETE STEPS - REFER TO CIVIL/LANDSCAPE DRAWINGS
 10. MASONRY
 11. PRECAST CONCRETE PIPES/ADHERED - H.C. MUDDOX HERTING
 12. 1/2" POLYURETHANE SHUTTERS
 13. STONE MANSUET
 14. PRECAST CONCRETE CAP
 15. PRECAST CONCRETE COLUMN
 16. PRECAST TRIM
 17. PRECAST CONCRETE FINIAL
 18. PRECAST WATERBOUT SCUPPER
 19. 4" DIAMETER FALS CLAY PIPE VENTS
 20. DECORATIVE STACKED HALF-ROUND CLAY PIPES
 21. FALSE CLAY PAVEMENT
 22. CLAY PAVEMENT
 23. STONE PAVEMENT
 24. STONE PAVEMENT
 25. CERAMIC TILE SET IN STUCCO
 26. CERAMIC TILE SET IN STUCCO
 27. PRECAST CONCRETE CANALE OVERFLOW
 28. METAL
 29. C.R. METAL CHIMNEY CAP. NOTE: CHIMNEY CAPS SHALL BE APPROVED BY THE FIREPRECE MANUFACTURER. SUBMIT A LETTER OF APPROVAL TO BUILDING DEPT. PRIOR TO FABRICATION
 30. C.R. STUCCO WEEP SCREEN, 1/2"
 31. ALUMINUM GUTTER, 1/2"
 32. C.R. METAL DOWNPOUT
 33. C.R. METAL DOWNPOUT WITH 1/2" C.R. SCREEN AT INTERIOR. SEE ELEVATION FOR SIZE
 34. C.R. DECORATIVE METAL DUNGE, 42" HIGH MIN
 35. C.R. METAL POSTRISHP
 36. C.R. METAL 18" X 14" ACCESS PANEL AT OPTIONAL JETTED FLUR
 37. C.R. FLASHING AT INTERSECTION
 38. C.R. ORNAMENTAL METAL GATE
 39. C.R. METAL GRILLE
 40. C.R. SCREENED VENT 14" X 8" MIN
 41. C.R. METAL DOWNPOUT, 1/2" X 2"
 42. C.R. METAL DOWNPOUT SPACE 24" X 18"
 43. C.R. METAL SADDLE AND FLASHING
 44. C.R. METAL WEATHER GANE WITH GROUNDING
 45. C.R. DECORATIVE GUPLA
 46. C.R. METAL SERIAL
 47. C.R. METAL OVERFLOW
 48. STANDING SEAM METAL ROOF
 49. CHANNELS FINISH WITH ORNAMENTAL WROUGHT IRON FRAME
 50. WOOD
 51. WOOD HATCH TALS (REFER TO STRUCTURAL)
 52. WOOD SHUTTERS (REFER TO ELEVATIONS)
 53. WOOD BRIMS
 54. WOOD BEAM (REFER TO STRUCTURAL)
 55. WOOD CORNICE (REFER TO STRUCTURAL)
 56. WOOD FENCE (REFER TO LANDSCAPE PLANS)
 57. WOOD TRIM
 58. WOOD POST COLUMN (REFER TO STRUCTURAL)
 59. WOOD KNEE SPACE
 60. WOOD MULLINGS
 61. WOOD RAKE
 62. WOOD BATTEN
 63. WOOD OUT/COVER (REFER TO STRUCTURAL)
 64. WOOD 1x6 VERTICAL SPICED BOARDS
 65. EXTERIOR FINISHES
 66. ROOFING MATERIAL - COMPOSITION ROOF SHINGLES AS NOTED
 67. STUCCO OVER FINISH COAT
 68. STUCCO OVER HIGH DENSITY FOAM COLUMN WITH SMOOTH FINISH COAT
 69. STUCCO OVER HIGH DENSITY FOAM SURROUND WITH SMOOTH FINISH COAT
 70. STUCCO OVER FOM SHELL, SLURRY AWAY FROM BLDG 1/2" PER FT MIN
 71. STUCCO OVER FOM COBBLE
 72. STUCCO OVER CONCRETE MASONRY UNIT WALL
 73. STUCCO OVER BRANDE BEING
 74. CEMENT BOARD HORIZONTAL BEING
 75. CEMENT BOARD PANEL BEING
 76. CEMENT BOARD TRIM
 77. POLYURETHANE SHUTTER
 78. DOORS AND WINDOWS
 79. ENTRY DOOR
 80. ACCESS DOOR
 81. SECTIONAL ROLL-UP GARAGE DOOR
 82. MISCELLANEOUS
 83. FALSE RECESSED VENT
 84. COURTYARD WALL - REFER TO PRECISE GRADING PLANS FOR DESIGN
 85. PINNED ADDRESS NUMBERS AT 10" AFF (B.N.O.)
 86. MECHANICAL
 87. AIR CONDITIONER UNIT
 88. ELECTRICAL
 89. LARK FOR ELECTRICAL WALL FIXTURE PER ELECTRICAL DRAWINGS BY OTHERS
 90. LIGHT FIXTURE, 10" AFF (B.N.O.) VERIFY
 91. LIGHTED ADDRESS SIGN, 10" AFF (B.N.O.) SWITCHED BY PHOTOCELL

STAMP

R H A
ROBERT HIDEY ARCHITECTS
 2337 MACDONALD DRIVE SUITE 170 DUBLIN, CA 94568
 925.224.0440 WWW.ROBERTHIDEY.COM

4811 MACDONALD DRIVE SUITE 1001 DUBLIN, CA 94568
 925.224.0440 WWW.ROBERTHIDEY.COM

HAYMARKET COURT
HARRIET AVE.
CAMPBELL, CA

ROBSON HOMES
 #185 THE ALAMEDA, SUITE 150
 SAN JOSE, CA 95128
 (408) 423-1767

ROBSON HOMES

CONSTRUCTION DOCUMENTS SET - DELTA 1 - 04-29-2019

BUILDING DEPARTMENT SUBMITTAL:

1st SUBMITTAL: 03-15-2019

REVISIONS:

Δ 04/28/19 CLIENT REV/CORRECT & PC

PRINCIPAL: DW
 SR PROJ DIRECTOR: MA
 PROJ DIRECTOR: DA
 JOB CAPTAIN: JA
 SR ASSOCIATE: DF
 ASSOCIATES:

PROJECT NUMBER: 18005
 PROJECT CAD FILE: 18005_2B5.rvt

SHEET TITLE:
PLAN 2B - LOT 5
EXTERIOR ELEVATIONS

(BUILD IN REVERSE)

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SHEET NUMBER:
A2B5-2

PLOT REFERENCE DATE: 05/29/2019

City of Campbell
 Building Department
 * PLAN APPROVED *
 This plan shall be used for the construction of the building as shown on these drawings. This plan shall not be used for any other purpose without the written approval of the Building Official. Work performed under this plan shall be subject to inspection and approval by the Building Official. This plan shall be void if not approved by the Building Official.
 Approved: *[Signature]*
 2019-04-30 09-23-19

NOTE: ALL ROOF MATERIALS TO BE COMPOSITION ROOF SHEETING PER THE OWNER'S COLOR AND MATERIAL SPECIFICATIONS (LOT 4 - GAF TIMBERLINE - WEATHER WOOD OR APPROVED EQUAL)

- ### GENERAL NOTES
1. HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD, FACE OF CONCRETE, OR FACE OF GSI, UNLESS NOTED OTHERWISE.
 2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
 4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
 5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 6. ALL MECHANICAL EQUIPMENT, GRILLS AND CONTROLS ARE FOR REFERENCE ONLY REFER TO MECHANICAL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 7. ALL ELECTRICAL FIXTURES, OUTLETS AND EQUIPMENT ARE FOR REFERENCE ONLY REFER TO ELECTRICAL DRAWINGS FOR DESIGN DETAILS AND DIMENSIONS.
 8. ALL STRUCTURAL MEMBERS AND ELEMENTS ARE SHOWN FOR REFERENCE ONLY REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
 9. CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS.
 10. FINISH CARPENTER SHALL FIELD VERIFY ALL BRACKET SIZES WHERE THEY OCCUPY.
 11. ALL EXTERIOR STUCCO PER COLOR CONSULTANT. ALL WOOD BUTTERS TO BE A CONTRASTING COLOR. ALL ROOF TILE TO BE A BLEND OF COLORS AS SELECTED BY COLOR CONSULTANT AND CLIENT.

- ### ELEVATION NOTES
- SYMBOL LEGEND
- KEY NOTE
1. SPITAL
 - 1.1 LINE OF WALL BEYOND
 - 1.2 OPENING IN WALL
 2. SITE CONSTRUCTION
 - 2.1 FINISH GRADE (PER LANDSCAPE DWGS)
 - 2.2 FINISH GRADE (PER CIVIL DWGS)
 3. CONCRETE
 - 3.1 CONCRETE SLAB ON GRADE (PER STRUCT DWGS)
 - 3.2 CONCRETE STUOP - REFER TO CIVIL / LANDSCAPE DRAWINGS
 - 3.3 CONCRETE STEPS - REFER TO CIVIL / LANDSCAPE DRAWINGS
 4. MASONRY
 - 4.1 PRECAST STONE / FIBER REINFORCED
 - 4.2 THIN BRICK / VENEER (ADHERED) - PVC MUDDOOR
 - 4.3 PRECAST STONE / FIBER REINFORCED MERTASTE
 - 4.4 BRICK WAINSCOT
 - 4.5 STONE WAINSCOT
 - 4.6 PRECAST CONCRETE CAP
 - 4.7 PRECAST CONCRETE COLUMN
 - 4.8 PRECAST THIN
 - 4.9 PRECAST CONCRETE FINIAL
 - 4.10 PRECAST WATERSPOUT SCULPTURE
 - 4.11 4" DIAMETER VALVE CLAY PIPE VENTS
 - 4.12 DECORATIVE STACKED HALF ROUND CLAY PIPES
 - 4.13 FALSE CLAY PAPER VENT
 - 4.14 CLAY PAVERS
 - 4.15 STONE PAVERS
 - 4.16 BRICK PAVERS
 - 4.17 CERAMIC TILE RISERS
 - 4.18 CERAMIC TILE SET IN STUCCO
 - 4.19 PRECAST CONCRETE CANALE OVERFLOW
 5. METALS
 - 5.1 C/R METAL CHIMNEY CAP. NOTE: CHIMNEY CAPS SHALL BE APPROVED BY THE FIREPLACE MANUFACTURER. SUBMIT LETTERS OF APPROVAL TO BUILDING DEPT. PRIOR TO FABRICATION
 - 5.2 C/R STUCCO KEEP SCREENS: TYP
 - 5.3 ALUMINUM GUTTER: TYP
 - 5.4 2" ALUMINUM DOWNSPOUT
 - 5.5 C/R METAL OILVERED ATTIC VENT WITH 1/4" C/R SCREEN AT INTERIOR. SEE ELEVATION FOR SIZE
 - 5.6 C/R METAL POT HOLE
 - 5.7 C/R METAL 18" x 14" ACCESS PANEL AT OPTIONAL ATTIC LUB
 - 5.8 C/R FLASHING AT INTERSECTION
 - 5.9 C/R ORNAMENTAL METAL GATE
 - 5.10 C/R METAL GRILLE
 - 5.11 C/R BORNHEIM VENT: 14" x 8" MIN
 - 5.12 C/R METAL DOWNER VENT 14" x 22"
 - 5.13 C/R METAL CHIMNEY SPACE ACCESS 24" x 18"
 - 5.14 C/R METAL SADDLE AND FLASHING
 - 5.15 C/R METAL WEATHER VANE WITH GROUNDING
 - 5.16 C/R METAL SCROLL
 - 5.17 C/R METAL OVERFLOW
 - 5.18 C/R METAL SCROLL
 - 5.19 C/R METAL OVERFLOW
 - 5.20 STANDING SEAM METAL ROOF
 - 5.21 DOWNSPAWNING WITH ORNAMENTAL WROUGHT IRON FRAME
 6. WOOD
 - 6.1 WOOD RAFTER TAILS (REFER TO STRUCTURAL)
 - 6.2 WOOD BUTTERS (REFER TO STRUCTURAL)
 - 6.3 WOOD RAILING
 - 6.4 WOOD BEAM (REFER TO STRUCTURAL)
 - 6.5 WOOD CORBEL (REFER TO STRUCTURAL)
 - 6.6 WOOD FINISH (REFER TO LANDSCAPE PLANS)
 - 6.7 WOOD SILL TRIM
 - 6.8 2x WOOD TRIM
 - 6.9 WOOD POST / COLUMN (REFER TO STRUCTURAL)
 - 6.10 WOOD KNEE BRACE
 - 6.11 WOOD POT HOLE
 - 6.12 WOOD MULLING
 - 6.13 WOOD BEARING
 - 6.14 WOOD TRIM
 - 6.15 1x3 WOOD BATTEN
 - 6.16 WOOD OUTLET COVER (REFER TO STRUCTURAL)
 - 6.17 WOOD 1x VERTICAL SPACED BOARDS



FRONT ELEVATION 2A - LOT 6 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION 2A - LOT 6 SCALE: 1/4" = 1'-0"

City of Lodi
 Building Department
 PLAN APPROVED
 2019-00311 09-23-19

STAMP

R H A
ROBERT HIDEY ARCHITECTS
 3037 MICHELSON DRIVE SUITE 110 BURLINGAME, CA 94010
 4151 HAZENBROOK DRIVE SUITE 200 FERRISBURGH, CA 94934
 925.224.0444 | WWW.ROBERTHIDEY.COM

HAYMARKET COURT
HARRIET AVE.
CAMPBELL, CA

ROBSON HOMES
 2185 THE ALAMEDA, SUITE 150
 SAN JOSE, CA 95129
 (408) 423-1767

CONSTRUCTION DOCUMENTS SET - DELTA 1 - 04-29-2019

BUILDING DEPARTMENT SUBMITTAL:
 181 SUBMITTAL 03-15-2019

REVISIONS:
 04/29/19 CLIENT REV/CORRECT & PC

PRINCIPAL: DM
 SR PRJ DIRECTOR: MM
 SR DIRECTOR: JA
 JOB CAPTAIN: JF
 SR ASSOCIATE: PA
 ASSOCIATES:
 PROJECT NUMBER: 18005
 PROJECT CAT FILE: 18005_A2A5-1 LOT 6

SHEET TITLE:
PLAN 2A - LOT 6
EXTERIOR ELEVATIONS

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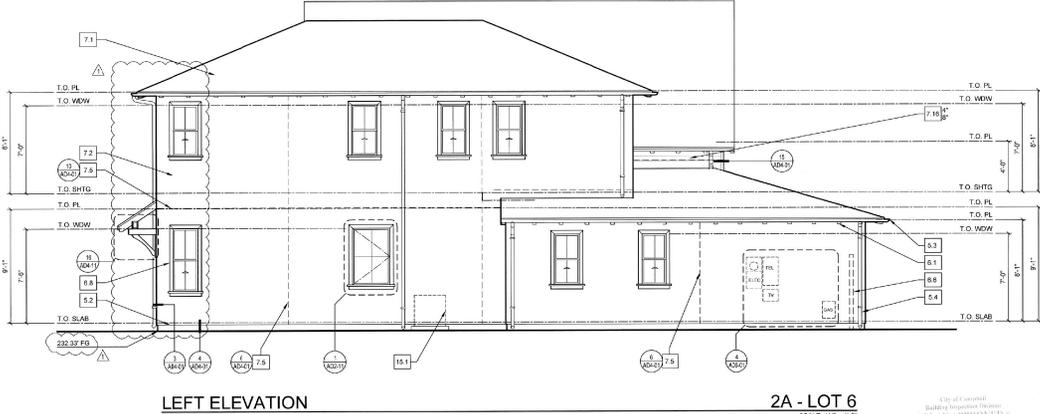
SHEET NUMBER:
A2A5-1

PLOT REFERENCE DATE: 09/29/2019

NOTE: ALL ROOF MATERIALS TO BE COMPOSITION ROOF SHINGLES PER THE OWNER'S COLOR AND MATERIAL SPECIFICATIONS (LOT 4-GAR TIMBERLINE WEATHER WOOD OR APPROVED EQUAL)



REAR ELEVATION 2A - LOT 6 SCALE: 1/4" = 1'-0"



LEFT ELEVATION 2A - LOT 6 SCALE: 1/4" = 1'-0"

City of Campbell
 Planning Department
 PLANS APPROVED
 2019-00 311 09-23-19

- GENERAL NOTES**
1. DIMENSIONS AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD. FACE OF CONCRETE, OR FACE OF GAB. UNLESS NOTED OTHERWISE.
 2. ANY DISCREPANCY FOUND IN THESE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 3. FIRST FLOOR DIMENSIONS ARE TOP OF SLAB OR TOP OF SUB FLOOR SHEATHING MATERIAL.
 4. SECOND FLOOR DIMENSIONS ARE TOP OF SUB FLOOR SHEATHING MATERIAL.
 5. ALL EXTERIOR PAVING AND SITE ELEMENTS ARE FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS.
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STAMP:

R H A
 ROBERT HIDEY ARCHITECTS
 3037 MICHELSON DRIVE SUITE 100, DUBLIN, CA 94568
 PH: 925.221.1100 | WWW.ROBERTHIDEY.COM
 300 WASHINGTON STREET SUITE 200, PASADENA, CA 92365
 PH: 925.824.0440 | WWW.ROBERTHIDEY.COM

HAYMARKET COURT
 HARRIET AVE.
 CAMPBELL, CA

ROBSON HOMES
 2185 THE ALAMANDA, SUITE 150
 SAN JOSE, CA 95128
 (408) 423-1727

ROBSON HOMES

CONSTRUCTION DOCUMENTS SET - DELTA 1 - 04-29-2019

BUILDING DEPARTMENT SUBMITTAL:
 1st SUBMITTAL: 03-15-2019

REVISIONS:
 04/29/19 CLIENT REV/CORRECT & PC

PRINCIPAL: DW
 SR PRJ DIRECTOR: MA
 SR PROJECTOR: JA
 SR ASSOCIATE: DF
 ASSOCIATE:
 PROJECT NUMBER: 10000
 PROJECT CAC FILE: 10000_A2452_LOT 6

SHEET TITLE:
 PLAN 2A - LOT 6
 EXTERIOR ELEVATIONS

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SHEET NUMBER:
 A245-2

PLOT REFERENCE DATE: 09/29/2019